



# Architectural Heritage Impact Assessment

for  
St.Coleman's Church Macroom  
Former Church of Ireland  
Community Hub Project



Prepared by Mary O'Brien,  
Architects Department  
09.12.2021



## Table of Contents

1.0	Introduction
2.0	Legal Status
3.0	Site Location
4.0	Archaeological and Historical background
5.0	Building Survey
6.0	Historic Development
7.0	Proposed Development
8.0	Conclusion/Summary of Heritage Impact and Assessment

## 1.0 Introduction

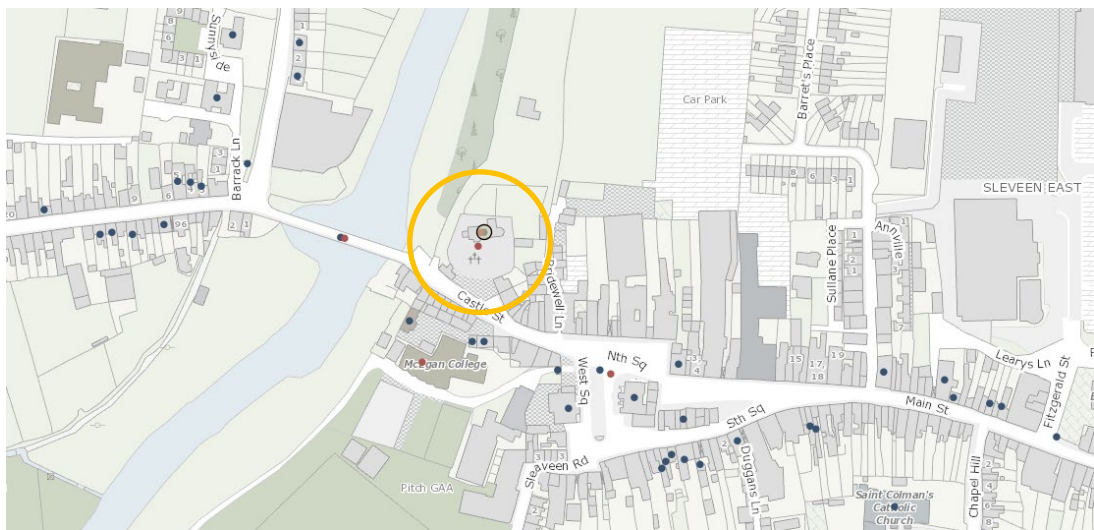
The existing structure dates from the late 17th century - The Church of Ireland Church, Macroon dates from 1825, and sits within an enclosed graveyard overlooking the castle and bridge at Castle Street. The building has huge potential both in its setting, scale and atmosphere to make a significant contribution to the cultural, community and heritage offering in the town. The building is now vacant, although the graveyard is still in use.

## 2.0 Legal Status

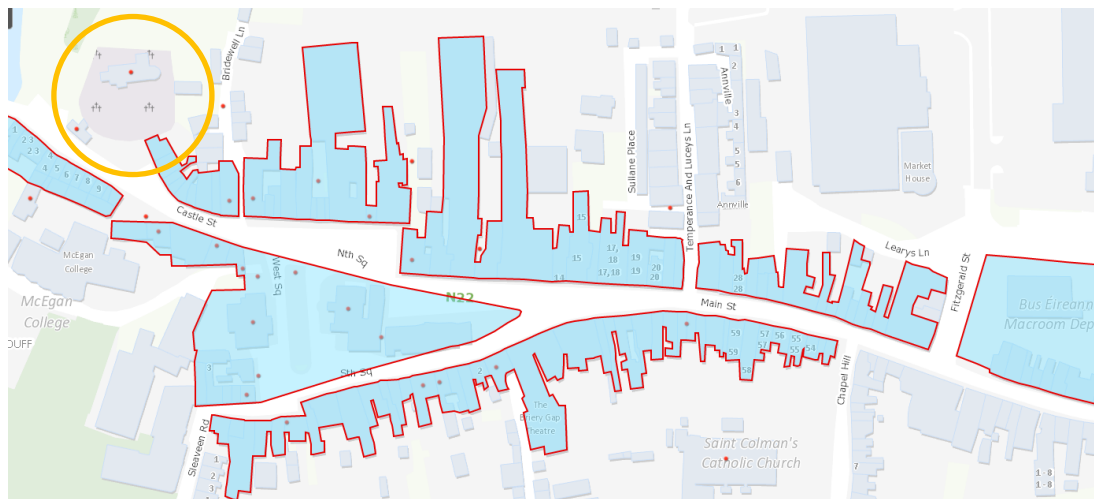
The building and respective grounds are have both protected structure and recorded monument status; the graveyard - CO071-050001, surrounds the former Church of Ireland . Former Church of Ireland parish church of Macroon - CO071-050002. Inscribed headstones date from 1780s (McDonnell 1917, 20).

## 3.0 Site Location

The site is located west of the main town centre core but within the town centre zone, north of Castle Street and east of the River Sullane. The development site is not located within an ACA.



Macroon Town Centre Core, south east of the site location.



Macroon Town Centre (Pale Red shading) and Architectural Conservation Area (Red highlight).

## 4.0 Archaeological and Historical background

Please refer to accompanying Archaeology Appraisal Report.

## 5.0 Building Survey

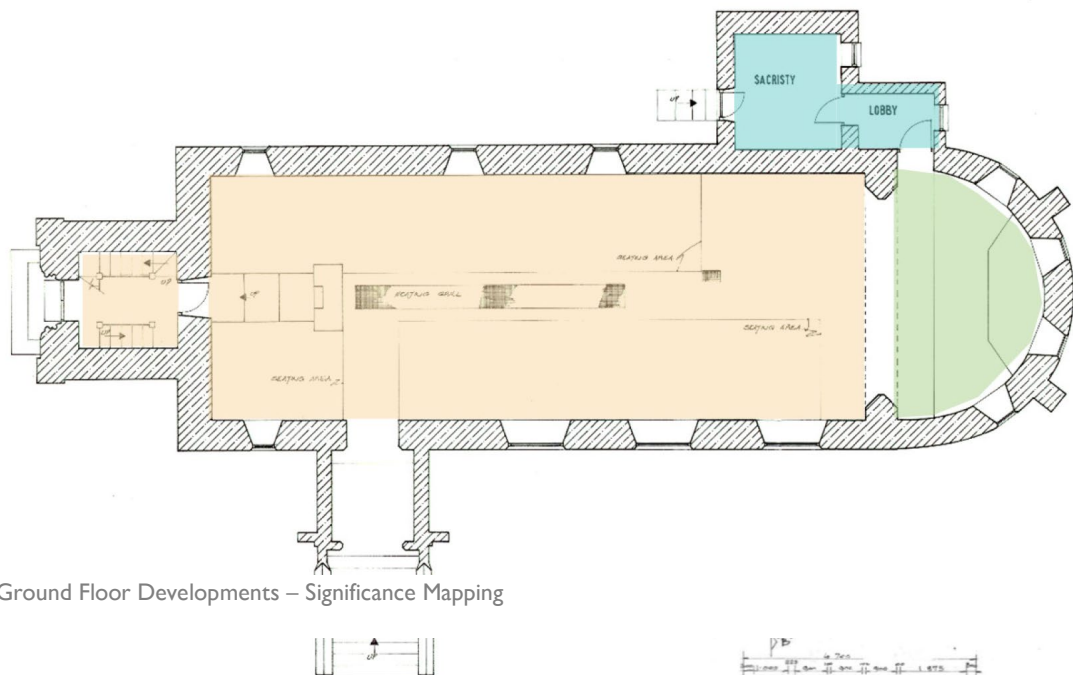
Please refer to accompanying Structural and Condition Report for details and opinions on the existing building.

Please refer to Design Forem's Report for a photographic survey of the existing fabric.

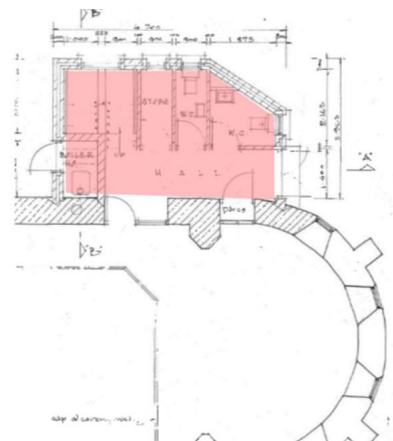
Please find the existing survey drawings within the architectural drawings package accompanying this application.

## 6.0 Historic Development

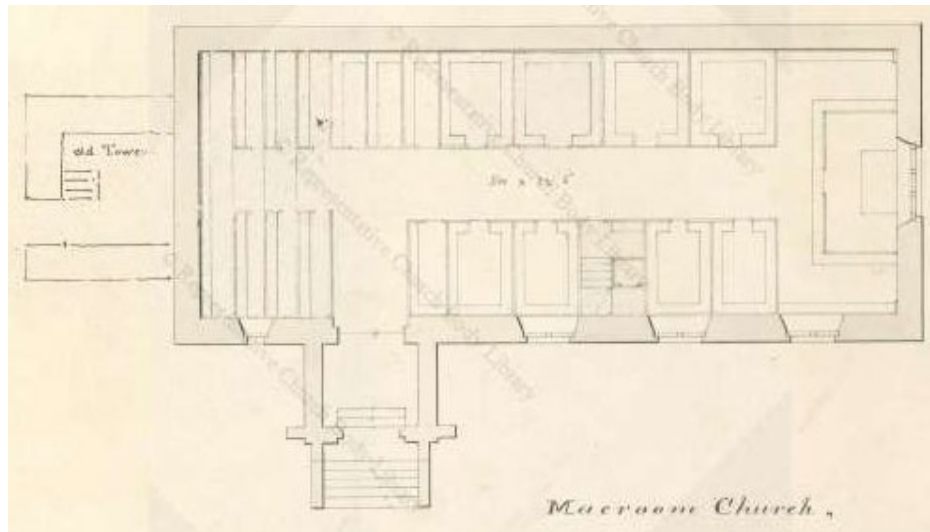
1835	The first evidence of original plans.
c.1850	Addition of the Vestry to the north.
1869	Welland and Gillespie rear Chancel (Apse) extension and possibly the embellishments to the tower.
1994	Demolition of rear vestry and rear extension (annex) was constructed and partially completed.



Ground Floor Developments – Significance Mapping



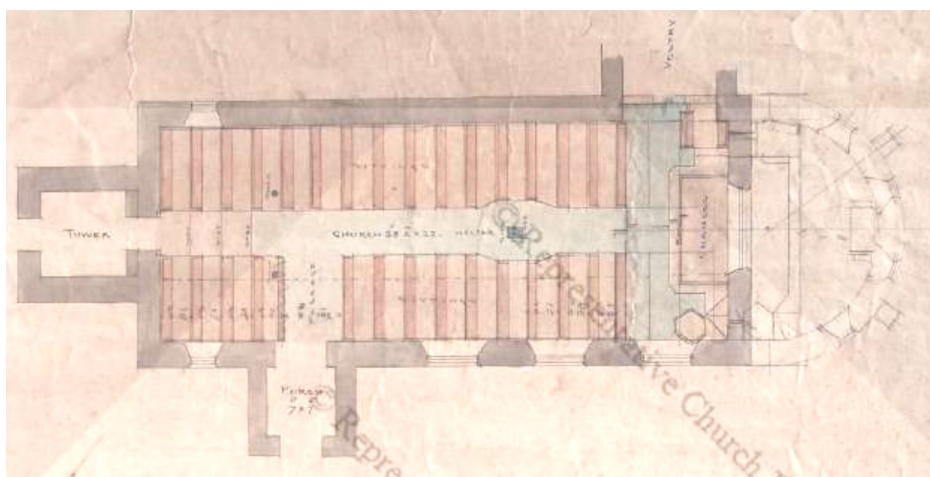
First Floor Developments - – Significance Mapping



James Pain 1835 original plans showing existing tower and earlier church footprint.

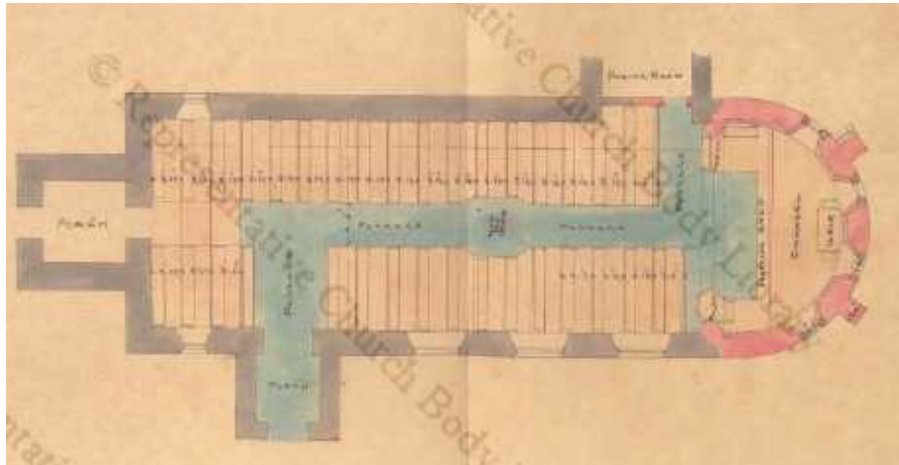


James Pain 1835 original elevation showing existing adjoining tower.

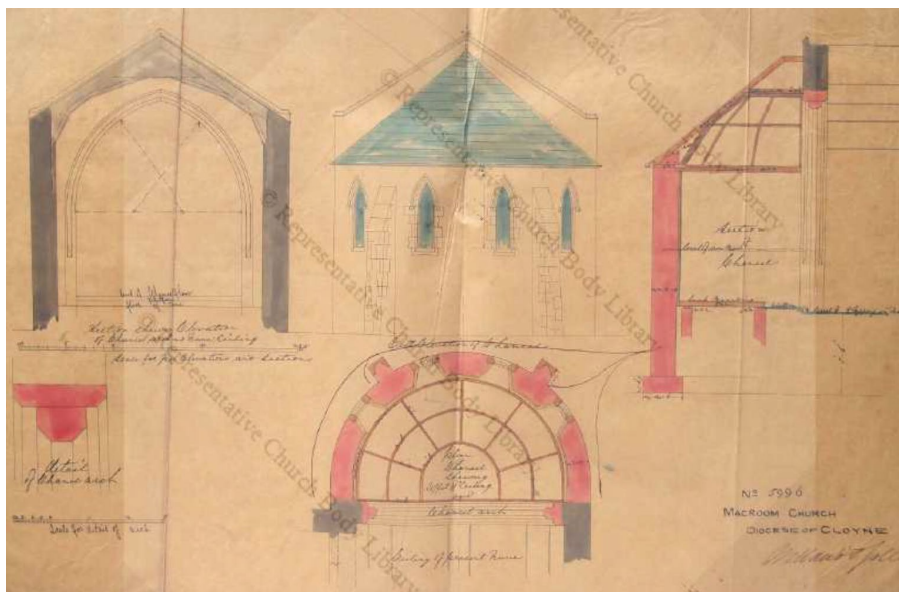


1869, building before the chancel was added. Note a Vestry to the North appears to have been present.

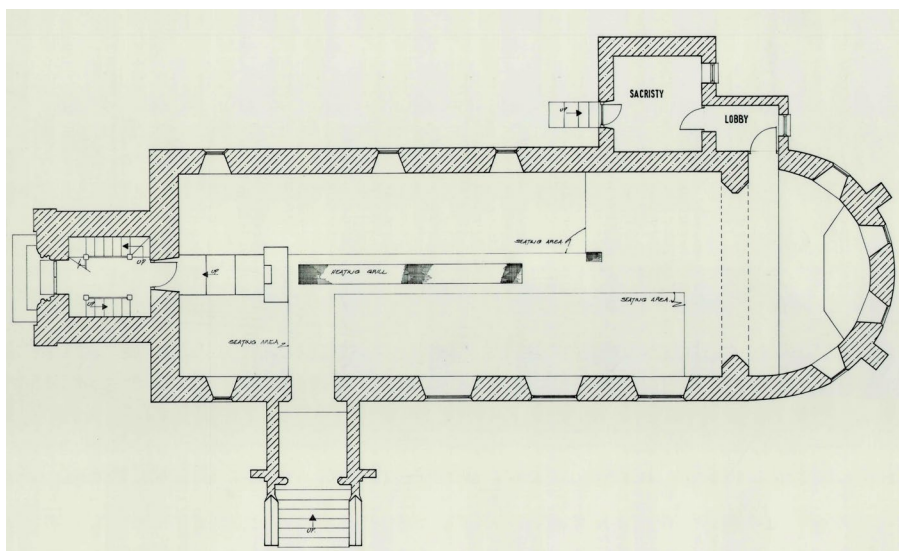




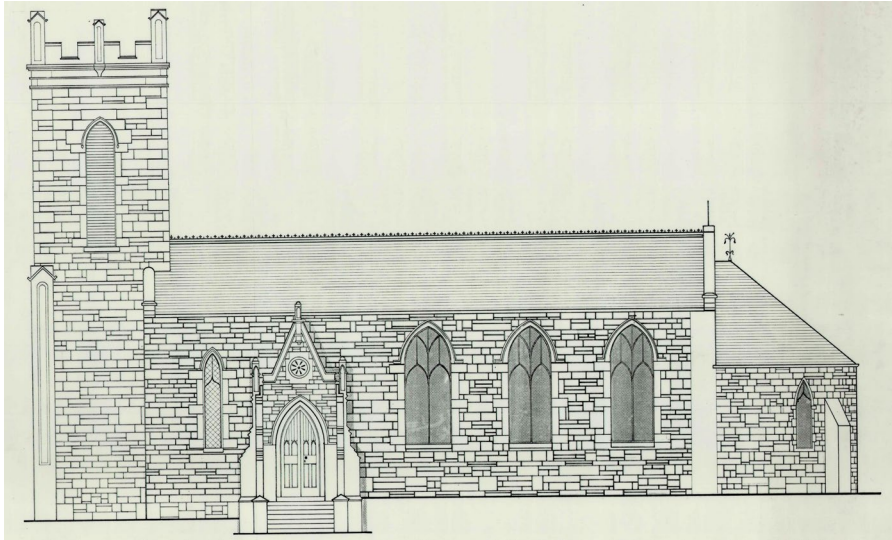
Welland and Gillespie 5th July 1869 Proposed Plan for rear Chancel.



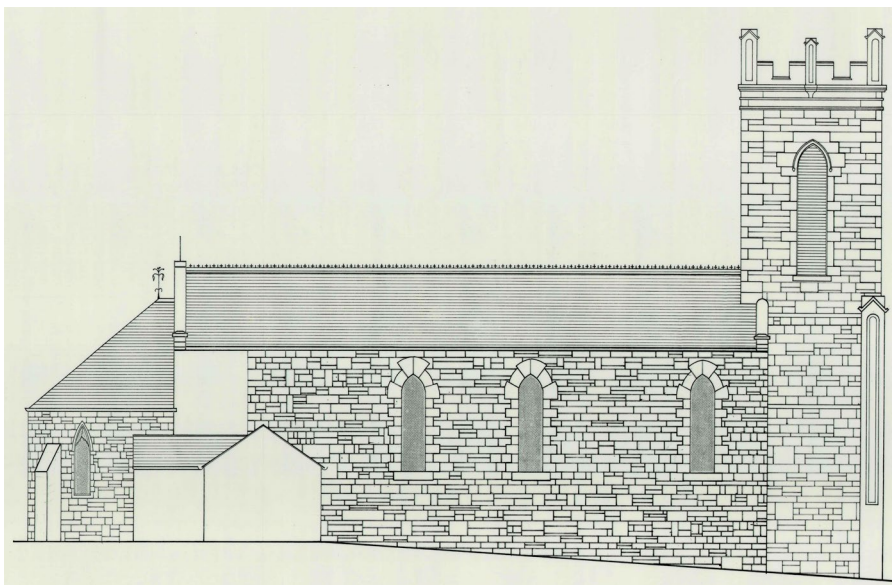
Welland and Gillespie 5th July 1869 Proposed Sections and Elevation for rear Chancel.



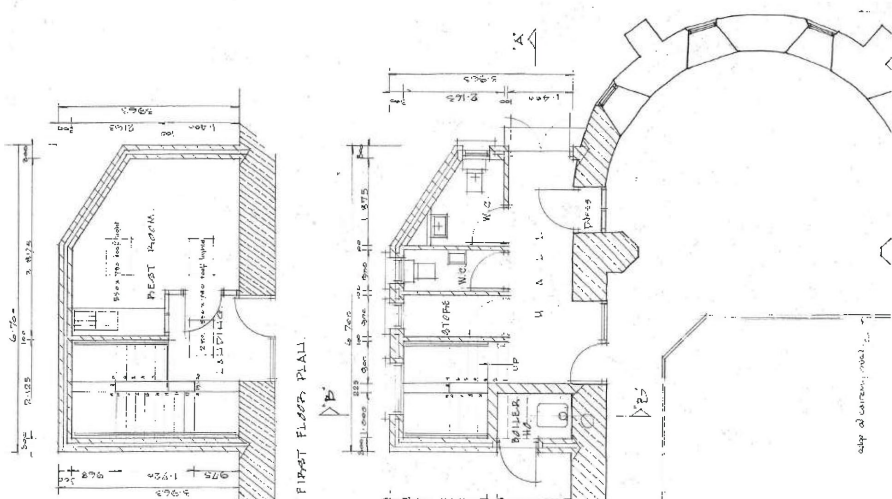
St. Coleman's Church plan before commencement of 1990's work.



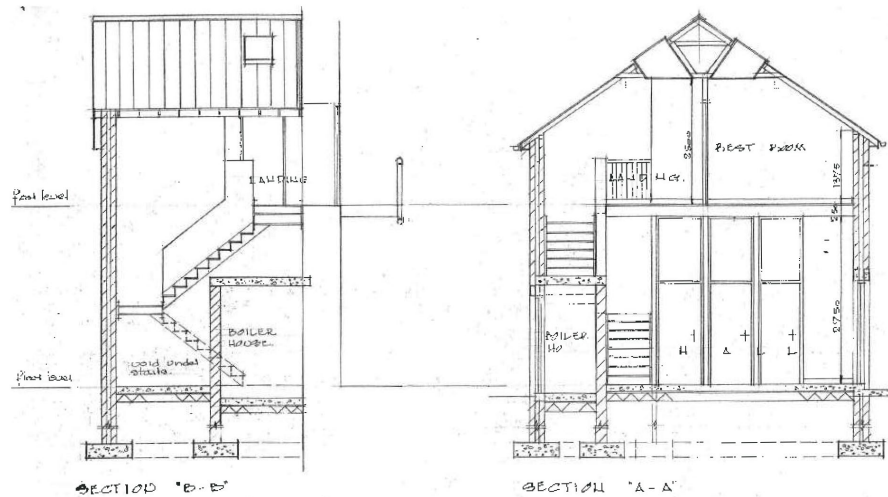
St. Coleman's Church South Elevation before commencement of 1990's work.



St. Coleman's Church North Elevation before commencement of 1990's work – note vestry present.



Proposals for rear replacement Annex, now partially completed.



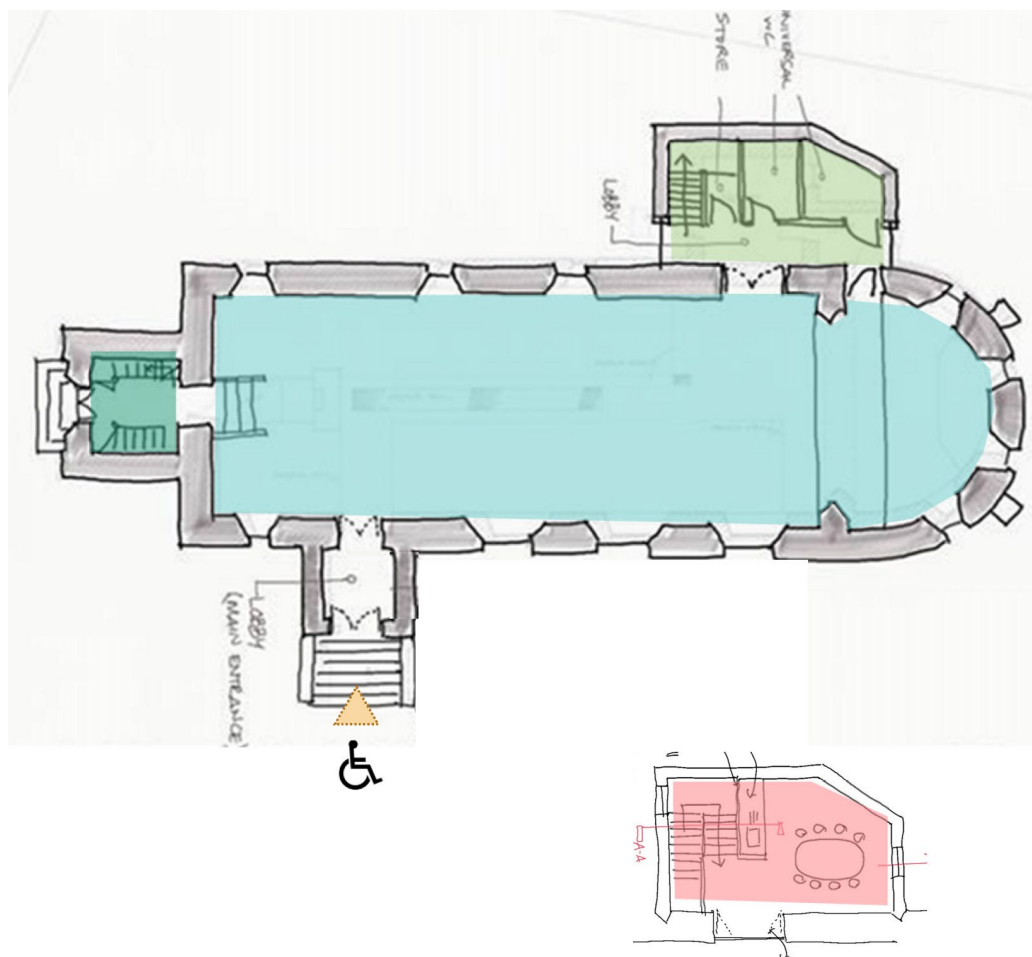
Proposals for rear replacement Annex stairs and , plans for new Mezzanine floor within Church.

## 7.0 Proposed Development

Refurbishment of protected structure (NIAH 20852022, CO071-050002) St. Coleman's, the former Church of Ireland, Castle Street Macroom into a community and enterprise facility. Retention of partially completed 1994 rear extension. The development allows for the provision of Ground floor: multi-purpose room associated with the community and enterprise uses. All vertical and horizontal circulation, stairs, etc. Ancillary service areas to provide plant, and toilets. First floor: café/ staff tea station associated semi-public areas, ancillary facilities including toilets, storage. Provision of new universally accessible entrance within existing fabric.

- Incorporate universal access for all.
- Create a flexible community/enterprise/exhibition space
- Reconfigure ground floor extension – toilets, stairs.
- Reconfigure first floor extension – balcony, tea station.
- Reinstate staircase to tower – viewing platform





The development is described in more detail below, broken up into the following areas:

**A. Internal Works**




- a. Main nave space
- b. Apse
- c. Tower
- d. Roof
- e. Rear Extension (Annex)


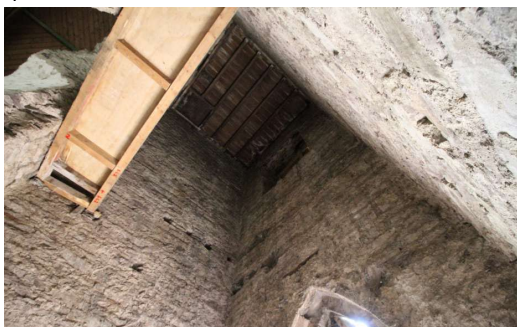

**B. External Works**

- a. Rear Extension (Annex)
- b. Tower
- c. Universally Access Platform Lift and New Entrance
- d. External Windows and Storm Glazing
- e. General External Works – connections, RWOs, roof and wall repairs




## 8.0 Conclusion/Summary of Heritage Impact and Assessment

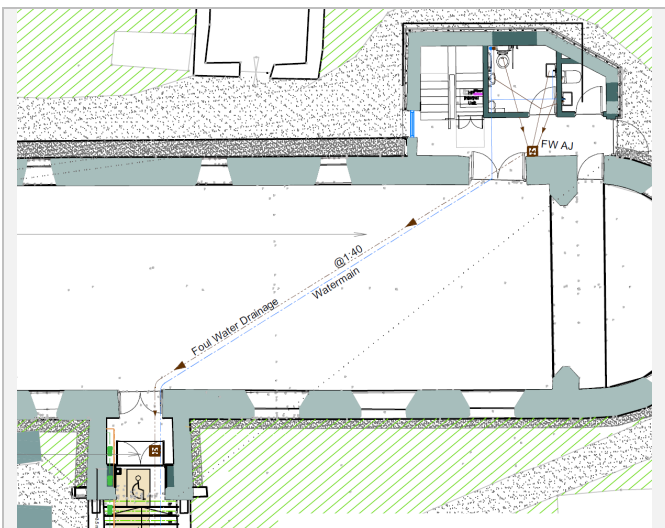
Please refer to the table on the following page.

INTERNAL	Area	Works Proposed	Impact	Mitigation
<p>1</p>  <p>Main nave space looking east</p>	Main Nave Space	<p>This space will remain as a pure open space, linked to the apse.</p> <p>The existing concrete floors will be retained to avoid and further fabric disturbance, with provisions allowed for underfloor heating within a polished screed throughout the ground floor. The internal walls will be repointed where necessary with lime mortar and all the walls will receive a lime wash finish.</p>	Low	Agree finishes with conservation officer at detail design stage.
<p>2</p> 	Apse - Main Space	<p>There are no changes proposed to the Apse save for light handed restoration works of plaster and crack repair and investigation of source of water ingress resulting in staining of some plasterwork and repair/repainting of same.</p>	Low	Use skilled trades with appropriate training.
<p>3</p> 	Apse - Floor	<p>The encaustic floor tiles of the apse, closest to the nave, are in good condition however many tiles are missing. The development intends to salvage the tiles on site and conserve the tiling in the apse as best as possible and as close to the original pattern.</p> <p>The large marble edge tiles will be replaced with as close to like for like as possible/ available. In general, the apse space will remain as is - open and directly connected to the nave with door connection through to the rear extension (annex).</p>	Low	Original tiles appear to be in a pile of rubble in the existing extension, perhaps from the 1994 works. Use skilled trades with appropriate training.



 <p>Apse floor tiles, missing floor tiles, marble edging absent</p>				
<p>4</p>  <p>View from the ground looking up to roof of tower</p>	Tower	<p>Currently empty and void of vertical circulation, the proposal seeks to install a winding stair in a footprint that echoes the geometry of the previous stairs (based on the 1989 survey drawings). The stair landings will be utilised to create balcony viewing areas internally and externally; the first offering a connected view into the main nave space; the second offering views of the surrounding areas from the upper tower windows to the north, east, south and west.</p>	Low	<p>Agree finishes with conservation officer at detail design stage.</p> <p>Use skilled trades with appropriate training.</p>
<p>5</p>  <p>View from the main nave looking up to the roof's underside.</p>	Roof	<p>The main nave roof is in fair condition externally. It is evident from the ground that rafters were recently replaced in the roof and that the roof is not insulated. This development will require measures to be put in place to offer a level of thermal performance and comfort.</p> <p>The unusual roof truss appears to be the original design and so the level of repair previously undertaken and now required needs to be ascertained. The condition of the wall plate also needs to be investigated further. Once funding is in place for the project, these surveys will be undertaken to inform the detailed design stage.</p>	Medium	<p>Various options will be considered during detail design stage, for agreement with the conservation officer.</p> <p>The timber panelling is suspected to be rotting in places, but further surveys will be required to ascertain the existing condition before seeking design remedy.</p>


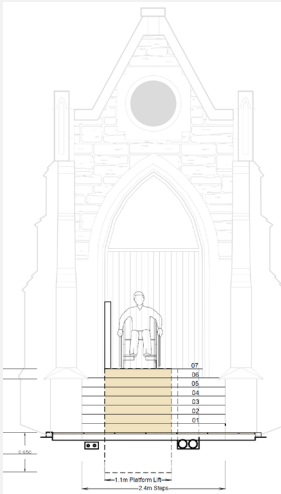





 <p>Existing roof truss</p>				<p>The condition of the wall plate also needs to be investigated further. Once funding is in place for the project, these surveys will be undertaken to inform the detailed design stage.</p>
<p>6</p>  <p>Partially completed Annex building with mezzanine access landing.</p>  <p>Partially completed Annex building looking East.</p>	<p>Rear Extension (Annex)</p>	<p>The rear extension was construction in 1994 in a manner which does not align to best practice both in terms of design and construction, it appears.</p> <p>Discussions with the Heritage Unit of CCC, it was agreed that considering the damage already caused by the development, acceptance of same might be more appropriate in lieu of demolition and reconstruction of a new design. The development seeks to reconfigure the original internal layout to provide for new stairs, store and toilets on the ground floor, with tea station and meeting area on the upper floor which offers a view from a balcony down into the nave space.</p>	<p>Low</p>	<p>Treatment of historic fabric will be agreed with conservation officer at detail design stage. This section does not display architectural significance.</p>

	<p>Underground Services Connections</p>	<p>Attempts appear to have been made at the time of the construction of the rear extension to connect a foul drainage system to the east. These are suspected to be incomplete and sub-standard in design.</p> <p>The new proposal is to run a new route up through the external central path up to the porch. Foul and water routes are required diagonally across the 1990's concrete slab.</p> <p>Archaeological input has been sought to inform the route of foul and storm connections. Please refer to archaeological report in relation to this element.</p> <p>Refer to architectural drawings.</p>	<p>Medium</p>	<p>Further investigations and consultant civil design required.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage. The intention is to not disturb the historically significant fabric beneath the concrete slab.</p>
--	---	---	---------------	--


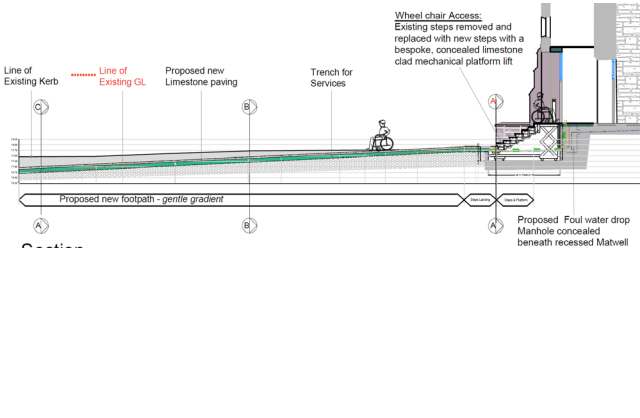


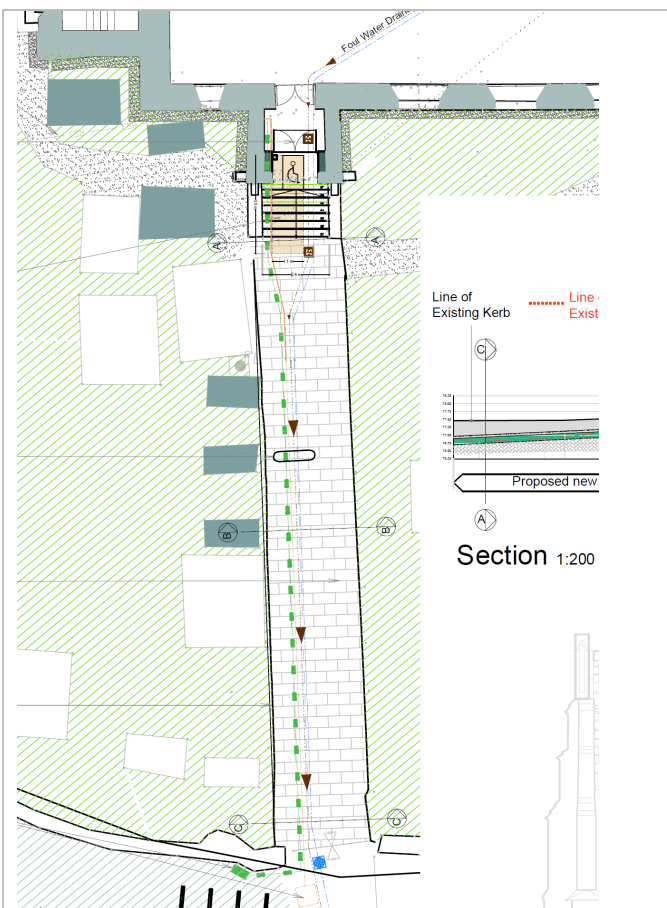
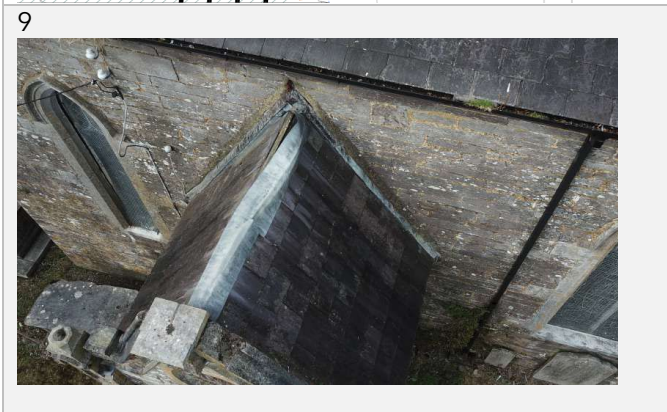
EXTERNAL	Area	Works Proposed	Impact	Mitigation
1  Existing extension - partially unfinished	Rear Extension (Annex)	The extension is currently unfinished with fair faced, un-weathered blockwork to the exterior. A slate roof was installed but with no ridge tiles and so also remains in an unfinished state. The development seeks to clad the external walls and roof with seamless and minimal larch timber cladding to aesthetically and sympathetically detach it from the historic fabric which forfeits any further construction disturbance. The exterior works seek to block up structural opes where they are no longer required and increase structural opes where appropriate in order to balance the external proportions of the external façade of the annex.	Low	Treatment of fabric will be agreed with conservation officer at detail design stage. This section does not display architectural significance.
2 	Tower	<p>The existing condition of the tower is poor, with significant vegetation destabilising the structure. These vulnerable stone details and their securing to the building will be addressed as part of the development by removal of growth and follow on re-pointing by appropriately qualified mason.</p> <p>There is evidence of slating inside the tower, we proposed to introduce counter flashings above stone banding details, with good depth of bedding. Where the tower meets the roof of the nave, these abutments need to be replaced and cement pointing above be removed and replaced with appropriate lime mortar and finish.</p> <p>Some stones which have fallen out over time due to weathering need to be reinstated.</p>	Medium	<p>Use skilled trades with appropriate training.</p> <p>Further investigations and close-up inspections required.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p>

<p>3</p>  	<p>Porch - Universally Accessible Entrance</p>	<p>The local authority has an onus to ensure that all public buildings are accessible by all. All existing access routes to the church are either elevated and access via stairs or cannot be navigated to by a less-abled person due to the terrain and vertical obstacles of the burial ground.</p> <p>There is an opportunity to form a new entrance in the existing porch by way of a fully integrated concealed platform lift to allow for level threshold access by less-abled or disabled persons. The geometry of the steps will require the entire section of steps will need to be removed. Due to its required and the work's proximity to burials, this item has been studied by an independent archaeologist - please refer to the archaeological report accompanying this report.</p>	<p>High</p>	<p>The removed steps will be reused to clad the new platform steps.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p>
<p>4</p>  <p>Design intent for the new lobby door and for new doors required to south and west entrances</p>	<p>Porch - Universally Accessible Entrance</p>	<p>The location of the existing door will need to be pushed back in to the existing porch, forming an external lobby in order to accommodate a level landing for the wheelchair user.</p> <p>The new door will be contemporary but timeless in style using vertical timber slat language with high-quality ironmongery.</p>	<p>Medium</p>	<p>The external lobby will be sensitively formed using stone heads and cut stone reveals.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p>



<p>5</p>  <p>Existing glazing in the south elevation of the nave.</p>	<p>External Windows and Storm Glazing</p>	<p>The existing windows to the south are in fair but vulnerable condition. The glazing to the east, north is in poor condition, but the tower is in extremely weak a condition. in smaller opes there is more damage, and repairs needed. Alter windows need to be protected. This development we propose to install ventilated storm glazing to the external side of the ope to protect the existing windows.</p>	<p>Medium</p>	<p>The poor windows will be repaired and/or replaced as appropriate, as recommended by a stained-glass specialist.</p> <p>A windows report will be procured at detail design stage where remedies will be agreed with the Conservation Officer.</p>
<p>6</p>  <p>Existing glazing to the tower, in irreparable condition</p>	<p>External Windows and Storm Glazing</p>	<p>Windows are intended to be repaired throughout where up to 50% damage has occurred. In windows where in excess of 50% damage has occurred (mainly all the existing diamond leaded glass windows), these windows are not proposed to be repaired but instead have a contemporary minimal glazed pane inserted in to the existing ope – distinguishable as a later addition.</p>	<p>Medium</p>	<p>A windows report will be procured at detail design stage where remedies will be agreed with the Conservation Officer.</p>

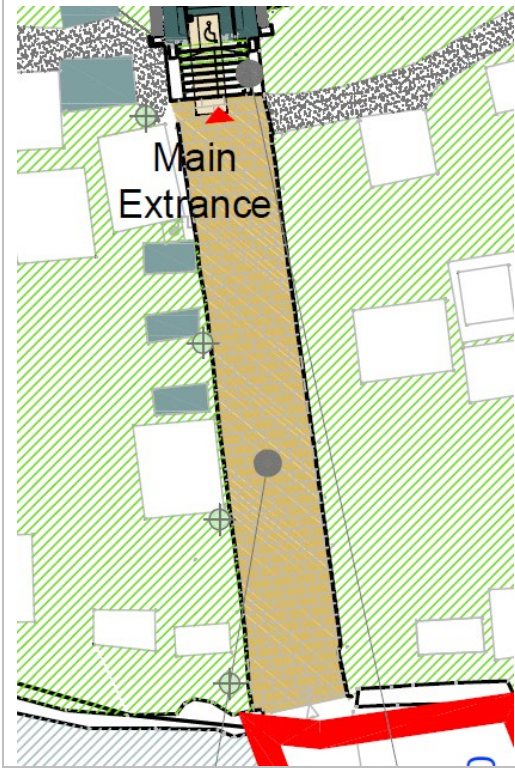


<p>7</p> 	<p>General External Works – connections, RWOs, lead flashings</p>	<p>Please refer to the Condition Survey Report accompanying this planning application which highlights the requirement for the instruction (or reinstatement) of the French drain around the perimeter of the building.</p> <p>A 'French drain' around the perimeter of the building would aid removal/lowering of ground water immediately outside the building where elevated.</p> <p>General measures to improve drainage around the building and take off build up of water around the building can help significantly.</p>	<p>Low</p>	<p>Agree methodology prior to commencement.</p> <p>Use skilled trades with appropriate training.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p>
<p>8</p> 	<p>General External Works – connections, RWOs, lead flashings</p>	<p>Attempts appear to have been made at the time of the construction of the rear extension to connect a foul drainage system to the east. A CCTV drains survey is required.</p> <p>Archaeological input has been sought to inform the route of foul and storm connections. Please refer to archaeological report in relation to this element.</p> <p>Refer to architectural drawings.</p> <p>The intention is to finish this new pathway in natural irish stone paving.</p>	<p>High</p>	<p>Agree methodology prior to commencement.</p> <p>Drains survey of existing is required but expected to be defective and partially complete.</p> <p>Route has been designed with minimal disturbance in mind.</p>

				
<p>9</p> 	<p>General External Works – connections, RWOs, lead flashings</p>	<p>Local roof repairs will be required where lead flashing has lifted over time to maintain the weathering integrity of the external fabric. This will be done by way of re-dressing of lead.</p>	<p>Low</p>	<p>Agree methodology prior to commencement.</p> <p>Use skilled trades with appropriate training.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p>



<p>10</p> 		<p>The condition report also called for the replacement of the existing uPVC fascias and gutters to cast iron or new aluminium gutters, as appropriate.</p>	<p>Low</p>	<p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p> <p>Specify appropriate materials.</p> <p>Use skilled trades with appropriate training.</p>
<p>11</p> 	<p>General External Works - connections, RWOs, lead flashings</p>	<p>Sand and Cement mortar throughout has evidently failed (mainly south wall and all tower walls). The proposal requires the removal and repointing of failed areas by mason.</p> <p>The rear north wall had less pointing but has lost its earlier hauled lime wash finish coat. Repointing works are proposed to this elevation, as appropriate and as required.</p>	<p>Medium</p>	<p>Further investigations required. Extent of the repair and reinstatement would need to be reviewed by removal of a few sections.</p> <p>Use skilled trades with appropriate training.</p> <p>Treatment of fabric will be agreed with conservation officer at detail design stage.</p>

<p>11</p> 	<p>General External Works - connections, RWOs, lead flashings</p>	<p>Lighting will be required on approach to the building and it is also proposed to softly light up the building via discreet uplighters, with emergency lighting to the east also. Please refer to the architectural drawings for locations.</p>	<p>Low</p>	<p>Minimal design lighting features to be selected.</p> <p>Selection of finishes will be agreed with conservation officer at detail design stage.</p>
--	---	---	------------	---



**Report End.**