

Comhairle Contae Chorcaí Cork County Council

Michelle O' Loughlin,
c/o Clement O' Sullivan,
Clement O' Sullivan Engineering &
Design Solutions Ltd.,
Garrynagearagh,
Mourneabbey,
Mallow,
Co. Cork.

Pleanáil agus Forbairt,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.
Fón: (021) 4276891
R-phost: planninginfo@corkcoco.ie
Suíomh Gréasáin: www.corkcoco.ie
Planning & Development,
County Hall,
Carrigrohane Road, Cork T12 R2NC.
Tel (021) 4276891
Email: planninginfo@corkcoco.ie
Web: www.corkcoco.ie



5th December 2023

REF: D/301/23
LOCATION: 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94.

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Madam,

On the basis of the information submitted by you on 8th November 2023 the Planning Authority, having considered the question whether or not a proposed single storey rear extension to the existing dwelling at **3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork** is or is not development and is or is not exempted development has declared that it **is development and is not exempted development.**

Reason for Decision

The Planning Authority in considering this referral had particular regard to:

- Sections 2 and 3 of the Planning and Development Act, 2000 (as amended),
- Schedule 2, Part 1, Class 1 of the Planning and Development Regulations, 2001, (as amended) and
- The particulars received by the Planning Authority on 8th November 2023

And Whereas Cork County Council has concluded that –

The proposed single storey rear extension to the existing dwelling at **3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork** constitutes **development that is not exempted development.**

Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of

such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.

Yours faithfully,



**KEVIN O' REGAN,
SENIOR EXECUTIVE OFFICER,
PLANNING DEPARTMENT.**

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

- I. Application Type – Section 5 Declaration
- II. Description - Whether or not the construction of a single storey extension to the rear of the existing dwelling is or is not development and is or is not exempted development.
- III. Location – 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23HY94
- IV. Applicant – Michelle O’Loughlin

1.0 Requirements for a Section 5 Declaration Application

Section 5(1) of the Planning and Development Act as amended states:

5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

2.0 The Question Before The Planning Authority

Whether or not the construction of a single storey extension to the rear of the existing dwelling is or is not development and is or is not exempted development.

The following works are shown/annotated on the submitted drawings:

- Roof of existing kitchen to be removed and surrounding walls raised to new ceiling height (1.97 m x 3.21 m);
- Construction of a single storey extension (35.10 sq m);
- Existing timber decking to be removed;
- Existing garden paving slabs, concrete to be removed;
- ‘Existing boiler, soil vent stack, gas cylinders etc to be encompassed in a shelter hut’;
- existing steeltech shed to be relocated;
- existing side gate to be replaced; and
- side path to facilitate sloped access with handrails and lights.

In the interests of clarity, it should be highlighted that the Section 5 declaration relates solely to the construction of the single storey extension to the rear of the dwelling as per Q3 of the submitted form.

3.0 Site Location

- I. The subject site is located at 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23HY94 and comprises an end-of-terrace, two storey dwelling house.

4.0 Relevant Planning History

There is no recent planning history pertaining to the subject site.

5.0 Relevant Planning Legislation and Regulations

Planning and Development Act 2000, (as amended)

Section 2(1) of the Act defines “works” as follows:

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3 (1) of the Act defines “development” as follows:

“In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Planning and Development Regulations, 2001 (as amended)

Schedule 2, Part 1, Class 1 of the Planning and Development Regulations, 2021 (as amended) states:

‘The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.’

6.0 Planning Assessment

Works is defined in the Act as *‘the carrying out of works on, in, under or works and includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal’*.

Having regard to the above, it can be reasonably determined that the construction of a single storey extension to the rear of the existing dwelling is development.

The question before the Planning Authority is to determine, whether or not construction of a single storey extension to the rear of the existing dwelling is or is not exempted development.

Schedule 2, Part 1, Class 1 of the Planning and Development Regulations, 2021 (as amended) states *‘The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.’* subject to the following conditions and limitations:

1. (a) *Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.*

The proposed extension is 35.10 sq m. From review of available aerial photography and the pattern of the rear projections, it appears that the dwelling has not previously been extended. I note that the property does not have any roof lights that would facilitate the conversion at attic level.

(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.

The extension is single storey therefore there is no floor area proposed above ground level.

(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.

Not applicable - refer to 1(a).

2. *(a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.*

Not applicable - refer to 1(a).

(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.

Not applicable - refer to 1(a).

(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.

Not applicable - refer to 1(a).

3. *Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.*

The extension is single storey therefore there is no floor area proposed above ground level.

4. *(a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.*

The existing 2 no. storey dwelling has a dual pitched roof with a side facing gable (east) and a hipped single storey projection to the rear. The maximum height of the rear wall of the existing 2 no. storey dwelling is not clearly shown on the submitted drawings. I note the

maximum height of the single storey projection (to the NE) is shown as 3.8 m with the height of the rear wall of the single storey projection being 2.5 m. The proposed extension has a maximum height of 3.5 m.

I refer to 06.RL.2354¹ in explaining ‘*What is the rear wall of the dwelling?*’ as precedence to the subject Section 5 declaration. In RL2354, the Inspector noted it was not correct of the Planning Authority to seek to add to the wording of the Regulations and to qualify the term “rear wall” with the description “main rear wall”. The Inspector noted that the single storey section was not a separation construction but was physically connected to the main body of the house. In conclusion, it was found that the single storey projection is the rear wall of the house, within the meaning of condition 4(a).

Having regard to the above, it can be reasonably determined that the height of the rear wall of the house is 2.5 m (i.e. the single storey projection). Given that the proposed extension is 3.5 m in height it is considered to therefore exceed the limitations of condition 4 (a) and therefore does not constitute exempted development works.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

Not applicable – refer to 4 (a).

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

Notwithstanding conditions 4(a) and (b) which govern the height of the development, I note that the height of the eaves or parapet of the highest part of the roof of the dwelling is not provided on the submitted drawings. Where all other criteria are met, I would recommend that Further Information is sought however it has previously been determined that the development would exceed limitations of 4(a).

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

The submitted drawing indicates that 37.5 sq m of private open space will be retained to the rear of the dwelling house.

6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.

¹ 06.RL.2354 – Section 5 Referral to An Bord Pleanála questioning ‘*Whether the demolition of part of a house and its replacement with an extension is development and is not exempted development*’.

The windows on the northern and eastern boundary are in excess of 1 m from the shared boundaries.

(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.

Not applicable.

(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.

Not applicable.

7. The roof of any extension shall not be used as a balcony or roof garden.

The submitted drawings do not indicate that the roof of the extension is to be used as a balcony or roof garden.

Having regard to the above, it is considered that the conditions and limitations of Schedule 2, Part 1, Class 1 of the Planning and Development Regulations, 2021 (as amended) have not been met and the works are not exempted.

7.0 Recommendation

In considering this referral, regard has been had to:

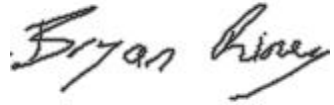
- (a) Sections 2 and 3 of the Planning and Development Act, 2000 (as amended);
- (b) Schedule 2, Part 1, Class 1 of the Planning and Development Regulations, 2001 (as amended)

And whereas, the Planning Authority has concluded that:

- (a) The works constitute 'works' that are 'development'.
- (b) The works **is development and is not exempted development.**

Ciara Cosgrave
Assistant Planner
04.12.2023

I endorse the above recommendation.

A handwritten signature in black ink that reads "Bryan Riney". The signature is written in a cursive style with a prominent flourish at the end of the last name.

Bryan Riney
Senior Planner
04/12/2023



CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION

APPLICANT CHECKLIST

(Please tick ✓)

- 4 No. Copies of Application Form:
- 1 No. Copy of Contact Details:
- 4 No. Copies 6" O.S. Maps:
- 4 No. Copies 25" O.S. Maps:
- 4 No. Copies of Site Layout Plan:
- 4 No. Copies Scaled Drawings of Development:
- €80 Application Fee:

<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>
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PLANNING DEPARTMENT

08 NOV 2023

CORK COUNTY COUNCIL
County Hall, Cork

FOR OFFICE USE ONLY

Receipt No.	R2-0002312
Cash/Cheque/ Credit Card	Cheque
Date	8/11/23.
Declaration Ref. No.	D/301/23

DATE STAMP HERE

You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3rd parties to view.

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

DATA PROTECTION

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at

<http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to dpo@corkcoco.ie or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.

4. APPLICATION DETAILS:

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m²)

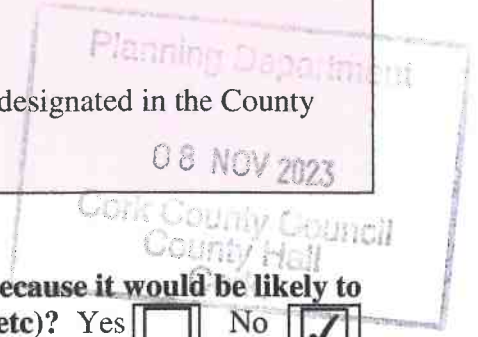
(a) Floor area of existing/proposed structure(s):	94.33m ² Existing, 35.10m ² Extension Proposed
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 st October, 1964 (including those for which planning permission has been obtained):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas (m ²) and previous planning reference(s) where applicable:
(c) If a change of use of land and/or building(s) is proposed, please state the following: Existing/previous use Domestic Dwelling _____ _____ _____	Proposed use Domestic Dwelling _____ _____ _____
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please state relevant reference number(s):

5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE:

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:		
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):		

6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please state relevant reference No. _____
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>



7. APPROPRIATE ASSESSMENT:

Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes No

8. DATA PROTECTION DECLARATION:

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Processing of your Declaration of Exemption application by the Planning Authority

I give permission for my personal information to be processed for the purpose stated above

Signed (By Applicant Only)	<i>M. M. O'Loughlin</i>
Date	06-Nov-2023

GDPR Special Categories of data / Sensitive Personal data - Explicit Consent

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.

Special Categories of data / Sensitive Personal data include:

- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation

In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

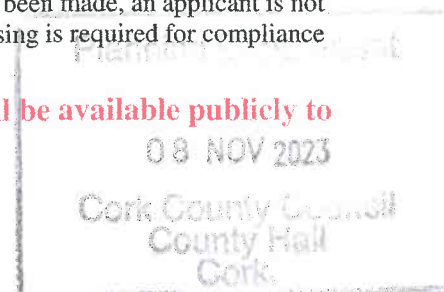
Sensitive personal data being submitted in support of Declaration of Exemption Application

I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.

Signed	<i>M. M. O'Loughlin</i>
Date	06-Nov-2023

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: planninginfo@corkcoco.ie or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: westecorkplanninginfo@corkcoco.ie However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.




ADVISORY NOTES:

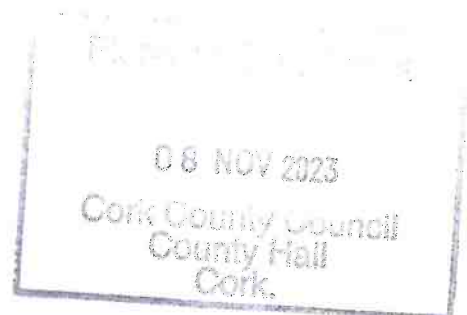
The application must be accompanied by the required fee of €80
 The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.
 Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.
 The application should be sent to the following address:
 The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.

9. I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:

Signed (Applicant or Agent as appropriate)	
Date	06-Nov-2023



Part II

Name of Applicant and person who grant is for: Michelle O'Loughlin for her husband Brian O'Loughlin and son Brendan O'Loughlin
Cork County Council N-HGD-128-23
Reference:
Address: 3 Gleann Aras Drive, Grenagh, Co. Cork, T23 HY94
Date of Report: 11/08/2023

Recommendations for adaptation:

As there is insufficient space within the existing footprint of the property it is recommended to:

1. Construct a ground floor extension to the rear of the property to provide level access living, including a bedroom with Ensuite shower room.
2. In the new ground floor Ensuite shower room, to install either a comfort height toilet as per specifications attached or a wash and dry toilet such as a Closomat.
3. Provide level access from the front of the property to the rear ground floor extension, as per specifications attached.

Priority/category:

Priority 1 Urgent – Mr. Brian O'Loughlin has a life limiting condition, which is rapidly progressing.

Please do not hesitate to contact us if you would like to further discuss any of the recommendations outlined.

Kind regards,



Sandra Hegarty
Occupational Therapist, BScOT Hons
CORU No: OT023084



Cathy Wyer
Occupational Therapist, BScOT Hons
CORU No. OT016884

All recommendations must adhere to the work specifications attached

Occupational Therapists are not professionally qualified to advise on the legislative provisions under the Planning Acts, Control Acts and Regulations and advise consultation with the appropriate Architects / Engineers prior to commencing work.

Work Specifications if ramp access is required to achieve level access to the property:

- ❑ Recommended gradient for ramp is 1:20. Minimum gradient of the ramp is 1:15.
- ❑ A level landing platform, ideally 1500mm x 1500mm, should be provided at the head, foot and any change in the direction of the ramp. This will facilitate sufficient space to achieve a turning circle and provide an area for rest and safety.
- ❑ The landing platform directly in front of the door must be level with the inside of the house therefore adequate drainage is essential to prevent water tracking into the house or pooling on the platform. Client and engineer to agree on most suitable option.
- ❑ Recommended minimum width of ramp is 1200mm (between handrails).
- ❑ Maximum overall length of the ramp should be 9000mm between different levels or landings. A gradient of 1:20 is recommended. The maximum length of ramp between different levels or landings should be 4500mm.
- ❑ Handrails must be provided on the exposed side of the ramp at a height of 750mm-900mm above finished floor level or positioned to meet the needs of the service users and other family users. If ramp is freestanding handrails must be provided on both sides.
- ❑ Handrails should extend at least 300mm beyond both top and bottom of ramp and should bend or turn to indicate level platforms or changes in direction.
- ❑ Handrails should be easy grip with a maximum diameter of 45mm. Handrail gripping should be continuous, avoiding joints (frictionless).
- ❑ Handrails should terminate in a closed end that does not project into a route of travel.
- ❑ Wall mounted handrails should have 45mm clearance between rail and wall.
- ❑ A second- hand rail half-way between the top rail and ground level is recommended. This is desirable if there are people of different heights in the home. This should be between 600mm to 700mm above finished floor level.
- ❑ A raised kerb of 100mm in height should be provided on any open side. This is not required when a filled-in rail has been used.

- Surfaces should be slip-resistant-ribbed concrete, macadam or similar slip resistant finish. Builder to advise on most suitable option.
- Ensure sufficient outdoor lighting. Sensor lighting may be beneficial.
- Consideration: Porch or canopy may need to be provided to give weather protection to user.
- Visual and /or tactile markers can be placed at top and bottom of ramp if deemed necessary.

Work specifications for a level access shower room

- The recommended dimensions for a shower room sufficient to meet the individual's needs who requires assistance, is 2500mm x 2500mm (AOTI Housing Design Guidelines for Occupational Therapists 2020).
- An internal showering area of 1200mm x 1200mm is recommended.
- **The shower floor should finish flush with the bathroom floor. Level access can be achieved using one of the following:**
 - Level access shower tray. This tray must be suitable for ambulant and wheeled shower chair users. It must be no greater than 5mm above finished floor level at point of entry with a rounded lip.
 - Tiled floor surface
 - Wet room or sloping entire floor with a gentle sloping gradient (1:40) toward the drain hole centred or set in one corner.
 - Continuous soft flexible covering such as Jerco vinyl. Grade 11.
 - Rigid fibreglass commercial tray
 - Grille type commercial tray
- The advantages and disadvantages of these floor surfaces can be discussed with builder.
- Flooring throughout the bathroom should be slip resistant-synthetic sheet, Jerco vinyl. Floor surfaces should have a slip-resistant value of R11, or a Pendulum Test Value (PTV) of 36+.
- Keep the shower as far away from the door as possible to avoid water being tracked into the bedroom.
- Shower units must be thermostatically controlled. This allows only a variance of 1 degree centigrade + or _ where there is variation in water temperature or pressure.
- Maximum temperature according to Health Information and Quality Authority (2009) to prevent scald should be 43 degrees Celsius.
- Telephone type shower spray on long hose detachable from wall on height adjustable bar. Height-bottom of rail should start 1000mm above floor level. Length of shower hose to be 1500mm minimum if being used by carer.

- ❑ A longer than standard riser bar can be installed to accommodate seated and ambulant height requirements.
- ❑ Shower controls and soap dish should be within easy reach when sitting-approx. 900-1200mm from floor level or to meet client's individual needs.
- ❑ Generally, controls should be sited on the long wall of the shower at 900-1200mm to shower seat to facilitate access for seated user. Positioning on short wall may be more suitable for assisted user to facilitate access to controls for carer.
- ❑ Water containment options: The shower area should be open on 2 adjoining sides. When choosing most appropriate option; ensure door openings do not obstruct the circulation space within the room (minimum 1500mm):
 - Full length shower doors which are split bilaterally on the horizontal plane.
 - Single full glass screen with a 300mm folding flare leaf (to curtail the water) ideally 600mm opening into the shower area.
 - Folding half shower doors fitted to walls on two sides, with weighted curtain to curtail the water.
 - Portable half height folding doors are an option as they will not take up any circulation space within the room.
 - Fixed half screen doors. Door openings to be determined by individual needs and must not obstruct wheelchair access to the toilet.
 - Ensure all glass is shatter/safety proof.
- ❑ Grab rails: to be installed in consultation with client. Standard heights are as follows:
 - A 600mm horizontal rail to be fitted 1000mm above finished floor level
 - A 600mm vertical rail to be fitted 800-1400mm above finished floor level
 - All grab rails to be 35mm in diameter.
 - Plastic fluted rails are preferred, if chrome is selected it is vital that they are earth-bonded to avoid electric shock.
- ❑ Provide switches/electrical outlets at 1000mm-1200mm from floor level and convenient to wash basin or to meet individual needs of client. Electrical fittings should be waterproof within the bathroom. Rocker style switches may be beneficial as they are easier to use.
- ❑ Bathroom should be well heated and ventilated.
- ❑ Ideally radiators should be sited away from shower, toilet and wash hand basin so they are not used as grabrails.
- ❑ As an alternative to a radiator as a heat source, a heated towel rail within easy reach of wash basin and/or shower could be considered.
- ❑ Wall mounted extractor fan to be fitted. Builder to advise re. same.

Toilet:

- ❑ A wash and dry toilet such as a Closomat may be beneficial as an alternative to a comfort height toilet. Please liaise with client in this regard.
- ❑ Position of toilet: Preferred position of the toilet is opposite the door opening.
- ❑ If a comfort height toilet is installed, this should be between 460- 480mm above finished floor level when finished (seat & lid). Round nose toilets are preferred to accommodate over toilet aids.
- ❑ If using a low level or close coupled toilet, ensure the cistern lid is securely fixed as they are often used as support.
- ❑ The toilet bowl should be positioned so that its centre line is a minimum of 450mm-500mm from a side wall to allow positioning of grab rails, mobile commodes and toilet surrounds.
- ❑ Minimum of 750mm clear space should be allowed from the back wall to the front wall of the pan. This space should not have boxed in pipes or any other objects preventing full access. All water pipes should be recessed. This will ensure positioning of a commode/wheelchair.
- ❑ Flush handle should be on outer side of the toilet-lever type handles, spatula type is ideal.
- ❑ Paper dispenser should be within easy reach. Please liaise with client prior to fitting.
- ❑ Grab rails and toilet roll holders should be installed according to client's needs. Please liaise with client for final fitting of same. Standard specifications are:
 - 600mm horizontal grab rail, 700mm above finished floor height and starting 200mm from back wall.
 - Optional 600mm vertical rail at end of horizontal rail with base at 700mm above finished floor height and 200mm from front of toilet pan.
 - If using folding grab rails, position 450mm from centre of pan.
 - All grab rails should be 35mm diameter and 600mm long.

Wash hand basin:

- ❑ A wide rimmed basin is generally recommended - 500mm minimum. However, given the available circulation space within the bathroom, consideration should be given to a small wash hand basin.
- ❑ Ideally the wash hand basin (WHB) should be bracketed from the wall and extend 430mm-480mm out from the wall and free of a pedestal. This will allow for seated use and also to maximise available floor space.
- ❑ Allow a minimum of 700mm knee space at the lowest point of the basin to finished floor level.

- ❑ Wash hand basin height should be 860mm-960mm above finished floor level for ambulant user. Wall-mounted, height adjustable brackets could be considered so the WHB can be adjusted in height if required for seated user (670-820mm). Please liaise with client prior to final fitting.
- ❑ The WHB should not obstruct the doorway or the client's method of transfers from shower or toilet.
- ❑ Lever type taps and inline mixer are preferred options.
- ❑ A thermostatic valve should be fitted.
- ❑ Position mirror over sink to suit the service user (900mm-1300mm). Consider appropriate lighting over mirrored areas.
- ❑ Shaving sockets 900mm-1100mm above finished floor level or to meet the individual's needs. Consider hand dominance of the person.
- ❑ Towel rails should be fitted to meet individual needs (approx. 1000mm-1300mm).
- ❑ Consider shelf space beside the basin for toiletries. Shelving should be at different heights for a range of users (500-1300mm).

Work Specifications for a bedroom:

Bedroom size:

- ❑ Suggested bedroom size for an assisted wheelchair user should be 4000mm x 3900mm, to allow for a single profiling bed in the centre of the room; as per Association of Occupational Therapists of Ireland. Housing Design Guidelines for Occupational Therapists (2020).

Layout:

- ❑ Identify the side of the bed the client prefers to access, and on which side they sleep. The appropriate side for transfers should be nearest to the bathroom and exit door.
- ❑ Position the profiling bed in the centre of the room to allow access on both sides, if required-this enables carers provide care.
- ❑ Profiling bed may be adjacent to a wall, so the client can reach wall mounted light switches.
- ❑ If possible, position the bed to facilitate the client to look out the window when sitting up in bed or lying down, as appropriate.
- ❑ Two- way centre light switches allow control of lights from the bed.
- ❑ For profiling beds, sockets are best placed 300mm from floor level to prevent damage to the sockets through the movement of the bed.
- ❑ Minimum of one double socket is recommended at a low level for bed and mattress, and two double sockets at a higher level. Consider extra sockets for TV

screen and receiver, phone charger, computer, assistive technology, radio, hairdryer etc.

- ❑ Light and adequate ventilation to be supplied to bedroom.
- ❑ Bedroom temperature is 18 degrees Celsius (National Health Service [NHS], 2017a).
- ❑ Floors should be even with appropriate flooring for easy cleaning. Warm, washable, all-in-one covering is ideal.
- ❑ Consideration of space for storage and equipment needs.

Storage:

- ❑ Size and type of storage should reflect the client's needs.
- ❑ Wardrobe: average size 1000mm x600mm
- ❑ Bedside locker: depth 450mm
- ❑ Chest of drawers: average size 900mm x 500mm
- ❑ Storage should be located where convenient and accessible.
- ❑ Load bearing ability and storage units should be carefully considered. Some storage units may require securing to the wall or floor to prevent injury and/or damage from toppling or pulling.
- ❑ Where storage space is accessed via a door, consider clear opening width and security of same.
- ❑ Handles, locks and hinges should reflect the service user's performance capacity.
- ❑ Some clients may require lighting directly in the storage area to improve functional use.
- ❑ Some storage units are compatible with environmental controls and may offer the service user more independent access.

Work specification for Internal Doorways:

- ❑ Any new internal doors to have a minimum clear opening width of 800mm.
- ❑ For all new builds or new doors, 900mm clear opening width is recommended.
- ❑ In existing dwellings where space may be restricted consider a cranked hinge to increase clear opening width of door to make best use of available space.
- ❑ Door saddles should be omitted.
- ❑ Hang doors so that they open against adjacent walls.

Consider fire safety and access in/out of the house. NOTE: smoke alarms: It is recommended that two self-contained, 10-year battery operated alarms are installed (Local Authority Administrative Guidelines Item 16. P. 12).

A3

Description:
 Historic 6" Latest Edition

Publisher / Source:
 Ordnance Survey Ireland (OSI)

Data Source / Reference:
 CK051
 Revision Date =
 Survey Date = 31-Dec-1933
 Levelled Date = 31-Dec-1937

Clip Extent / Area of Interest (AOI):
 LLX,LLY= 555868.9469,582661.8139
 LRX,LRY= 560790.9469,582661.8139
 ULX,ULY= 555868.9469,586295.8139
 URX,URY= 560790.9469,586295.8139

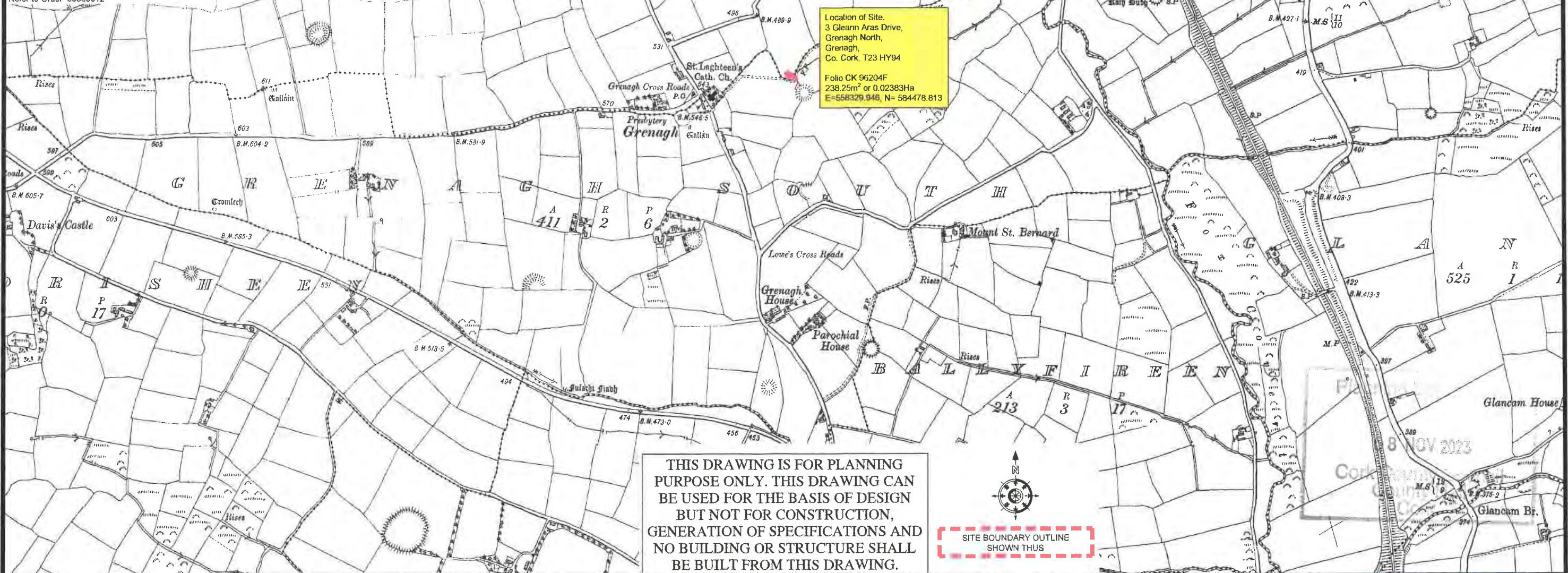
Projection / Spatial Reference:
 IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
 X,Y = 558329.9469,584478.8139

Data Extraction Date:
 04-Nov-2023

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Refer to Order 50366312



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SITE BOUNDARY OUTLINE SHOWN THUS

Mark	Date	By	Revision	Checked By
1	06.11.23	CD'S	Issued for Planning Approval	

Drawing Status
Exemption Planning Application

Clients Name
**Michelle O' Loughlin,
 3 Gleann Aras Drive,
 Grenagh North,
 Grenagh,
 Co. Cork, T23 HY94**

Job Title
Permission for the Modifications and Extension to Existing Dwelling at 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94

Drawing Title
**Record Place Map
 1:10560**

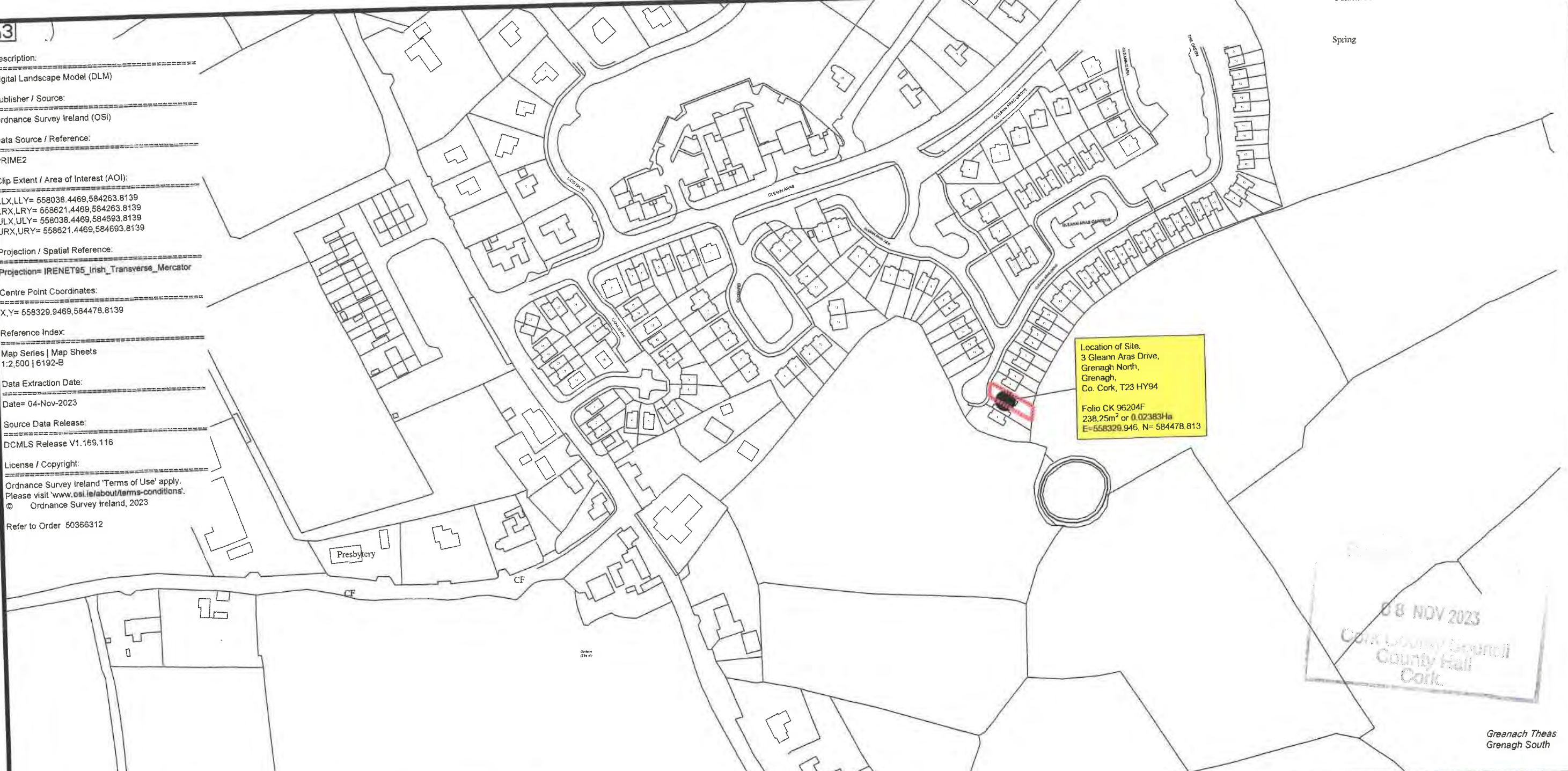
Clement O'Sullivan
 Engineering Design Solutions Ltd.
 Garrynagengagh, Mounseaboy, Mallow, Co. Cork, P51 T992
 Mobile Telephone Number: (03747) 5143 Email: c.osullivan@csos.ie

Scales: 1-10560
 Date: 18.10.23
 Job No.: 071-10-23
 Drawing No.: 200
 Rev.: 1

A3

Description:
 Digital Landscape Model (DLM)
 Publisher / Source:
 Ordnance Survey Ireland (OSI)
 Data Source / Reference:
 PRIME2
 Clip Extent / Area of Interest (AOI):
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 LRX,LRX= 558621.4469,584263.8139
 ULX,ULY= 558038.4469,584693.8139
 URX,URY= 558621.4469,584693.8139
 Projection / Spatial Reference:
 Projection= IRENET95_Irish_Transverse_Mercator
 Centre Point Coordinates:
 X,Y= 558329.9469,584478.8139
 Reference Index:
 Map Series | Map Sheets
 1:2,500 | 6192-B
 Data Extraction Date:
 Date= 04-Nov-2023
 Source Data Release:
 DCMLS Release V1.169.116
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Spring



Location of Site,
 3 Gleann Aras Drive,
 Grenagh North,
 Grenagh,
 Co. Cork, T23 HY94
 Folio CK 96204F
 238.25m² or 0.02383Ha
 E=558329.946, N= 584478.813

08 NOV 2023
 Cork County Council
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 Cork

Grenagh Theas
Grenagh South



SITE BOUNDARY OUTLINE
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Mark	Date	By	Revision	Checked By
1	06.11.23	CD'S	Issued For Planning Approval	

Drafting Status
Exemption Planning Application

Clients Name
**Michelle O' Loughlin,
 3 Gleann Aras Drive,
 Grenagh North,
 Grenagh,
 Co. Cork, T23 HY94**

Job Title
**Permission for the Modifications and Extension
 to Existing Dwelling at 3 Gleann Aras Drive,
 Grenagh North, Grenagh, Co. Cork, T23 HY94**

Drafting Title
**Rural Place Map
 1:2500**

Clement O'Sullivan
 Engineering Design Solutions Ltd.
 Garrynagarragh, Mounseaboy, Mallow, Co. Cork, P51 T992
 Mobile Telephone Number: 087 947 3145 Email: c.osullivan@csd.ie

Scale	1:2500	Lead File Reference	071-10-23-201
Drn	Date 18.10.23	Chd	Passed
Job No.	071-10-23	Drafting No.	201
		Rev.	1

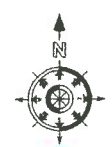
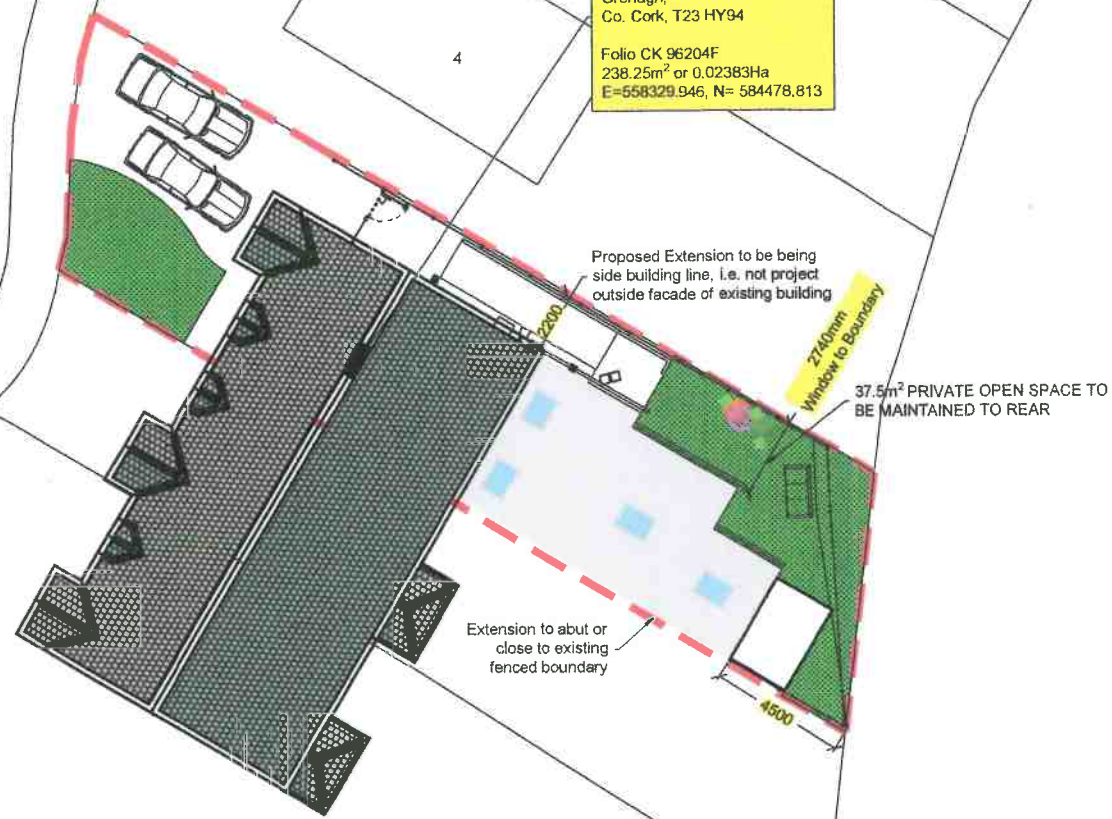
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14

7

Location of Site,
3 Gleann Aras Drive,
Grenagh North,
Grenagh,
Co. Cork, T23 HY94

Folio CK 96204F
238.25m² or 0.02383Ha
E=558329.946, N= 584478.813



SITE BOUNDARY OUTLINE SHOWN THUS

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Planning Department
08 NOV 2023
Cork County Council
County Hall
Cork.

Mark	Date	By	Revision	Checked By
1	06.11.23	CD'S	Issued for Planning Approval	

Drawing Status
Exemption Planning Application

Clients Name
Michelle O' Loughlin,
3 Gleann Aras Drive,
Grenagh North,
Grenagh,
Co. Cork, T23 HY94

Job Title
Permission for the Modifications and Extension to Existing Dwelling at 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94

Drawing Title
Site Layout Plan
1:250

Clement O'Sullivan
Engineering Design Solutions Ltd.
Garrynagaragh, Mounscabbey, Mallow, Co. Cork, P51 T992
Mobile Telephone Number: 087 937 9143 Email: c.osullivan@esol.ie

Scales 1-250 Cad File Reference 071-10-23-202

Drn	Date	Chd	Passed
	18.10.23		

Job No.	Drawing No.	Rev.
071-10-23	202	1

- 1200x1200mm shower area with:
- Flush flooring - Jerco Vinyl grade 11
 - Entire area to be fitted with Jerco Vinyl R11 slip resistance and / or PTV of 36+
 - Wet room floor to slope to drain in corner
 - Recessed water trap
 - Shower to be thermostatically controlled with max variance of +/- 1° with a max of 43°
 - Telephone type shower spray on long detachable from wall on height adjustable bar
 - Shower spray rail to be fitted from 1000mm to base of rail and hose to be minimum 1500mm long
 - Shower controls and soap dish to be within reach of user and located 1050mm above FFL
 - Water containment by means of folding half doors fitted to walls on two sides with weighted curtain to curtail water.
 - Fold down grab rails to be fitted on either side of seat
 - A 600mm horizontal rail to be fitted 1000mm above FFL
 - A 600mm vertical rail fitted between 800-1400mm above FFL
 - All grab rails to be minimum 35mmØ and chrome finished (ensure earth bonded to resist shock)

- WC area with:
- Water proof switches and electrical outlets to be located 1100mm above FFL
 - Bathroom to be fitted with mechanical extract providing min 20l/s extract rate on southern wall
 - Wash and dry Closomat toilet to be installed or a comfort high toilet.
 - 600mm horizontal grab rail located 700mm above FFL and 200mm from back wall.
 - 600mm vertical rail at end of horizontal rail with base 700mm above FFL and 200mm from front of toilet pan
 - Folding grab rail 450mm from centre of toilet pan
 - All grab rails to be minimum 35mmØ and chrome finished and 600mm long (ensure earth bonded to resist shock)

- Wash Hand Basin Area:
- Min 500mm wide rim basin
 - Basin to be 430-480mm from wall and free from pedestal
 - Basin to be mounted 860-960mm above FFL
 - 700mm knee space to be provided under basin to FFL
 - Thermostatic valve to be fitted
 - Mirror over basin
 - Shelf for toiletries at 500 & 1300mm above FFL

- New bathroom / shower room to be fitted with additional features
- Alarm pull cord
 - Colostomy changing shelf
 - Sanitary disposal unit
 - Hand rinse basin
 - 800mm wide entrance door (see note)
 - Shelf
 - Disposal bin
 - 2# coat hooks at 1050mm and 1400mm AFFL
 - 1.2m long vertical mirror 600mm AFFL
 - Tip up seat

1500mmØ clear turning radius for clear maneuverability / accessibility to sleeping facilities

New door to bathroom area to be fitted with horizontal grab rail and to conform to 3.3.2 of TGD 'M'

Bathroom to be fitted with 2500mm² background ventilation by means of Fresh 99H by Passivent in conjunction with 20 l/s mechanical extract fan through southern wall

AFFL = Above Finished Floor Level

PROPOSED EXTENSION OUTLINE SHOWN THUS

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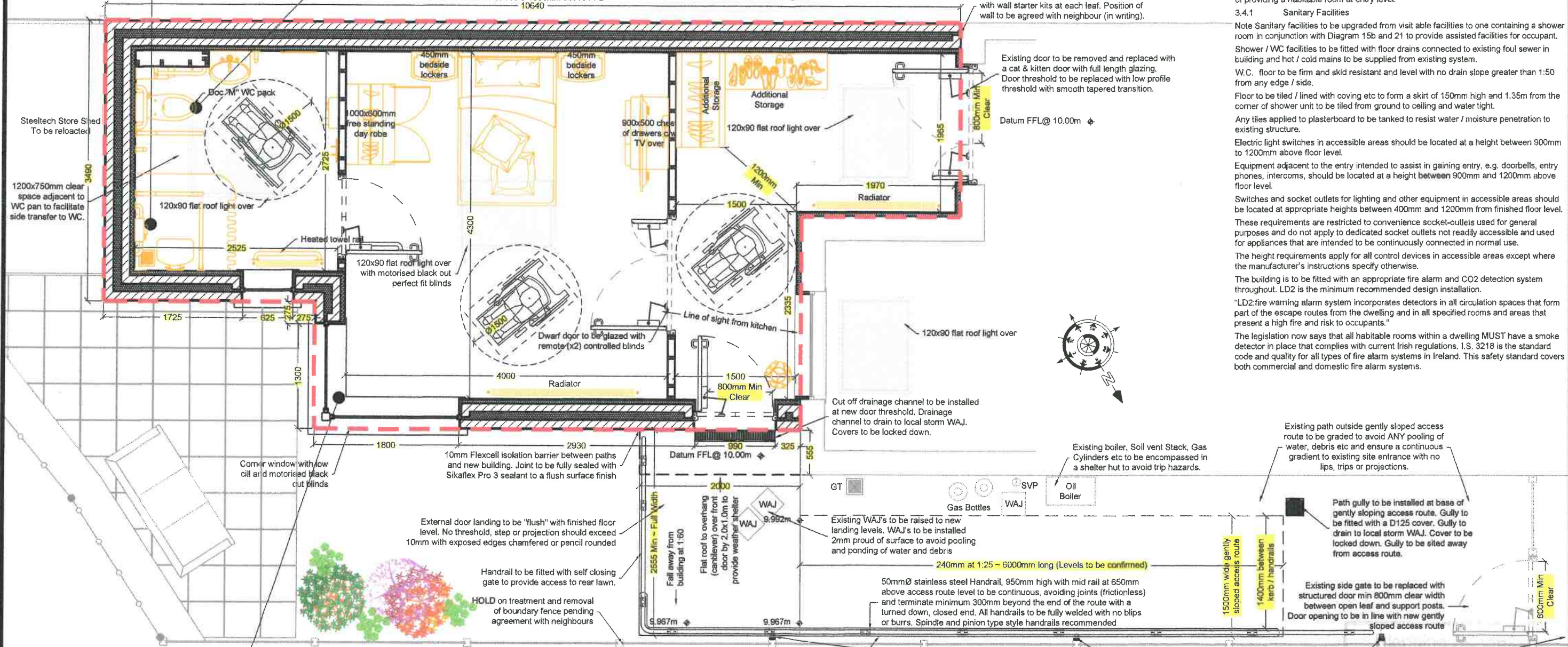
PROJECT BRIEF:
To make existing building accessible under Part M of Building Regulations for Multiple Sclerosis occupant, Brian O' Loughlin.
The building and design is to take into account Physical Condition/Requirements, Oak Tree Occupational Therapy Services, Building Regulations, Cork Co Co Requirements, NDA Recommendations and HSE Recommendations.

3.1.2 Access Route:
Provide a ramped access to the new accessible door in accordance with 3.1.2.4 (enhanced design) to allow ease of access to dwelling from point of access and rear garden lawn.

3.3.2.1 Circulation within Dwellings.
ALL Existing doors to be removed and widened to accommodate an 800mm clear width door in accordance with 3.3.2 of TGD 'M' where required.
Door handles to be located at a height of between 800mm and 1200mm from floor level (900mm preferred)
All floors to be screeded / levelled and refurbished with new coverings to ELIMINATE any thresholds across door.

3.3.2.2 Vertical Circulation within Dwellings.
Note stairs to remain as is and is NOT disabled friendly. This is acceptable on the basis of providing a habitable room at entry level.

3.4.1 Sanitary Facilities
Note Sanitary facilities to be upgraded from visit able facilities to one containing a shower room in conjunction with Diagram 15b and 21 to provide assisted facilities for occupant. Shower / WC facilities to be fitted with floor drains connected to existing foul sewer in building and hot / cold mains to be supplied from existing system.
W.C. floor to be firm and skid resistant and level with no drain slope greater than 1:50 from any edge / side.
Floor to be tiled / lined with coving etc to form a skirt of 150mm high and 1.35m from the corner of shower unit to be tiled from ground to ceiling and water tight.
Any tiles applied to plasterboard to be tanked to resist water / moisture penetration to existing structure.
Electric light switches in accessible areas should be located at a height between 900mm to 1200mm above floor level.
Equipment adjacent to the entry intended to assist in gaining entry, e.g. doorbells, entry phones, intercoms, should be located at a height between 900mm and 1200mm above floor level.
Switches and socket outlets for lighting and other equipment in accessible areas should be located at appropriate heights between 400mm and 1200mm from finished floor level. These requirements are restricted to convenience socket-outlets used for general purposes and do not apply to dedicated socket outlets not readily accessible and used for appliances that are intended to be continuously connected in normal use.
The height requirements apply for all control devices in accessible areas except where the manufacturer's instructions specify otherwise.
The building is to be fitted with an appropriate fire alarm and CO2 detection system throughout. LD2 is the minimum recommended design installation.
"LD2: fire warning alarm system incorporates detectors in all circulation spaces that form part of the escape routes from the dwelling and in all specified rooms and areas that present a high fire and risk to occupants."
The legislation now says that all habitable rooms within a dwelling MUST have a smoke detector in place that complies with current Irish regulations. I.S. 3218 is the standard code and quality for all types of fire alarm systems in Ireland. This safety standard covers both commercial and domestic fire alarm systems.



EXISTING GROUND FLOOR AREA = 49.73m²
EXISTING FIRST FLOOR AREA = 44.59m²
TOTAL EXISTING FLOOR AREA = 94.33m²

PROPOSED EXTENSION = 35.10m²
TOTAL PROPOSED FLOOR AREA = 129.43m²

- Two way light switches at doorway and bedside - client to identify preferred sleeping side.
- For profiling beds, sockets to be positioned 300mm from finished floor level to prevent damage to sockets.
- 1# double sockets either side of bed - low level,
- 2# double sockets either side of bed - higher level,
- 1# double socket for TV screen and receiver
- USB and phone charger sockets etc
- Existing heating to be extended to new areas.
- Thermostat to be set around 18°



Typical Stainless Steel Handrail

08 NOV 2023
Cork County Council
County Hall
Cork.

Mark	Date	By	Revision	Checked By
1	06.11.23	CD'S	Issued for Planning Approval	

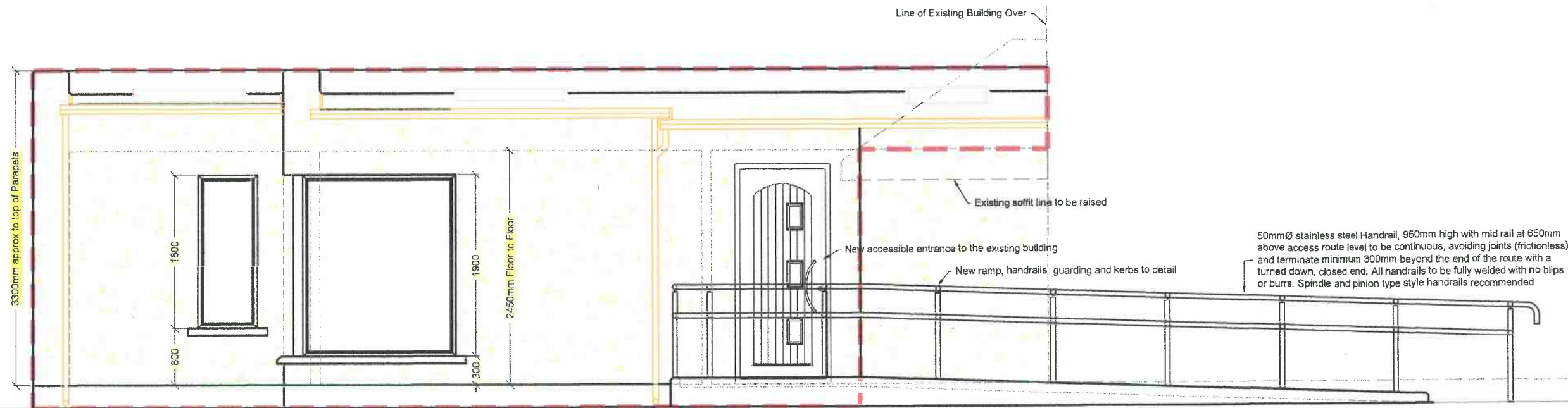
Drawing Status
Exemption Planning Application

Clients Name
**Michelle O' Loughlin,
3 Gleann Aras Drive,
Grenagh North,
Grenagh,
Co. Cork, T23 HY94**

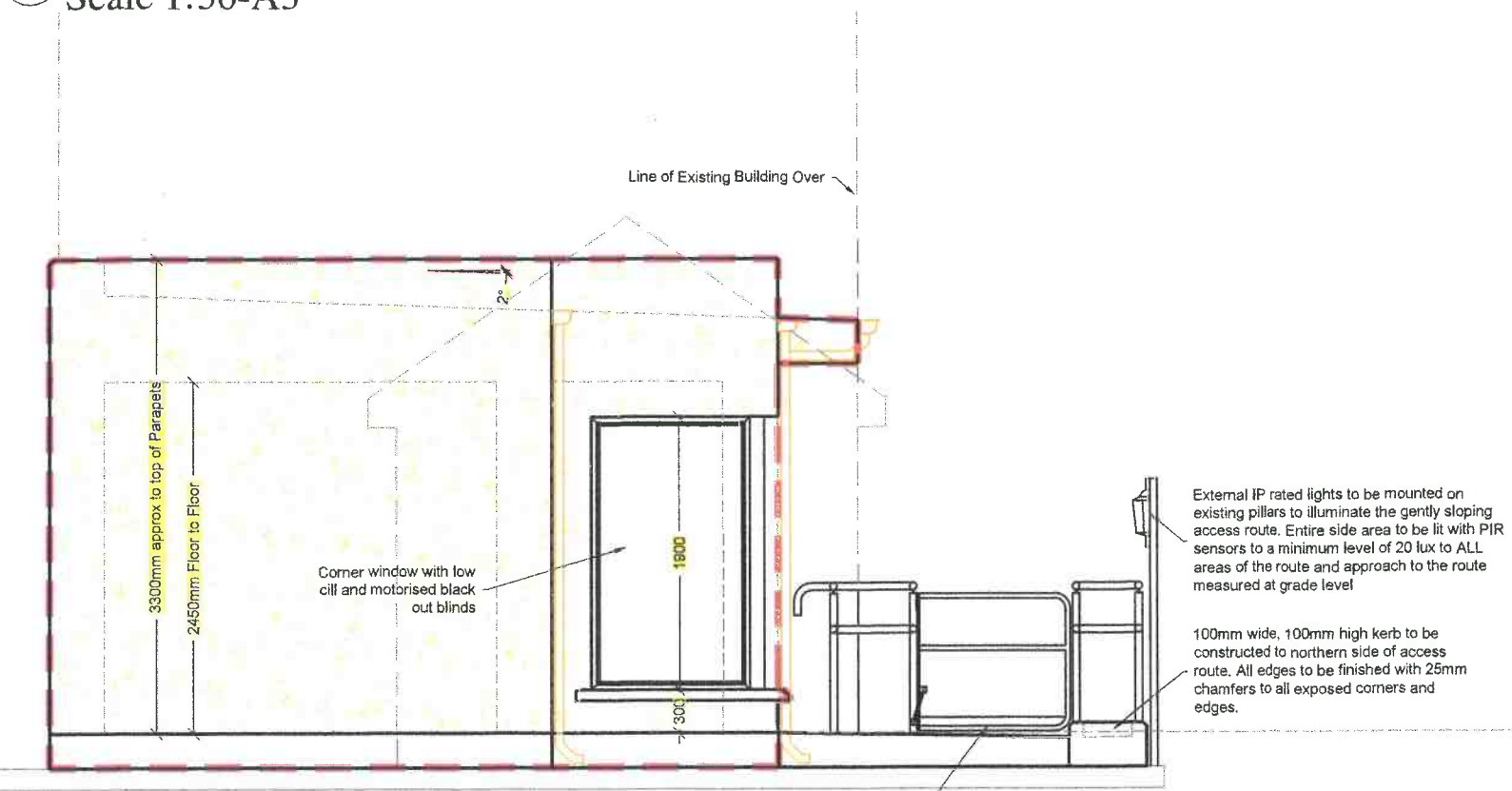
Job Title
**Permission for the Modifications and Extension
to Existing Dwelling at 3 Gleann Aras Drive,
Grenagh North, Grenagh, Co. Cork, T23 HY94**

Drawing Title
Proposed Extension Layout Plan

Scales 1-50		Cad File Reference 071-10-23-204	
Dirn	Date 18.10.23	Chd	Passed
Job No.	071-10-23	Drawing No.	204
		Rev.	1



Proposed North East Elevation
Scale 1:50-A3



Proposed South East Elevation
Scale 1:50-A3

PROPOSED NORTH WEST ELEVATION SHOWN BY EXISTING BUILDING
PROPOSED SOUTH WEST ELEVATION SHADOWED BY EXISTING FENCE - ELEVATION BLANK FINISHED WALL

Planning Department
08 NOV 2023
Cork County Council
County Hall
Cork

PROPOSED EXTENSION OUTLINE SHOWN THUS

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<table border="1"> <tr> <th>Mark</th> <th>Date</th> <th>By</th> <th>Revision</th> <th>Checked By</th> </tr> <tr> <td>1</td> <td>06.11.23</td> <td>CO'S</td> <td>Issued for Planning Approval</td> <td></td> </tr> </table>	Mark	Date	By	Revision	Checked By	1	06.11.23	CO'S	Issued for Planning Approval		Drawing Status Exemption Planning Application	Clients Name Michelle O' Loughlin, 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94	Job Title Permission for the Modifications and Extension to Existing Dwelling at 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94	Drawing Title Proposed Extension Elevations	Clement O'Sullivan Engineering Design Solutions Ltd. Garrynagaragh, Mountcabboy, Mallow, Co. Cork, P51 T992 Mobile Telephone Number: 087 9473143 Email: clement.osullivan@gmail.com
	Mark	Date	By	Revision	Checked By										
1	06.11.23	CO'S	Issued for Planning Approval												
Scales: 1-50 Job No. 071-10-23 Date 18.10.23 Drawing No. 205 Chd. Passed Rev. 1	Cad File Reference: 071-10-23-205														

A3 BUILD SPECIFICATION:

- NOTE:**
- For 'selected' finishes such as roof, fascia's & soffits, external windows, windows & doors, please see elevational drawings.
 - The use of an alternative product / material put forward by the contractor must be provided with appropriate documentation to allow or the employer's representative to ensure for compliance with project specification.

- ROOF:**
- Refer to roof details for specifications.

- FASCIA / SOFFIT & BARGE BOARD:**
- Selected 2mm pressed milled aluminium fascia fixed to end of roof truss to form a flush fascia as per manufactures specification & detail. Selected aluminium trim to form flush barge as per manufactures specification & detail. Fascia and soffits to be fitted with necessary timber backing to ensure a supported structure.

- CILLS and JAMBS:**
- Selected precast concrete cills to be used through-out unless otherwise indicated, cills to be wrapped in dpc's & cill bedded into external wall. Provide cavity insulation, insulated cavity closure, insulated block work behind concrete ensure continuation of air tightness barrier by fixing air tightness tape internally to window/door frame and wall
 - External leaf to pass internal leaf by 15mm to restrict direct air loss through jamb details.
 - Provide vertical D.P.C and insulated cavity closure. Ensure continuation of air tightness barrier by fixing air tightness tape internally to window/door frame and wall

- EXTERNAL RENDER:**
- Selected proprietary one coat high performance water-based acrylic copolymer protective and decorative coating for concrete and masonry conforming to the requirements of BS EN1504-2 by Fosroc on render with a scraped texture finish to manufactures specification & detail and applied by approved applicator.
 - All render to be silicon based to resist moisture and mildew growth and moisture penetration.

- EXTERNAL RENDER:**
- 20mm External walls consisting of external silicon based K-Rend self rendered finish of selected colour / finish

- EXTERNAL WALL:**
- 508/395mm cavity wall comprising 102 concrete block external leaf with 20mm selected render as per specification. 150mm cavity incorporating selected cavity insulation and insulated cavity closures & wall ties, 215/102mm concrete block internal leaf with 20mm selected plaster finish as per specification.
 - Allow for forming openings (lintels, cills & jambs) for windows, doors & vents. Allow for placing pipes in outer leaf, pre rendering, to facilitate installation of bonded bead insulation. Where indicated allow for insulated concrete block work. Insulation: (2011-Doc L-U-Value 0.21W/m²K concrete cavity wall: specified U-Value 0.13W/m²K)
 - Cavity Insulation: = 0.021 W/m²K - 45mm Rigid Polyisocyanurate (PIR) with engineered skin- 'Xtratherm - CavityTherm 150' or equivalent.
 - Insulated cavity closer: = 0.022 W/m²K - 'Kingspan-Kooltherm 65mm' cavity closer or equivalent
 - Insulated block work: = 0.020 W/m²K - 'Quinn-Lite aircrete blocks' or equivalent.
 - Remaining cavity to be pumped with KOREFILL Cavity Wall Insulation System to full depth.
 - All walls to be thermal photographed upon completion to identify cold spots in insulation and confirm full insulation protection / coverage..

- INTERNAL PLASTER:**
- Ensure Air Barrier Continuity- please see Air Tightness Heading
 - Walls- Concrete block
 - Wet finish hard wall gypsum plaster comprising of 9mm base/undercoat gypsum plaster such as 'gypstone' or similar approved. 2mm finishing gypsum coat such as 'gyp-lite or gyp-weld' or equivalent towelled to a smooth even finish.
 - Ceiling- underside of floor joists
 - 15mm plasterboard slabs with plaster skim finish. Refer to details for requirement of pre-insulated slabs
 - Ceiling-underside of roof truss
 - 15mm foil-backed plasterboard slabs with plaster skim finish. Refer to details for requirement of pre-insulated slabs

- WINDOWS & ROOF QUALITY:**
- Selected high quality Eco Triple glazed PVCu windows. All as per window schedule.

- GLAZING and WINDOW SPECIFICATION:**
- Clear float to all windows except bathroom & wc where obscure (sandblasted) glazing is to be provided.
 - Triple glazed PVC window to be fitted with extension pieces and air taped to wall openings. Window to be fitted with selected colour and finish. Low E glass, 18mm (min) wide profile construction c/w internal beading (for security), 3 or 4 chamber dark finish. Windows are to be pre-approved in terms of supplier / form of construction and energy rating. The windows are to be of a selected colour with suitable frame to accommodate large structures, high wind exposure and environments with additional steel supports required for the large windows. All windows and doors are to be suitably thermal resistance to be in excess of current building regulation. The front door is to be hardwood with PVC windows surround with additional steel supports for the door frame where required.

- DOORS:**
- Selected External front door - Composite Engineered door such as Palladio Collection
 - Selected External rear doors - Eco Triple glazed PVCu doors.
 - Internal Doors - 50mm solid or engineered doors such as Denta Collection with glazing (1/2 hr fire rated). Frames complete with furniture. All as per door schedule
 - All doors to be fitted with adequate structural framing and supports to detail

- STORAGE**
- Overhead flooring for storage to be provided in attic spaces in conjunction with detailed storage.

- RAIN WATER GOODS**
- Selected milled aluminium 125mm dia 1/2 round gutter & 75mm round down pipe installed in accordance with manufactures specification & detail. All down pipes to be concealed in cavity / insulation where possible.
 - Seamless aluminium gutters to selected colours with matching down pipes.
 - Selected seamless aluminium fascia and soffit to entire perimeter of the building.

- WALL TIES:**
- Horizontal Spacing - 450mm c/c, Vertical Spacing - 450mm c/c with unbonded jambs to all openings in cavity walls, provide wall ties at 225mm vertical centres, located within 150mm of the opening. Wall ties to have a conductivity of = 0.07W/m²K 'Magmatec Ancon - Teplo Ties' or equivalent.
 - Internal Walls, where indicated
 - 215/100mm concrete block on edge with wet finish plaster as per internal plaster specification.

- LINTELS:**
- Composite concrete lintels (prestressed concrete lintels & blockwork) to be used through-out unless otherwise indicated. Where indicated: Insulated pressed metal lintels (IPML), Parallel Flange Channels (PFC), I-Beam, Reinforced concrete cast in-situ beam (RCB). Size of all composite lintels, IPMLs, PFC s, I-Beams and RCBs to suit load bearing and opening width.
 - Allow for stepped DPC, insulated cavity closures & continuation of air tightness barrier.
 - Proprietary Steel window and door lintels with Pre-Cast Concrete (preferred limestone) cills throughout.

- INTERNAL CEILINGS**
- Internal Ceilings to be 37.5mm thick Xtratherm Thin-R XT/CWP T&G rigid wall insulation been 25mm core insulation with 12.5mm plasterboard finish on battens on 150x44mm C16 ceiling / floor joists @400mm centres with overhead flooring for storage (UNO)

- VENTILATION**
- Rooms to be fitted with 5000mm² background ventilation by means of 2# Fresh 100 by Passivent in conjunction with 30 l/s mechanical extract fan through ceiling void to ridge tile.
 - Stove to be fitted with independent fresh air intake under floor slab.

- FLOOR:**
- 75mm structural screed on staggered 125mm thick Xtratherm Thin-R XT/HYF Hyfloor under floor insulation with T&G edge profile over the entire ground floor area on 1200 gauge visqueen membrane / radon barrier, lapped and sealed in accordance with manufacturer's instructions and details with underfloor heating on membrane on 150mm thick C28/35 power floated concrete floor slab with A252 fabric mesh reinforcement, concrete floor slab on separation layer such as 'Visqueen' or equivalent with RMB 400 radon barrier on 50mm well compacted blinding layer on 250mm Annex E T2 (4/40) hard-core or depth required to bring from reduced formation level to underside of blinding on well graded ground.
 - Note alternative products may be acceptable subject to approval as long as an appropriate CE marking and IS standard with an insulation resistance to comply with the current Irish building regulations.
 - 15mm vertical insulation to be provided between floor slabs and rising walls and DPM and DPC to be lapped at floor / wall junctions.
 - Refer to details for varying specification such as screeds and under floor heating
 - Insulation: (2011-Doc L-U-Value 0.21W/m²K concrete slab on ground specified U-Value 0.12W/m²K)
 - Slab Insulation: at = 0.022 W/m²K 125mm thick Xtratherm Thin-R XT/HYF Hyfloor Rigid Polyisocyanurate (PIR) 'Xtratherm - Hyfloor 150PT' or equivalent.
 - Perimeter Insulation: at = 0.022 W/m²K 20mm Rigid Polyisocyanurate (PIR) 'Xtratherm - Preformed Perimeter Strips' or equivalent.

- RADON:**
- Radon barrier to be laid under approved insulation on 50mm sand blinding. All joints to be lapped and sealed, radon membrane to be carried up edge of slab and returned into wall below F.F.L to prevent damage to radon barrier. 'Monarflex radon barrier R.M.B. 400 or equivalent. Allow for radon sump & pipe work as indicated.
 - 100mmØ pipe to radon sump.
 - Pipe terminates outside dwelling and is capped or alternatively piped to fresh air through chimney
 - All radon barriers to be tested pre and post installation inc 6mths after occupancy.

- RISING WALL:**
- Solid concrete block as per detail. Where required to continue insulation barriers allow for insulated concrete blockwork.
 - Any deadwork close to adjoining structures to be fitted with a cavity drainage material, terminating 600mm above FFL and drip drains to soakaways.

- VELUX Flat-roof (CVU + ISU 1093 0°-15°)
- VELUX Extension frame (ZCU 1015 0°-15°)
- VELUX Extension frame (ZCU 0015 0°-15°)
- VELUX Securing kit (ZZZ 210U)
- VELUX vapour barrier (BBX)
- VELUX vapour barrier tape (BBX)
- Gasket on BBX in window rebate
- VELUX Lining (LSF)
- VELUX Cloth (MSU)

Imper Italia Insulation and Waterproofing System on deck to falls

Vapour Control Layer
Permate Ultra Kraft/Foil vapour barrier, install loose laid with 150mm side and end laps. All side and end laps to be sealed using Lexucco adhesive.

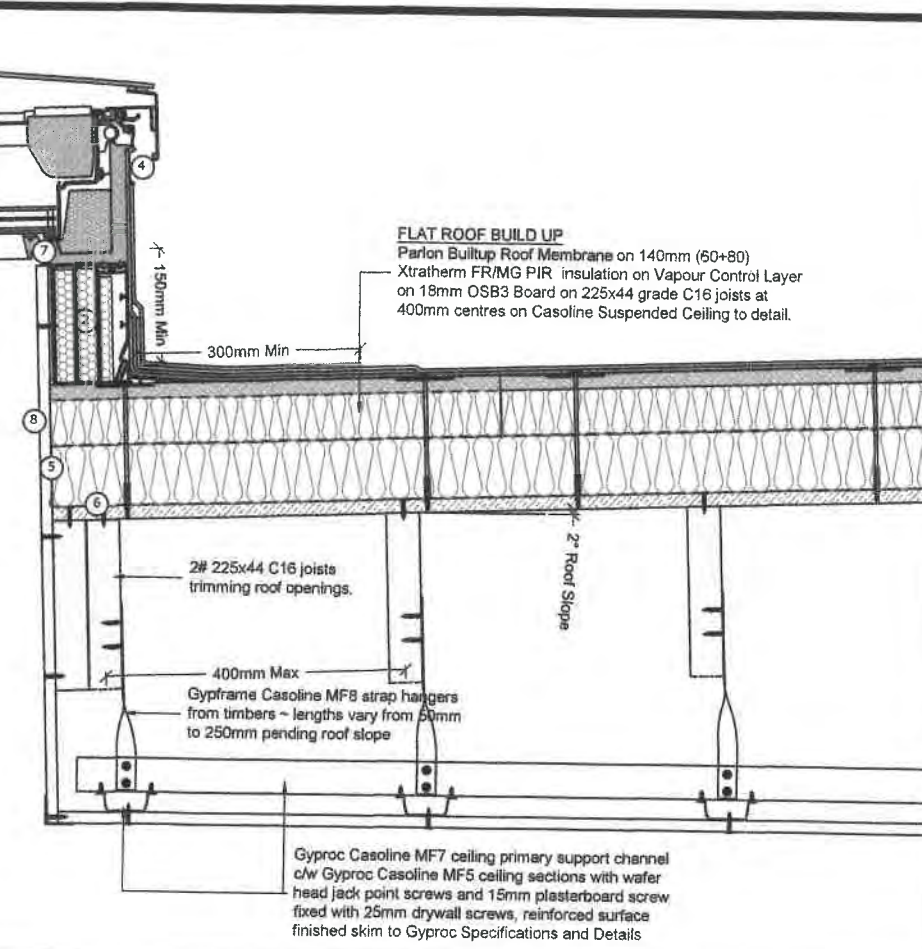
Thermal Insulation
140mm thick PIR thermal insulation board, installed staggered and butt jointed.

Bonding Board
Install Eraboard cover board 20mm staggered and butt jointed, install mechanically fixed with approved fixings, butt jointed and staggered, incorporating 75mm insulated angle fillets at upstands and kerbs.

Base Layer
Paraflex NT3 series 3mm polyester reinforced SBS modified bitumen base sheet membrane fully bonded with 100mm side and end laps.

Cap Sheet
Paraflex ARD/HS polyester reinforced SBS modified bitumen membrane, fully torch bonded with 100mm side and 150mm end laps. All side and end laps to display a visible extrusion of bitumen.

Warranty / Guarantee
Provide on completion 20-year insurance backed roof warranty by Imper Italia covering materials and workmanship by authorised Contractor.



FLAT ROOF BUILD UP
Parlon Builtup Roof Membrane on 140mm (60+80) Xtratherm FR/MG PIR insulation on Vapour Control Layer on 18mm OSB3 Board on 225x44 grade C16 joists at 400mm centres on Casoline Suspended Ceiling to detail.

- FOUNDATION:**
- External Walls - 1250x350mm deep (grade 35) reinforced concrete foundation incorporating 4no. 12mm m.s bars & 12mm m.s binders @ 900mm c/c. or 2 layers A393 Mesh.
 - Internal Walls - 600x350mm deep (grade 35) reinforced concrete foundation incorporating 4no. 12mm m.s bars & 12mm m.s binders @ 900mm c/c or 2 layers A393 mesh. Excavation to be checked on site to ensure the absence of water and soft spots before pouring of foundations by clerk of works.
 - All foundations to Table 3.4 of I.S. 326:1995 for reinforced foundations. All block walls and load bearing stud partitions must have foundations and rising walls. Note foundations subject to bearing capacity of ground and engineer's design.
 - Any foundations close to neighbouring structures to be constructed off raft foundations.

- FIRE PROTECTION / DETECTION**
- An LD3 fire detection and alarm system shall be installed. This shall incorporate an optical type smoke detector in the ground floor and an ionisation type smoke detector above the first floor landing. Both detectors to be interconnected, mains powered with integral standby power supply. The electrical installation shall comply with the national rules for electrical installations produced by the electro-technical council of Ireland.

- AIR TIGHTNESS:**
- Ceiling/Roof - Air tightness membrane fixed to underside of ceiling joist
 - External Walls - Internal wet finish plaster.
 - Floor - Concrete slab.
 - Ensure continuity between various air barriers. Seal junctions between air barrier & all penetrations (windows, doors, vents, services, internal external corners etc) with plaster, airtight membranes/ tapes, adhesives & flexible sealants. Isover - Vario system or equivalent.

- FIRE ESCAPE**
- All bedroom windows shall provide an unobstructed opening not less than 850mm high and 500mm wide. The opening section of the window should be secured by means of fastenings which are readily openable from the inside. The bottom of the window opening should be not more than 1100mm and not less than 800mm above the floor of the room in which it is situated.

- GENERAL NOTES:**
- This drawing is not to be scaled.
 - Figured dimensions only to be used.
 - All dimensions to be site checked.
 - This drawing is to be read in conjunction with other project related drawings.
 - The contractor shall be responsible for checking all dimensions and levels shown against all other drawings which pertain to this part of the works.
 - All dimensions are in millimetres
 - All levels relate to site datum.
 - All levels to be checked on site

Planning Department
08 NOV 2023
Cork County Council
County Hall
Cork

Drawing Status Exemption Planning Application		Client Name Michelle O' Loughlin, 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94		Job Title Permission for the Modifications and Extension to Existing Dwelling at 3 Gleann Aras Drive, Grenagh North, Grenagh, Co. Cork, T23 HY94		Drawing Title Proposed Building Details Sheet 1		 Scales: 1-50 Job No: 071-10-23 Date: 18.10.23 Job No: 071-10-23 Drawing No: 206 Rev: 1	
1	06.11.23	CD'S	Issued for Planning Approval						
Mark	Date	By	Revision	Checked By					

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