



Mitchelstown Georgian Quarter Architectural Inventory and Assessment

October 2022

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Mitchelstown Georgian Quarter Architectural Inventory and Assessment

Introduction

Introduction

This report has been undertaken by James Bourke Architects as part of the proposed redevelopment of Mitchelstown's Georgian Quarter. The redevelopment project has been commissioned by Cork County Council. The design is being overseen by REDscape Design, and James Bourke Architects have been engaged on the project as conservation consultants for the design team. Our role is to identify any built fabric of particular historical significance within the site area of the Georgian Quarter, to provide a full record of these items, and to assess the conservation impact of the proposed works on the historic town.

The report is broken down into five main sections. The first section gives a brief overview of the history of Mitchelstown. The subsequent four sections look at the four key locations involved in the project as follows:

- (i) King Street
- (ii) Georges Street
- (iii) King Square
- (iv) New Market Square

Each of the sections gives a broad overview of the area in question and the conservation impact on a wider scale before providing a full inventory of the buildings/ built fabric of particular interest and the conservation impact associated with the proposal on each of these elements.

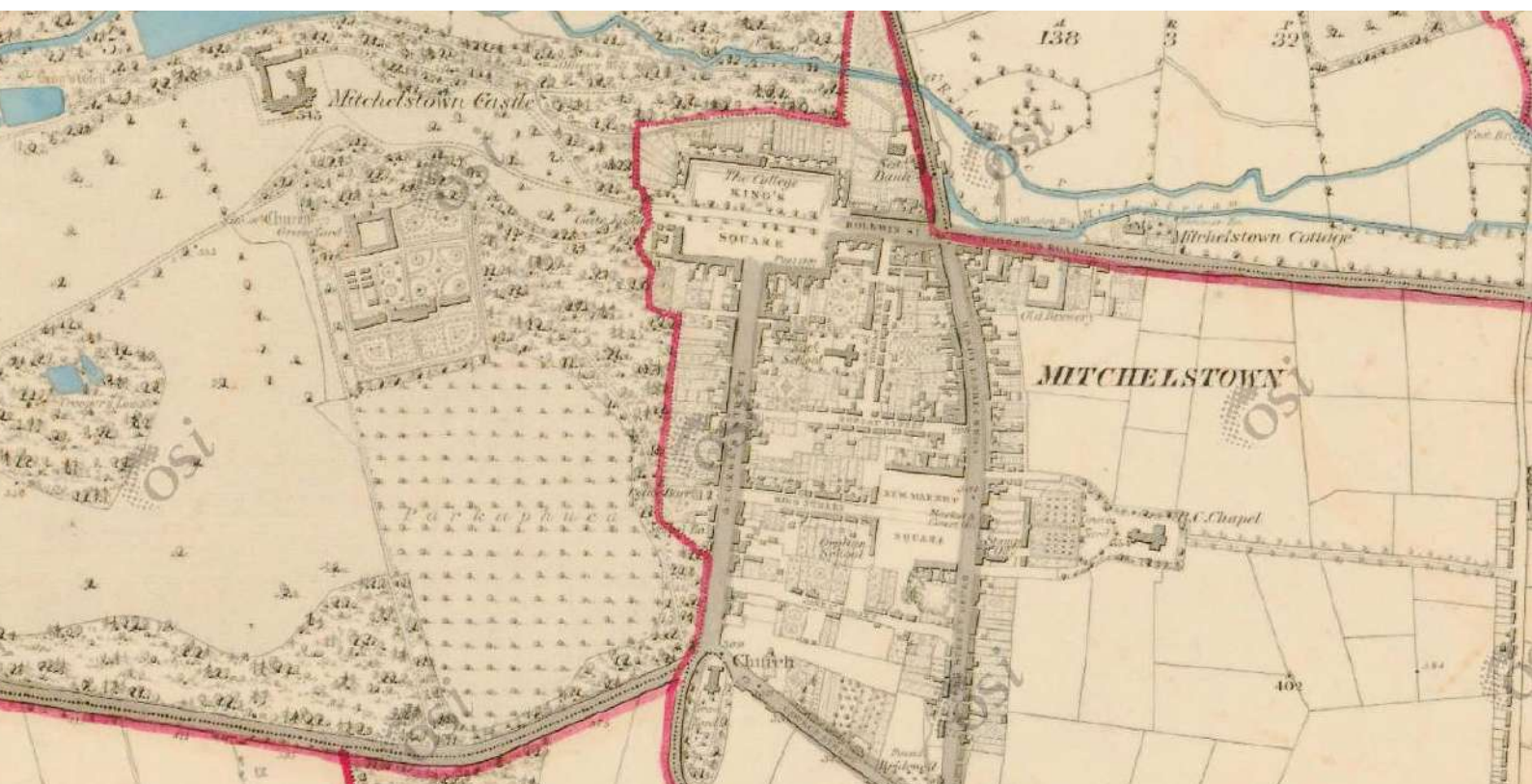
This report has been written in accordance with the ICOMOS Guide to Recording Historic Buildings (Butterworth Architecture, 1990) and the RIAI Guidelines for the Conservation of Buildings, 3rd Edition (RIAI, 2010). As per these guides the first object of this report should be to record what is necessary in order to understand and illustrate the history of the built fabric of the town. This enables the architect and design team to understand the historic streetscape and to make decisions during the process based on the best information available. The report is based on site visits, map research, historical research, and visual inspections. Surveys of the area had previously been undertaken by Cork County Council, including survey drawings of some of the historical elements and a draft register of historic and cultural items. This information was utilised in this report to form a base point for the inventory. A previous Heritage Plan for the town was undertaken in 1984, and this has also been used as a reference point throughout this report.

Site visits by James Bourke Architects were as follows:

8th April 2022: Initial site visit and client meeting

28th April 2022: Follow up site visit, photographic record taken

Xxxx 2022: Follow up site visit, additional measurements taken



Mitchelstown Georgian Quarter Architectural Inventory and Assessment

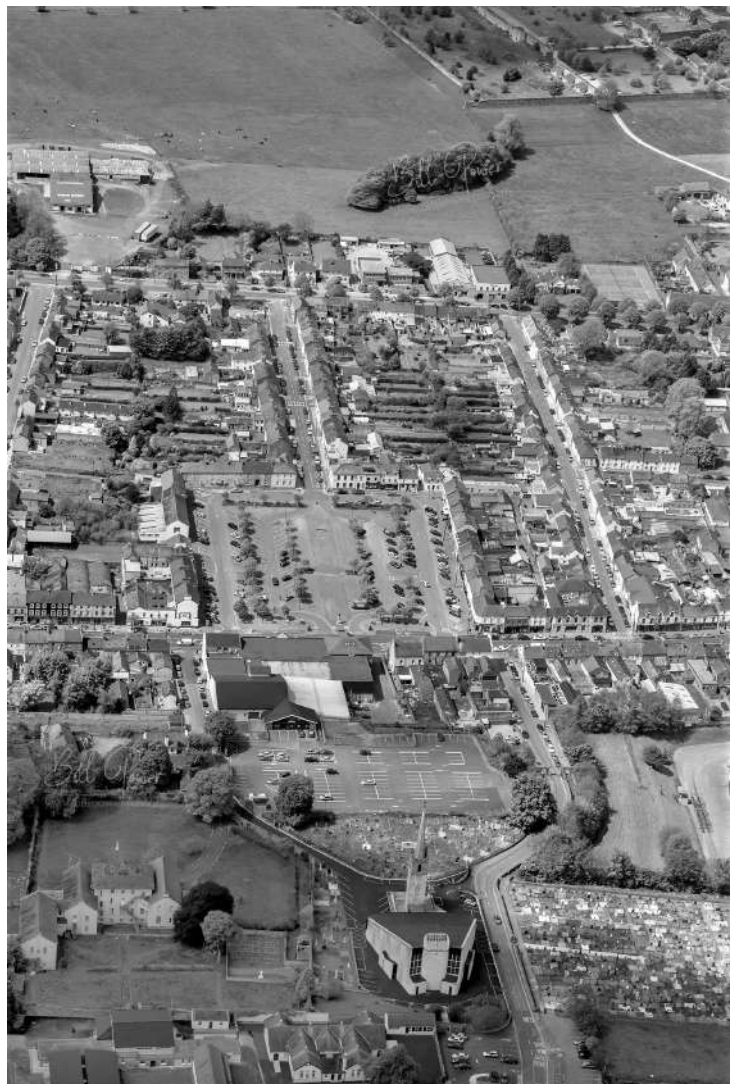
Historical Overview

Historical Overview: Town Origins

Mitchelstown is a market town with a long and rich history located at the foot of the Galtee Mountains. It is a fine example of an Irish planned town, retaining the original 18th to early 19th century plan at its centre after two centuries. The plan uses its surroundings to great advantage, with the mountains acting as a picturesque backdrop to framed views. Its name originates from an Anglo-Norman family; the 'St. Michaels' who in the 13th century secured the legal right to hold markets in the first known village in the townland of Brigown (Evensong pg. 7) That village was *Villa Michel*, which eventually came to be known as Mitchelstown. Historically, market trade has always been at the heart of the town.

Mitchelstown evolved from a cluster of cabins and laneways beside the medieval castle towards the west of the current town. By the 14th century Mitchelstown was in the control of the White Knights, a branch of the powerful Fitzgerald dynasty. However, their castle was destroyed in wars in around 1641. By the late 1700s the Kings had gained control over the White Knight's land around Mitchelstown, with a vast estate totalling over 60,000 ha. Mitchelstown castle was rebuilt in a Palladian style country house as their family seat.

Between 1776 and 1830, the 2nd and 3rd Earls of Kingston built the present town to a design attributed to John Webb, a student of the famous English landscaper, Capability Brown. The influence of the landscape can be felt throughout the design, which utilises natural features to their best advantage and sets up framed views of the peaks of the Galtee Mountains.



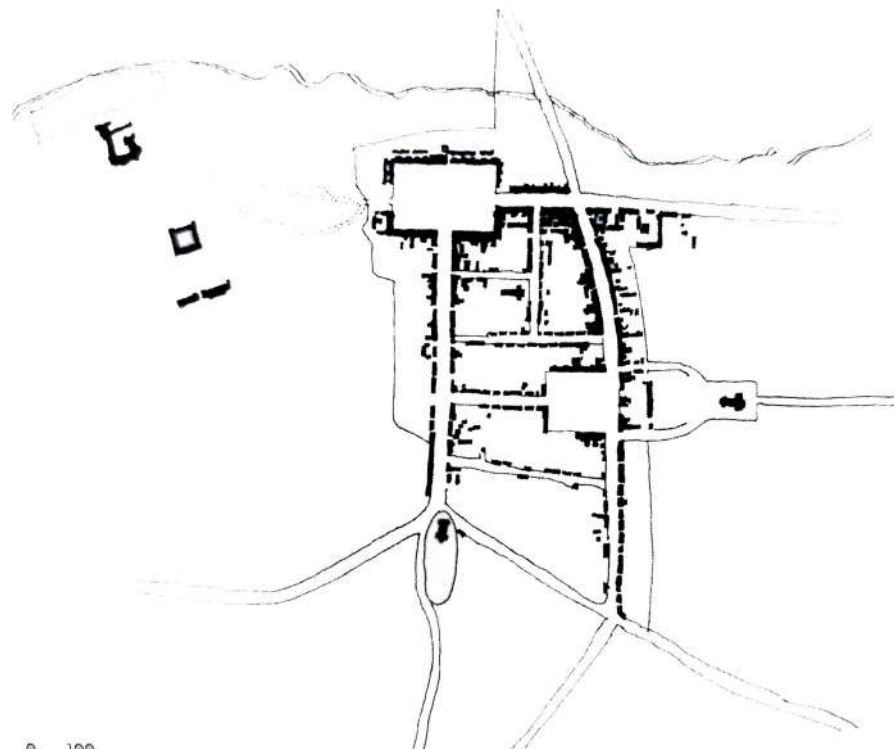
Mitchelstown Aerial View, from Mitchelstown Facebook Page

Historical Overview: Georgian Town Development

The redevelopment of Mitchelstown starting in the late 1700s was one of many which occurred in Ireland around this time. As explored in Valerie Mulvin's book 'Approximate Formality, Morphology of Irish Towns' (2021) there was an explosion of formal town building in Ireland in the 18th Century, with new towns being made by landlords 'working in a spirit of improvement and enlightened self-interest'. This book includes Mitchelstown as one of the exemplars of landlord towns, describing how the layout 'takes advantage of its dramatically swooping hills to create arresting visual axes and landscape views in three dimensional space'. (Approximate Formality, pg. 170). The influence of the King family is felt throughout the fabric of the town, with many of the streets and spaces being named after the Kings.

The new town was set on a grid pattern with wide main streets intersected by smaller streets. These streets linked the two main squares of Mitchelstown; Kings Square, a residential Georgian square and the other for markets, and New Market Square, the commercial and social heart of the town. By this time Mitchelstown also had a 'pretty market house built in hewn stone' which was used for a 'large weekly market' (Evensong pg.17). The town was set out to allow for vistas down the main streets which would terminate at the most important buildings in the town, with the mountains behind forming a backdrop to these views. The town is described Approximate Formality as follows:

The sequence is likely to have commenced with the setting out of Kings Square..., its unified terraces of alms-houses bisected by tree-lined Baldwin Street sloping down the Cork Road-serving as a cour d'honneur to the gates of the house. This arcadian arrangement was elaborated with a second tree-line avenue on axis- George Street- terminated later by the crisply pinnacled Church of Ireland. The second, steeply sloping square, playing the role of commercial agora in a Greek town to the ceremonial upper space. This was set out at right angles to George Street, with a market house on axis; rising up the hill behind it, triumphantly completing the visual cross axis, stood the Catholic Church, acting as an eyecatcher across the valley.'



Mitchelstown Plan, © Approximate Formality

Historical Overview: Georgian Town Development

Sam Lewis' Topographical Dictionary of Ireland had the following record of Mitchelstown from 1837 (edited to include the sections most relevant to this report). This description, along with historical OSI maps, provide evidence of the layout and character of the town from the late Georgian era.

MITCHELSTOWN, a market and post-town, in the parish of BRIGOWN, barony of CONDONS and CLONGIBBONS, [county of CORK](#), and province of MUNSTER, 24 ¼ miles (N. by E.) from Cork, and 101 (S. W.) from Dublin, on the mail coach road to Cork; containing 3545 inhabitants

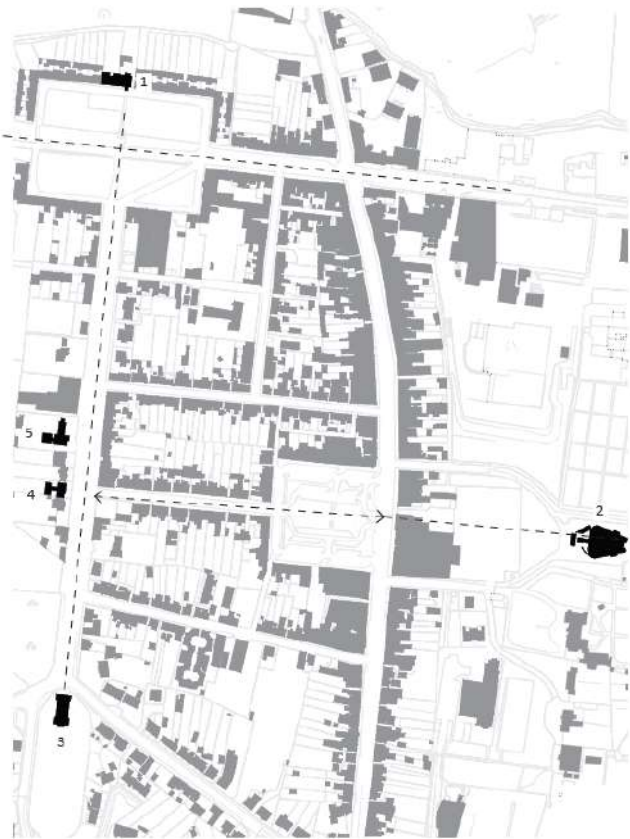
....It consists of two principal streets, called respectively George-street and Cork-street, of which the latter is the chief thoroughfare, and the former is terminated by the church at the southern extremity, and at the other leads into a spacious and handsome square, the north side of which is occupied by the extensive buildings of Kingston College; on the east side is a large and handsome hotel, which contains a news-room, supported by subscription; and immediately opposite is the entrance to the demesne of Mitchelstown Castle.

The principal streets, which are parallel with each other, are intersected at right angles by four smaller streets; the total number of houses, in 1831, was 535, most of which are well built and of respectable appearance; the square and principal streets are paved, but the footpaths are not flagged. The inhabitants are amply supplied with water raised by pumps in various parts of the town; of these, one in King-square, of superior construction, worked by machinery and enclosed with an iron railing, was erected by the Earl of Kingston in 1825...

...A very considerable trade is carried on in corn, butter, and pigs, which last are purchased in great quantities chiefly by merchants from Cork, Youghal, and Limerick. The market is on Thursday, and is amply supplied with corn, butter, pigs and sheep, and with provisions of all kinds; the corn is chiefly bought on commission.....Fairs for cattle, sheep, pigs, and various kinds of merchandise, are held on Jan. 10th, March 25th, May 23rd, July 30th, Nov. 12th, and Dec. 2nd; a fair called the Brigown fair is also held on the 6th of December. The market and court-house, situated in Cork-street, a very neat and well-arranged building, was erected in 1823, at an expense of £3000, by the Earl of Kingston, and occupies part of an area called the Market-square...

The parish church, situated at the south end of George-street, is an elegant structure of modern erection, in the later English style, with a lofty embattled tower surmounted by a beautiful and finely proportioned octagonal spire, and is seen to great advantage from King-square through the vista of George-street. The R. C. chapel, situated on an eminence above the market-house, is a handsome cruciform edifice, in the later English style of architecture, and flanked in the front with two octangular towers surmounted by cupolas; it is embellished with a window of elegant design, and strengthened at the angles with buttresses terminating in pinnacles. Kingston College, a handsome and extensive range of building, was partly erected during the lifetime of its founder, James, Lord Kingston, who endowed it with £25,000, to be vested in trustees, consisting of the Archbishop of Cashel and the Bishops of Cloyne, Waterford, and Limerick, to be appropriated, after the completion of the buildings, to the maintenance of a chaplain, 12 poor gentlemen, and 18 poor gentlewomen, with preference to such as have been tenants on the Kingston estates...

Mitchelstown Castle, the splendid seat of the Earl of Kingston, is a noble and sumptuous structure of hewn stone, in the castellated style, erected after a design by Mr. Pain, of Cork, at an expense of more than £100,000. The buildings occupy three sides of a quadrangle, the fourth being occupied by a terrace, under which are various offices: the principal entrance, on the eastern range, is flanked by two lofty square towers rising to the height of 106 feet, one of which is called the White Knight's tower, from its being built on the site of the tower of that name which formed part of the old mansion; and at the



Mitchelstown Map, from REDscape

Historical Overview: Key Buildings

Mitchelstown retains the original 18th to early 19th century plan at its centre after two centuries. This plan is laid out on a formal grid pattern, which sets up a series of axes and vistas across two town squares. Civic buildings are generally placed at the termination of the vistas, highlighting the prominent positions these buildings and their associated uses had in Georgian society. Georges Street has a strong north-south axis, with the former Church of Ireland building to one end and Kingston College, also associated with the Church of Ireland, to the other. A secondary axis is set up east-west through King Square, which focuses on the entrance to the former Mitchelstown Castle. There is also a strong east-west axis along King Street, with the catholic church to the east end and former barracks to the west. The courthouse was also formerly located on this axis, to the east side of New Market Square (a new courthouse was built in the 1950s on Georges Street).



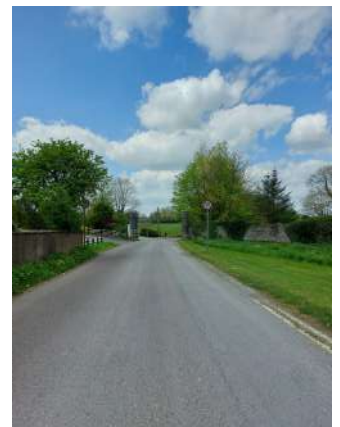
Former Barracks (4)



St Georges (3)



Kingston College (1)



Mitchelstown Castle

Historical Overview: Later Town Development

The Kingston family house was rebuilt again between 1823 and 1825 by George, the third Earl of Kingston. The Palladian Villa was demolished and replaced with a lavish neo-gothic style castle designed by James and Richard Pain. This was one of the largest castles in Ireland and was set in a demesne of around 500 hectares, enclosed by a high stone wall as the private grounds of the King family.

The influence of the Kingston's on Mitchelstown began to waver in the second half of the 19th century, a time of agrarian strife throughout Ireland. Mitchelstown Castle was eventually looted and burned by Republicans in 1922 and subsequently demolished. The stones were reused to build Mount Melleray Abbey, County Waterford. The site of the castle is now occupied by Dairygold. Much of the built fabric around the town has now also been lost, with many of the houses being rebuilt overtime and streets being repaved. However, the Georgian layout of the spaces is still very much in evidence, and fragments of historical fabric remain as described in the later sections of this report. Mitchelstown retains a wealth of architectural heritage and preserved streetscapes making it one of the finest Georgian towns in Ireland.



1500-



1770-1820



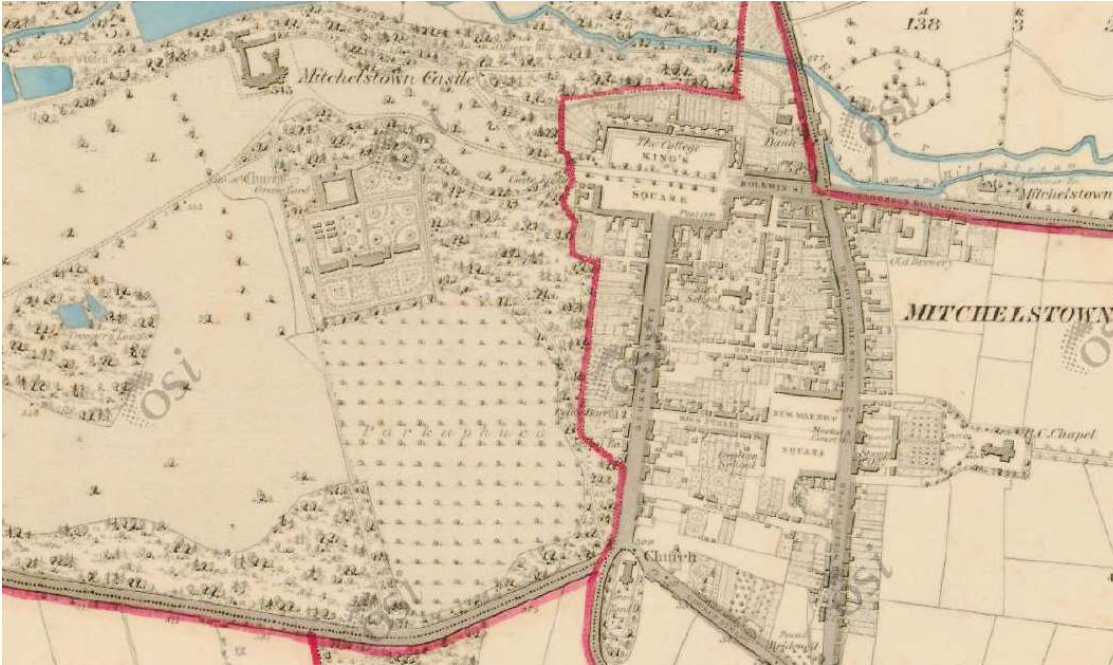
2022

Development Maps © REDscape

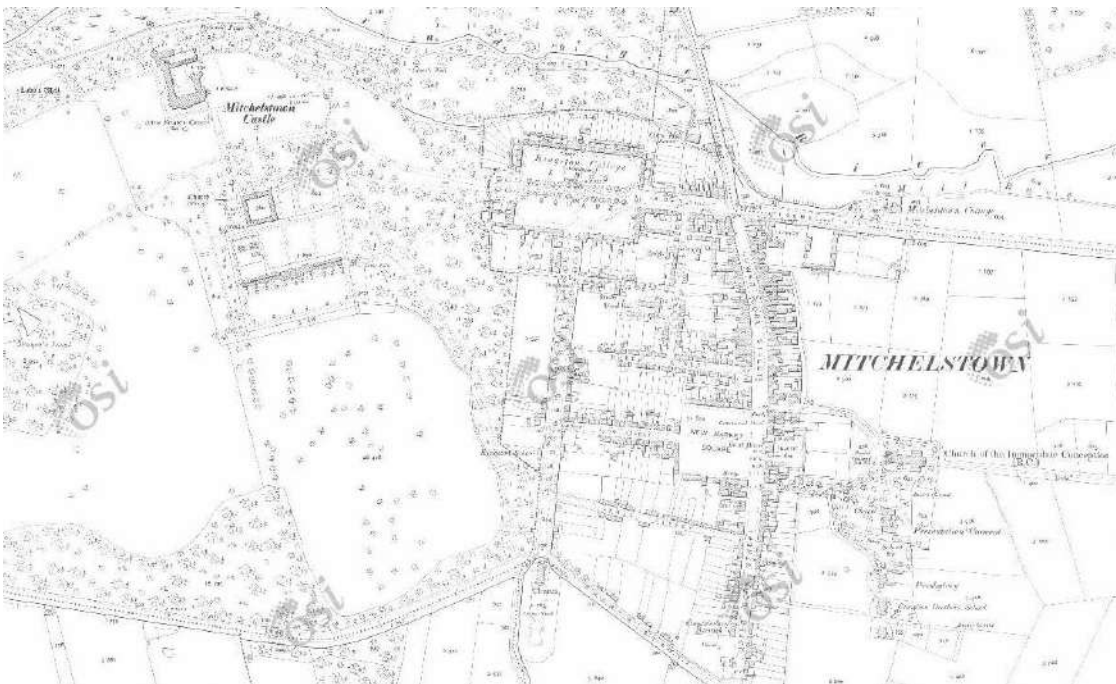


Mitchelstown Castle © Bill Power

Historical Mapping



Mitchelstown—6" OSI Map, 1837-1842.



Mitchelstown—25" OSI Map, 1888-1913.



Current Aerial View © Google maps



Mitchelstown Georgian Quarter Architectural Inventory and Assessment King Street

Historical Overview

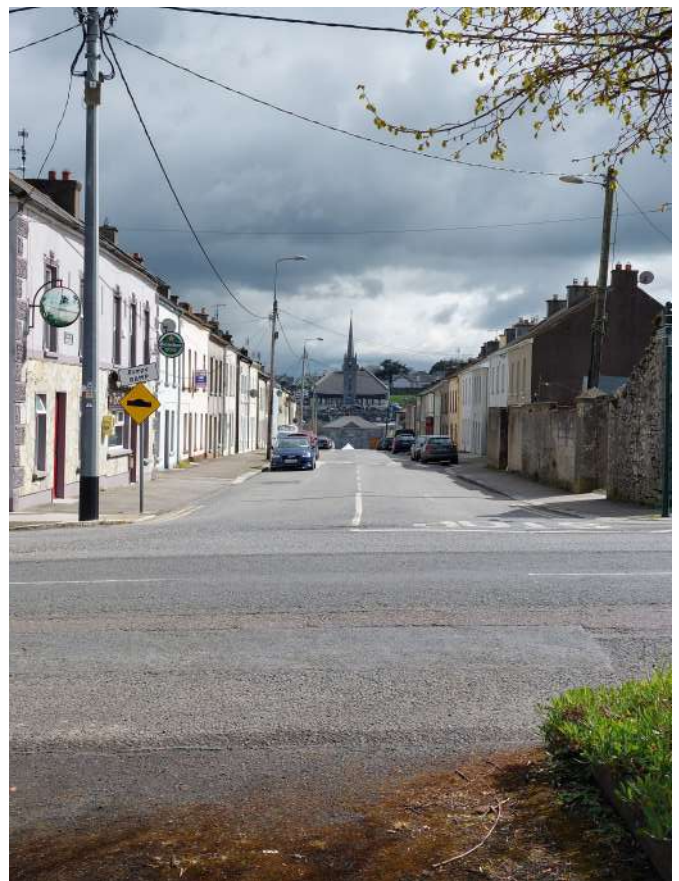
King Street runs along an east-west axis from Market Square to Georges Street. The street looks out to Market Square to the east, behind which is the Courthouse with the Catholic church visible above. The hills behind this form a backdrop to this planned vista. The old bridewell is set to the west end of the street, which is a simple and well-proportioned building terminating the western vista.

The street has a combination of paired two-storey houses and terraces to either side. These generally provide a well defined edge to the space. The paired buildings have shared access lanes to their rear gardens, a distinctive feature inherent to the character of Mitchelstown's streetscapes. The gaps are quite narrow, which helps to maintain the overall street line and to create a pleasant rhythm along the street. Historically, the pavement to these laneways would have been treated differently, further defining the access routes and enhancing the rhythm and character of the street. The current buildings are generally aligned with the overall massing and form of the original design for the street. There is an open vacant site to the west end of the street at the junction with Georges Street, which can also be seen in early editions of the OSI maps. This edge is defined by a wall which is a combination of rendered blockwork and older rubble stone masonry.

Two of the buildings on King Street are both protected structures and included on the NIAH. No. 1 King Street is a fine house located at the corner to Market Square. No. 6 King Street is located approximately halfway down the street and retains a traditional timber shopfront of high architectural value. All of King Street is part of an Architectural Conservation Area (Mitchelstown Centre ACA).



View of King Street facing west, from Market Square



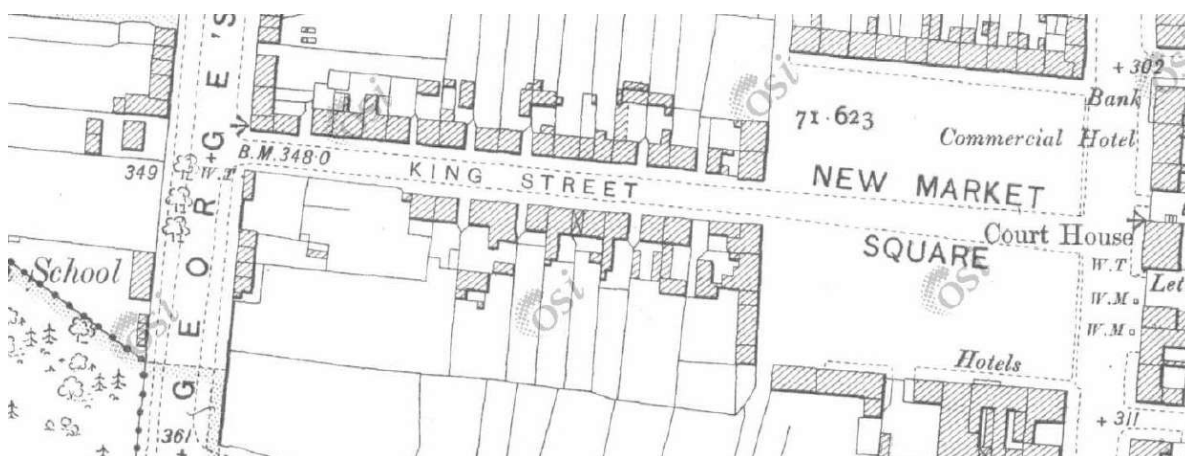
View of King Street facing east, from Georges Street

Historical Development

King Street retains much of the character of the planned Georgian town in terms of the retention of the planned views and the overall massing and layout of the streetscape. The layout the houses is largely along the lines of what would have been found in Georgian times.



King Street—6" OSI Map, 1837-1842.



King Street—25" OSI Map, 1888-1913.



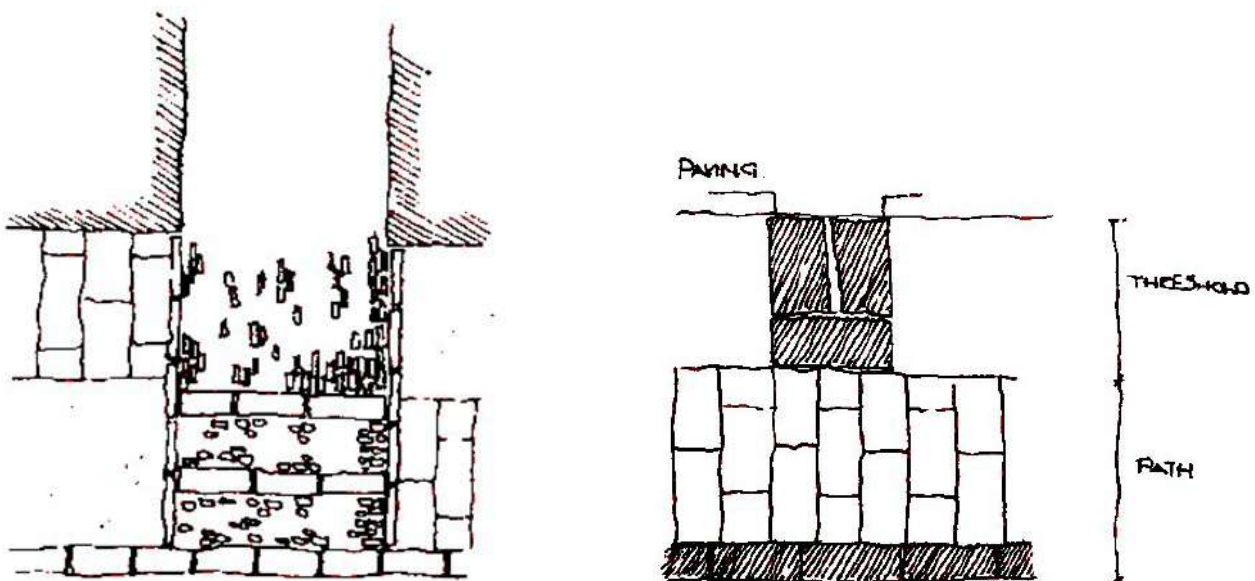
King Street—Contemporary OSI Map

Historical Development- Streetscape and ground treatments

A significant portion of limestone kerbing is present to King Street, with the north side of the street retaining almost all of the historic kerbing to the street edge. Evidence from Lewis' survey of 1837 indicates that paths in the town were not paved, but that the principle streets were, and the kerbing likely dates to the original design from around 1800. There are also surviving remnants of limestone strips marking out the shared access lanes. Limited areas of stone flagstones are present, but the vast majority of the paths are concrete pavers of no particular value. There are also a number of stone steps/ thresholds to doorways along the street.

There are fine examples of limestone rainwater gullies laid into the pathways. These attractive features carry rainwater from the houses across the paths to the street. It seems likely that each pair of houses would have had a shared gully in the original design, six of which survive today. While they represent a design challenge in terms of accessibility, they are of high importance from a heritage perspective and should be retained.

Street lights and overhead cables are installed in a haphazard and visually intrusive manner which detracts from the planned vistas along the street.



Paving Sketches from 1984 heritage Plan for Mitchelstown by Cork County Council

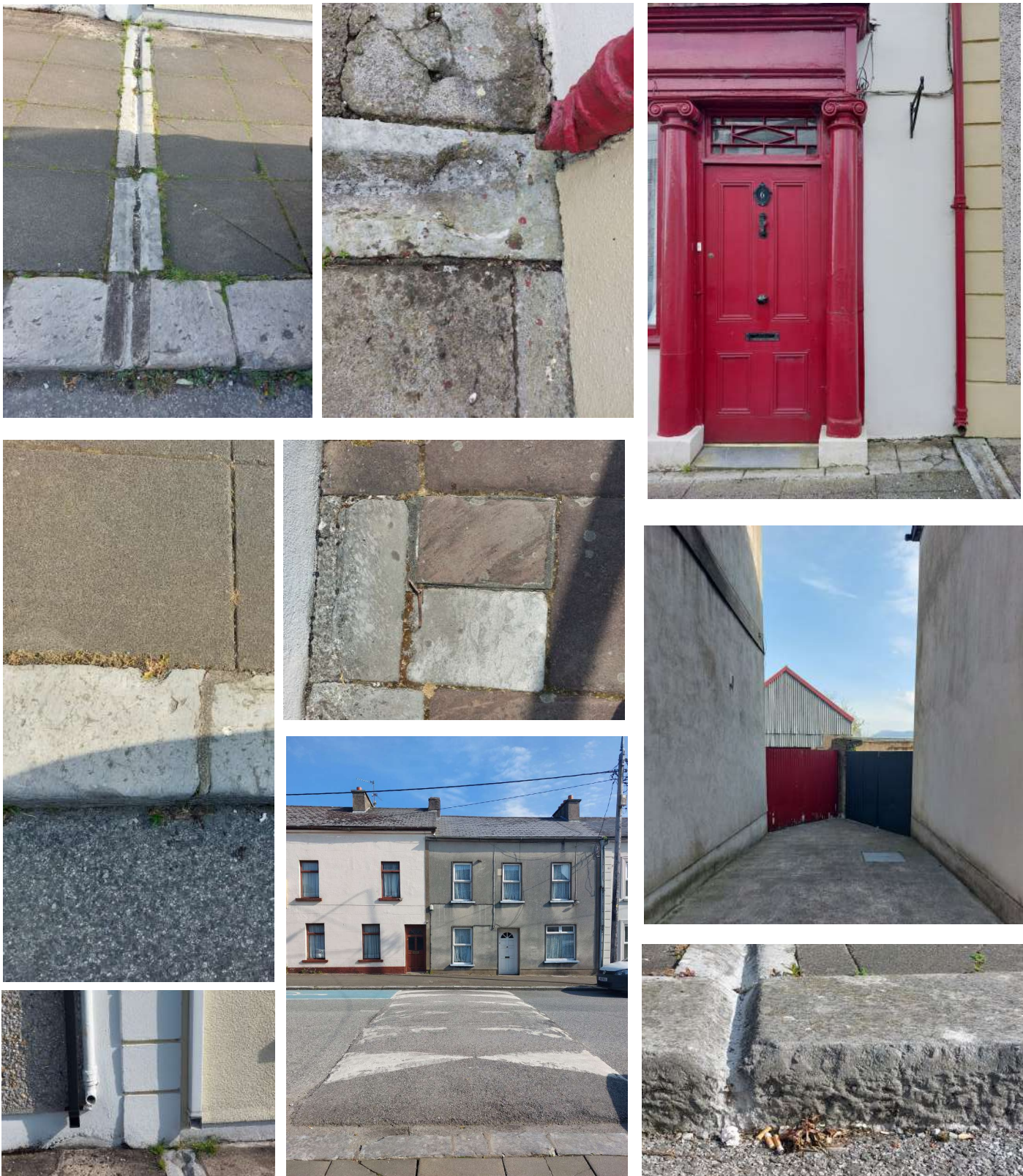
Historical Development– Photographic analysis

Historically there would have been quite a lot of variety in the paving patterns, as evidenced in historic photos and descriptions in the previous 1984 Heritage plan for Mitchelstown. The 1984 Heritage plan for Mitchelstown describes remaining ‘fragments of very beautiful pavements, using limestone kerbs and local black slate’. Even in 1984 many of this paving had been concreted over, and more has been lost today. As recorded in the previous report, the area immediately outside the house in Mitchelstown was considered to be the householder’s responsibility, and treatments here could vary. Based on historic photos path adjoining the street was paved from at least the 20th century onwards.

Historic photos show the paths paved where they adjoin the street with cobbles or perhaps just earth running to the houses behind this. Strips of paving run perpendicular to the street to the doors. In some cases this area could have been paved, as can be seen outside house no. 22 today. The photo below (© Bill Power) shows that there were once a wealth of timber shopfronts to King Street, of which only No. 06 survives. There was an open cobble gully adjoining the street, similar to those still in evidence on Georges Street. The telegraph pole indicates that this photo dates from at least 1955, the year in which the rural electrification scheme began in the town.



Palette of Existing Materials



Overview of Proposed Works and Associated Conservation Impact

The proposed works for King Street involves the reconfiguration of the street to enhance the experience of the space. The work involves reducing the width of the central carriageway to allow for safe cycling and parking, and to reduce the dominance of the cars on the street. It is proposed to reduce the carriageway from 8m to 5m wide. It is proposed to create designated parking spaces to either side of this carriageway, punctuated by trees to the north edge. The overall widths of the paths will be reduced to allow for these designated parking bays.

The proposed works will involve the relocation of a significant proportion of historic building fabric. The original limestone kerbs will have to be moved to facilitate the proposal, and the limestone drains will need to be altered. In general, the following works are proposed:

- Remove the existing limestone kerbs and relay them approximately 600-100mm back from their existing locations, reducing the widths of the existing pathways
- Alter the existing drainage channels to allow for the reduced carriageway
- Resurface the street and paths throughout
- Introduce trees to the north side of the street
- Reroute services underground

The proposed alterations to reconfigure the street will have a significant visual and physical impact on King Street. It will involve the alteration of a significant portion of the historic building fabric. An assessment of the individual items of historic fabric and associated impact of the proposed works is provided in the next section of the report. It is noted that proposed drawings currently do not include details of a number of items of historical interest, but is assumed that these items could be retained or reused as part of the detailed design.

The introduction of the trees will have a significant visual impact on the street, and it is a proposal which does not have any historic precedent. It is an asymmetrical proposal, with the trees being proposed to the north side of the street only. However, the character and use of the street has changed over the years from one with a commercial emphasis filled with shopfronts to a predominantly residential street. The trees are perhaps more appropriate to the current use of the street, and will link into the existing character of Georges Street.

The proposed drawings indicate pathways with large flagstones centrally and smaller units to either side. This is a departure from what appears to have been the historic layout of the paving in the street (see indicative sketch on page 22). However, the visual impact is mitigated by the fact that few original paving stones remain on the street.

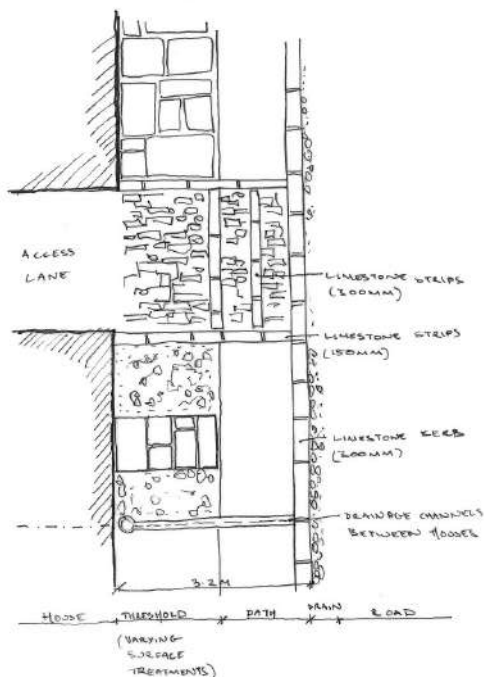
It is noted that the REDscape design report proposed that the gates between the houses could be altered as part of the works. Any proposal for these gates should respect the historic rhythm and character of the street. It is also noted that the houses could be repainted to promote a consistent palette of colour. This would have a visual impact on the street, and has the potential to be a positive on subject to an appropriate colour palette to the historic setting being chosen.

Recommended Additional Mitigation Measures

- A detailed design for the paving should be provided as part of the next phase of works. This should include proposed paving slabs etc. which are suitable for use in this historic context and highlight elements of original fabric being retained/reused as part of the design.
- There is a risk that the trees could impede the east-west vista. This risk is mitigated through the selection of tree types which have a narrow crown and vertical emphasis

Overview of proposal and associated Impact

- A detailed design for the paving should be provided as part of the next phase of works. This should include proposed paving slabs etc. which are suitable for use in this historic context and highlight elements of original fabric being retained/reused as part of the design.
- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. Historic fabric should be retained and adequately protected as part of the works. A method statement for this should be provided prior to works commencing on site.
- There is a risk that the trees could impede the east-west vista. This risk should be mitigated through the selection of tree types which have a narrow crown and vertical emphasis. Details of same, ideally including 3d views of the street, should be provided prior to works commencing on site.



Historic Paving Layout



Proposed Paving Layout

Mitchelstown Georgian Quarter Architectural Inventory and Assessment
**King Street—Schedule of Historic Fabric and Architectural Impact Assessment of
Proposed Works.**



Reference A

No.1 King Street

Location:

South-West Corner, adjoining Market Square.

Categories of Interest:

Artistic, Architectural.

Description:

Two-story House with hipped roof dating to circa 1800 which was built as part of the planned town of Mitchelstown. It occupies a prominent corner site to New Market Square. The building is recorded on the NIAH and is listed as being of regional importance and of architectural and artistic significance. It has retained many of its historic character and details. The front door with surround and original fanlight has been retained, along with the attractive wrought iron railings facing onto New Market Square. There is a limestone threshold to the main front door and floor level is almost flush with external levels. There are two limestone steps up to the second doorway towards the east.

The two-storey outbuilding towards the west of the building has a different character with its simple form and smaller windows, but it equally has a charm which contributes positively to the streetscape of Mitchelstown.

The entrance gate to the shared lane between Nos 1 and 2 is set to the edge of the street, which is atypical. However, the cut stone piers into which the gate is set are historic and it is possible that this was part of the original design for this house. The piers are considered a part of the character of the street (see reference 8)

It is noted on the NIAH record that *'The survival of limestone kerbs and paving in the vicinity also serves to enhance this building'*. The kerb in front of the house is generally intact, and as noted by the NIAH contributes to the overall character of the building. It is damaged locally, and the paving directly outside the house on King Street is concrete paving of low quality, with a manhole placed adjacent to the front door detracting visually from this historic element.

While this building is currently derelict, planning has recently been granted by Cork County Council for its restoration for use as a family home (planning ref 217163). The proposal does not significantly affect the external character of the building.



Record of Protected Structures ID No: 01089

NIAH Reference: 20818084



Reference A

No.1 King Street

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consist of concrete pavers with a limestone step to one of the doors. The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

If the external walls of the buildings were painted this would have a visual impact, and this has the potential to be a positive one.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the building walls/ stone steps and original doorcase.

The walls of this building are of solid construction and a lime based plaster / paint finish would be most appropriate material for this protected structure.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The limestone steps and doorcase should be retained and adequately protected as part of the works.
- Drainage should also be carefully considered to prevent possible water ponding adjacent to the building edge.
- If possible breathable external finishes should be used to this historic building.





Reference B

No.6 King Street

Location:

Centrally along the south edge of King Street

Categories of Interest:

Artistic, Architectural, Social

Description: Mid 19th C. two-story terraced building built as part of the planned town with traditional timber shopfront to ground floor. Simple sliding sash windows and hipped slate roof above. The NIAH records it as being of architectural, artistic, and social significance. The painted timber shopfront incorporates engaged ionic columns, a moulded timber cill, and squarer headed timber panel doors with fanlights. There is a limestone step up to the doors.

It is noted on the NIAH record that *'This attractive house and shopfront...displays one of the finest shopfronts in the town, its neo-classical detailing with five ionic columns giving an elegance and grandeur to an otherwise simple and modest building. The retention of the fine timber panelled doors and decorative overlights, as well as its timber sliding sash windows, greatly enhances the building.'*

The fanlight to this building matches the one found to No.1 King street, and was presumably made by the same craftsman. The shopfront provides a sample of fine historic craftsmanship.

Record of Protected Structures ID No: 01090

NIAH Reference: 20818083





Reference B

No.6 King Street

Visual Adjacencies: The existing pathways/ paving adjacent to the building consist of concrete pavers with a limestone step to one of the two doors and limestone threshold to the other. The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

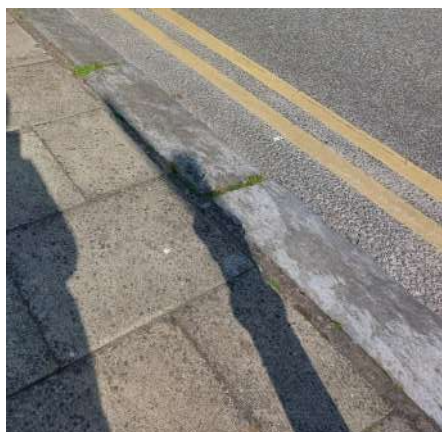
If the external walls of the buildings were painted this would have a visual impact, and this has the potential to be a positive one.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the building walls/ stone steps and original shopfront.

The walls of this building are of solid construction and a lime based plaster / paint finish would be most appropriate material for this protected structure.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The limestone steps and shopfront should be retained and adequately protected as part of the works.
- Drainage should also be carefully considered to prevent possible water ponding adjacent to the building edge.
- If possible breathable external finishes should be used to this historic building.



Reference 01

Limestone Kerbing

Location:

At edge of pathways to street. Present in parts to the south side of the street and almost in full to the north, as indicated on map and below.

Categories of Interest:

Architectural

Description:

King Street retains much of the historic limestone kerbing which contributes to the character of the Georgian quarter. The condition of the kerbing varies, with some damage visible. The kerb is approximately 300mm wide, with lengths varying. The kerb is approximately 110mm high generally, but drops down at the access lanes. There are grooves cut out of the kerbs where the original drains are present (reference 03) to allow the water to flow to the street. The paving adjacent to the kerbs is concrete generally. This paving is of low quality and in poor condition locally, which detracts visually from the kerbing. The kerbing itself is cracked in some areas which will need repair. Cars on the street park over the kerbs, which could be leading to damage to the historic fabric. The cars also meant that areas were not fully visible at the time of surveying the street.



Reference 01A



Reference 01B

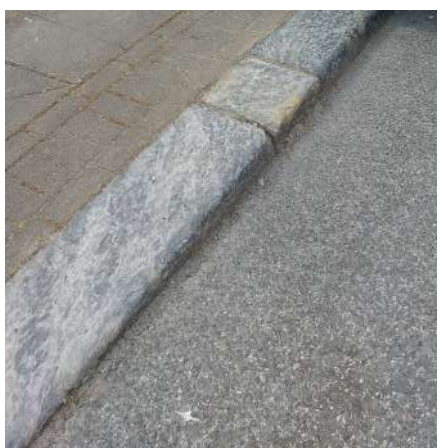
1A: Section of kerb to south-east of street, to paths in front of numbers 1 to 3. Some damage was visible to the area in front of the front door of no.1.

1B: Section of kerb to south of street, to paths in front of numbers 6 and 7.

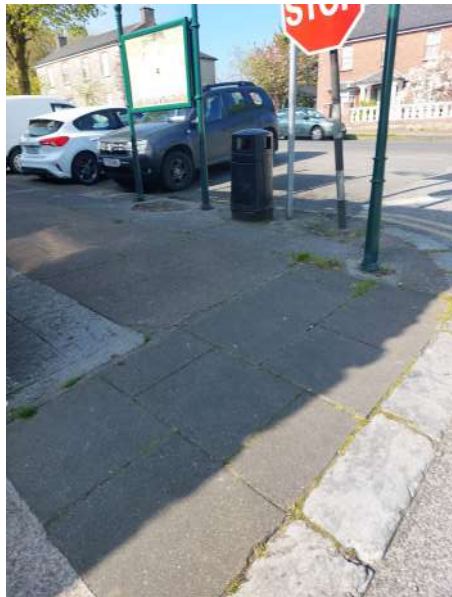
1C: Section of kerb to south of street, to paths in front of numbers 10 and 11. This section of kerb is in good condition generally.

1D: Section of kerb to south-west of street, to paths in front of numbers 12 and 13 and turning the corner onto Georges Street. This section of kerb is in reasonably good condition generally.

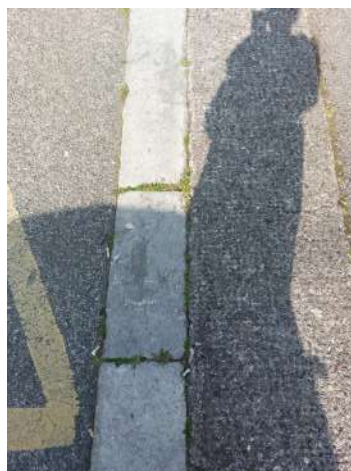
1E: Section of kerb to north of the street, intact to almost full extent. Section at junction to Georges Street missing. Small section also missing in front of house 22 where a telegraph pole is present. The kerb is in a good condition generally, but cracking and damage is visible locally,.



Reference 01C



Reference 01D



Reference 01E (top left to bottom right: : moving east to west)

Reference 01

Limestone Kerbing

Impact of the proposal:

Visual Adjacencies: It is proposed to relay the kerbs in new locations.

Relaying the kerbs in new location will have a visual impact on the street and will alter the layout of the original streetscape. However, the kerbs are proposed to be moved by a maximum of around 1m, and the overall layout of wide pathways to either side of a central carriageway is maintained.

It is also proposed to alter the surface treatments around the kerbs throughout. The existing surfaces adjacent to the kerbs consist of tarmac roads and low quality concrete paving slabs generally. A new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The lifting and relaying of the kerb is of notable impact to the historic fabric and there is an associated high risk of damage or loss of original building fabric.

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the kerbs in the process of moving them. A method statement for undertaking these works should be taken out in due course.
- Where feasible any kerbs which could be retained in situ as part of a detailed design should be (e.g. in sections at entrances to the gateways between the houses) This would allow the original layout of the street to remain legible.



Reference 02A

Reference 02

Limestone Paving Strips

Location:

Parallel to Street, demarking shared access lanes, sections as indicated on map and below.

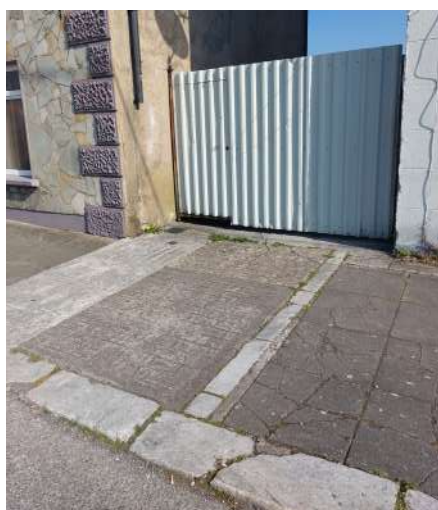
Categories of Interest:

Architectural.

Description:

Evidence would suggest that the laneways located between the buildings on King Street (and elsewhere in the town) were demarcated with limestone strips running parallel to the street, and that the paving within these strips would have contrasted to the pathways. The laneways and associated paving patterns are an inherent part of the character of Mitchelstown's streetscape, contributing to its rhythm and palette of textures. They are more intact to the north side of the street.

The paving strips are approximately 150mm wide, with lengths varying. The distance from the houses to the kerb on the north side of the road is generally around 2.9m and the width between strips varies from 2.6-3.6m. They are in a reasonable condition generally, although some cracking was noted locally.



Reference 02B



Reference 02C





Reference 02

Limestone Paving Strips

2A: Small section of paving strips to south side of street between numbers 3 and 4., adjacent to intact paving strips running parallel to street (see reference 07).

2B: Paving strips to north side of street to west of number 14. Single strip, not aligned with edge of house 14, likely indicating that the gap between these buildings was narrower in the original street layout. 5 sections in varying lengths, some quite short, and all in reasonable condition.

2C: Paving strips to north side of street between numbers 18 and 19. One to either side of opening. 5 sections to the west which are laid unevenly but in good condition. 4 to the east, with the section closest to the road cracked and damaged.

2D: Paving strips to north side of street between numbers 20 and 21. One to either side of opening. 4 sections to the west which are in good condition. 3 to the east, with one large crack in the section closest to the road.

2E: Paving strips to north side of street between numbers 22 and 23, one to either side of gate. 4 sections to the west and 3 to the east, all in reasonable condition.

2F: Paving strips to north side of street between numbers 27a and 28, one to either side of gate. 3 sections to the west and 3 to the east, in reasonable condition generally. Some damage visible adjacent to house number 28.

2G: Paving strips to north side of street to east of number 29 (An Bodhron). One to either side of the gateway. The one to the east has minor cracking visible. The one to the west has a section missing where an access junction has been inserted.



Reference 02D

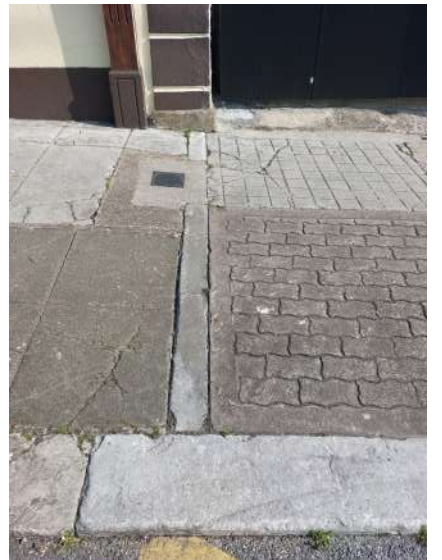


Reference 2E

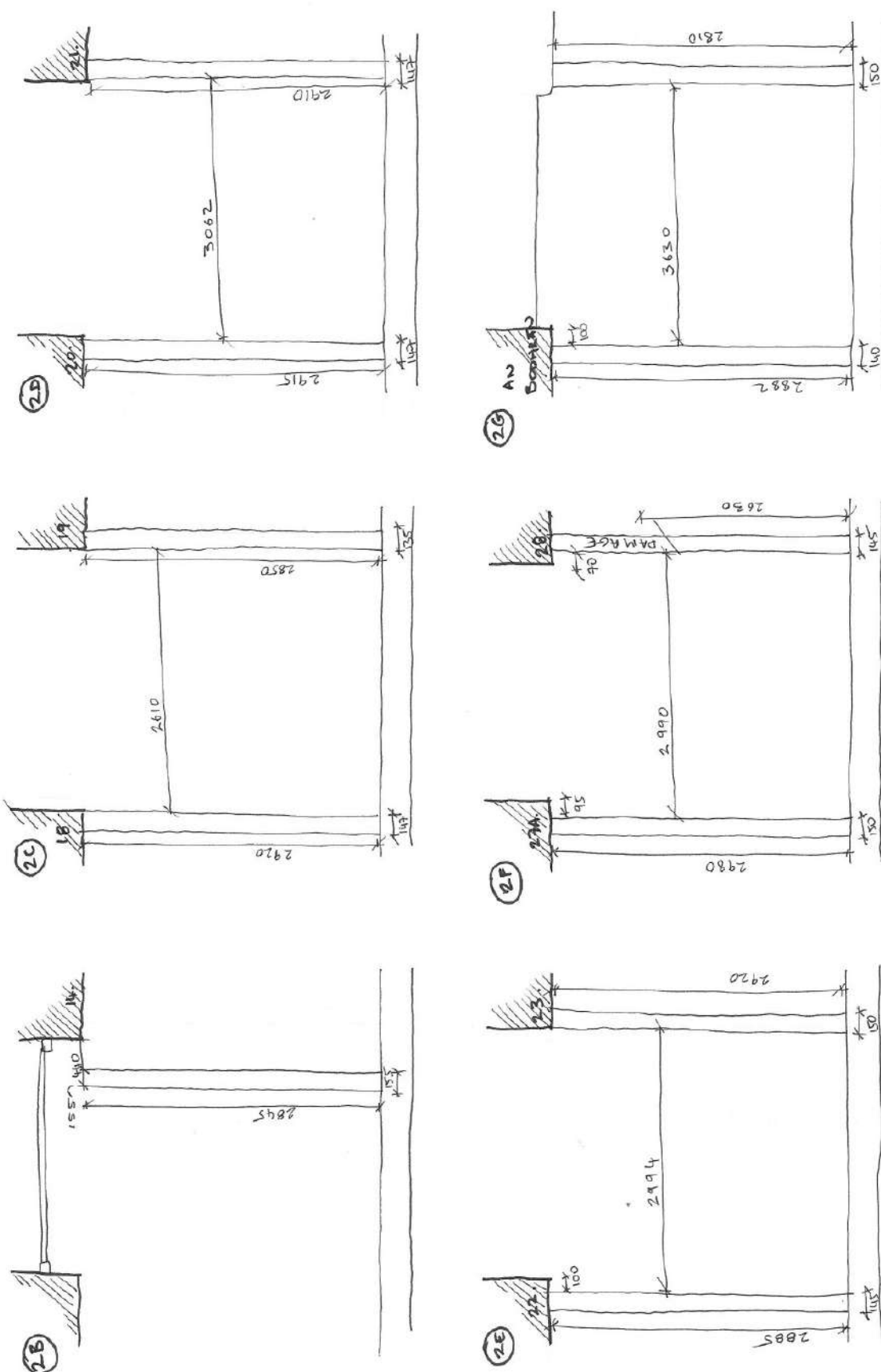




Reference 2F



Reference 2G



KING STREET PAVING STRIPS SKETCH SURVEY JULY 2022

Reference 02

Limestone Paving Strips

Impact of the proposal:

Visual Adjacencies: It is generally proposed to keep these strips in situ, and as such the visual impact of this proposal is limited. The strips will need to be extended to reach the proposed kerb.

It is proposed to alter the surface treatments around the strips throughout. A new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected. It is proposed to use a contrasting material in these areas which is in keeping with the original pattern of the street.

Physical Impact: It is likely that a number of these strips will have to be re-laid as part of the paving works. New paving is proposed directly adjacent to the strips. There is an associated risk of damage or loss of original building fabric,

Recommended Mitigation Measures:

- A detailed design for the paving should be provided as part of the next phase of works. This should include details of the proposed new strips which are suitable for use in this historic context and highlight elements of original fabric being retained/ reused as part of the design
- Care should be taken to ensure that every possible care is taken to avoid damaging the steps in the process of paving the street. A method statement for undertaking these works should be taken out in due course.



Reference 03A



Reference 03B

Reference 03

Limestone Gullies

Location:

Running across paths parallel to street, as indicated on map, see below

Categories of Interest:

Architectural. Technical

Description:

These attractive features carry rainwater from the houses across the paths to the street. It seems likely that each pair of houses would have had a shared gully in the original design, 6 of which have survived. They are approximately 230mm wide and in varying lengths. The original sections incorporated a circular indentation beneath the downpipe. Many of these downpipes are cast iron which is in keeping with the historic character of the streetscape.

3A: Gully to south side of street between numbers 6 and 7. 4 sections present, with some damage visible to the east edge of the section closest to the street. 1 cast iron downpipe discharges to the gully.

3B: Gully to north side of street between numbers 17 and 18. 3 sections present, with vegetative growth at gaps. 2 cast iron downpipes discharge to the gully.

3C: Gully to north side of street between numbers 19 and 20. 4 sections present. 3 downpipes to the gully, 1 cast iron (not in use) and one PVC to number 19 and 1 PVC to number 20.

3D: Gully to north side of street between numbers 21 and 22. 3 sections present, all in good condition. One cast iron downpipe discharges to gully. Stone paving to east of gully enhances its gully (see reference 5).

3E: Gully to north side of street between numbers 23 and 24. 3 sections present, some damage visible to circular indent adjacent to houses. 2 PVC downpipes discharge to gully.

3F: Gully to north side of street between numbers 28 and 29. 2 sections present, in good condition. 1 PVC downpipe discharges to gully.



Reference 03C



Reference 03E

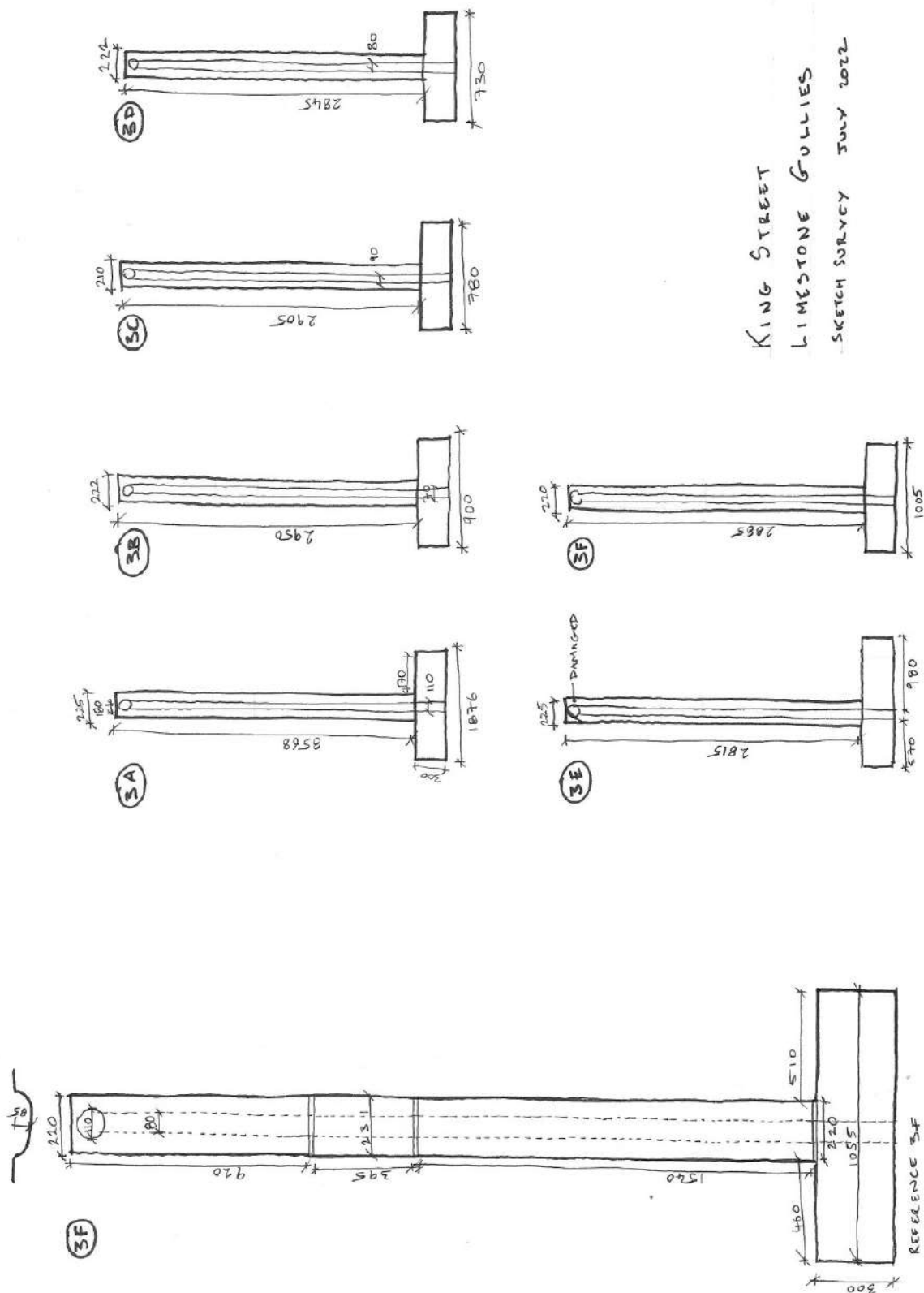


Reference 03D



Reference 03F





Reference 03

Limestone Gullies

Impact of the proposal:

Visual Adjacencies: It is generally proposed to keep these gullies in situ. However, it is proposed to move the historic kerbs back towards the houses. This will result in the shortening of these gullies by up to 1m.

It is proposed to alter the surface treatments around the gullies throughout. A new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

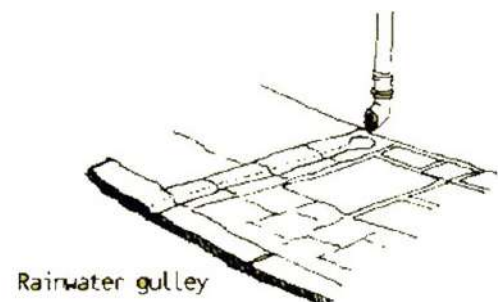
It also appears that additional modern version of the gullies will be inserted in between houses where they are now missing. This will help to reinstate the original rhythm and character of the street.

Physical Impact: New paving is proposed directly adjacent to the strips. There is an associated risk of damage or loss of original building fabric.

There is no proposal to date for what is to be done regarding the lengths of gullies which it proposed to remove as part of this work, which is of concern from a conservation perspective.

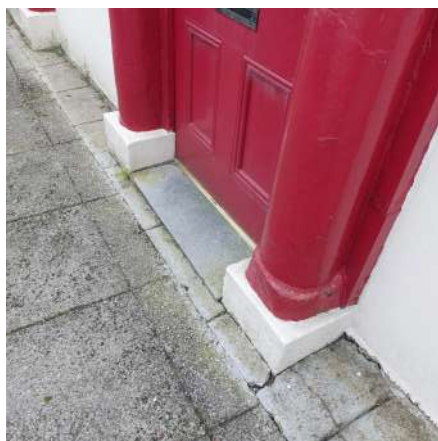
Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the gullies in the process of paving the street. A method statement for undertaking these works should be taken out in due course.
- A proposal should be put forward regarding the reuse of the off-cut sections of the gullies. It is noted that additional gullies are shown on the proposed drawings, and consideration could be given to forming new gullies using these offcut sections.





Reference 04A



Reference 04B

Reference 04

Stone Thresholds/ Steps

Location:

At thresholds to buildings, as indicated on map. Some threshold details incorporate steps up to floor level, while others are flush.

Categories of Interest:

Architectural.

Description: Steps/ level thresholds in limestone generally. These vary in size to suit the relevant door opening. All appeared to be in good condition.

4A: Step / threshold to No. 1. 2 stone steps up to door towards east. Small stone threshold to main front door towards west.

4B: Step / threshold to No. 6. 1 stone step up to door towards east. Small stone threshold to door towards west.

4C: Stone step up to front door of no. 12.

4D: Threshold to Tods Bar which projects onto street. Partially covered in concrete.

4E: Threshold to No.15 which projects onto street. Stone corbels to the side (see reference 6)

4F: Threshold to No.18 which projects onto street.

4G: Step to No. 29 (An Bodhran), located back in line with the door opening.

Impact of the proposal:

These thresholds/ steps are not shown on the proposed drawings but it is assumed they will be retained throughout as part of the proposed works.

Visual Adjacencies: The existing pathways/ paving adjacent to the thresholds consist of concrete pavers. The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the historic fabric, and there is a risk of damage to the building walls/ stone steps

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the thresholds in the process of paving the street. A method statement for undertaking these works should be provided in due course.



Reference 04C



Reference 4D



Reference 04E



Reference 04F



Reference 04G



Reference 05A



Reference 05B

Reference 05

Stone Paving Slabs

Location:

See below/ as indicated on map

Categories of Interest:

Architectural.

Description:

Fragments of flagstone paving. Many stones have a purple hue, possibly slate.

5A: Single paving slab in front of house 10, purple tone.

5B: Three paving slabs in front of house 12, grey tone.

5C: Area of intact historic paving in front of house no. 22, to full extent of house. Mix of grey-purple tones.

Impact of the proposal:

These paving slabs are not indicated on the proposed drawings. It is assumed that they could be retained in situ or re-laid as part of the proposed paving layout.

Note however that the proposed layout shows the larger paving slabs central on the pathway, with smaller paving units adjacent to the houses. This is contrary to the layout found in front of house 22, which has the large paving slabs of particular historical interest directly adjacent to the house. This was the threshold area traditionally in the control of the owner of the house, and historically the treatment of these areas would have varied between houses.

Recommended Mitigation Measures:

- These slabs should be either retained in situ or re-laid as part of the proposed paving layout. A detailed design for this should be provided as part of the next phase of works.
- Care should be taken to ensure that every possible care is taken to avoid damaging the paving slabs in the process of paving the street. A method statement for undertaking these works should be taken out in due course.



Reference 05C



Reference 06

Stone Corbels

Location:

In front of houses 14/15

Categories of Interest:

Architectural.

Description:

Small stone corbels at street level, projecting slightly onto the street.
Possible indications of former openings (shopfronts?)

Impact of the proposal:

These thresholds/ steps are not shown on the proposed drawings but it is assumed they will be retained throughout as part of the proposed works.

Visual Adjacencies: The existing pathways/ paving adjacent corbels consist of concrete pavers. The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the historic fabric, and there is a risk of damage to the corbels.

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the corbels in the process of paving the street. A method statement for undertaking these works should be provided in due course.





Reference 07

Limestone strips

Location:

In front of gateway opening between houses, running parallel to street to locations described below and indicated on map.

Categories of Interest:

Architectural.

Description:

Evidence would suggest that the laneways located between the buildings on King Street (and elsewhere in the town) were demarcated with limestone strips running parallel to the street, and that the paving within these strips would have contrasted to the pathways. These strips provide fragments of this original paving pattern. They are 300mm wide generally and run parallel to the street. The laneways and associated paving patterns are an inherent part of the character of Mitchelstown's streetscape, contributing to its rhythm and palette of textures.

7A: Fragments of 2 strips of varying lengths between houses 1 and 2.

7B: 2 strips to full length of opening in good condition generally.

Impact of the proposal:

These paving slabs are not indicated on the proposed drawings. It is assumed that they could be retained in situ or re-laid as part of the proposed paving layout.

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the paving slabs in the process of paving the street. A method statement for undertaking these works should be taken out in due course.
- Consideration could be given to reinterpreting these strips in a more modern manner as part of the detailed paving design in the future.



Reference 7A



Reference 7B





Reference 08

Stone Gate Posts

Location:

Between houses 1 and 2.

Categories of Interest:

Architectural.

Description: Square plan cut stone piers with stone cappings incorporating stone gate-stops at the base of the piers.

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the gate posts consist of concrete pavers . The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the historic fabric, and there is a risk of damage to the building walls/ stone steps

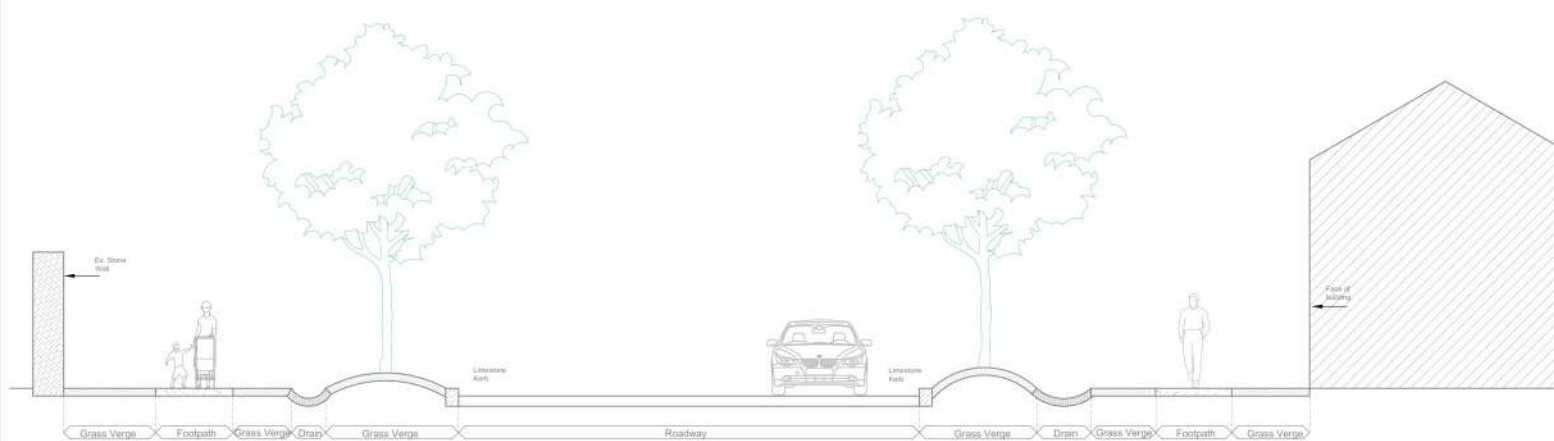
Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the piers/ gateposts in the process of paving the street. A method statement for undertaking these works should be provided in due course.





Georges Street, the Mall and Galtee Mountains Mitchelstown.



Mitchelstown Georgian Quarter Architectural Inventory and Assessment

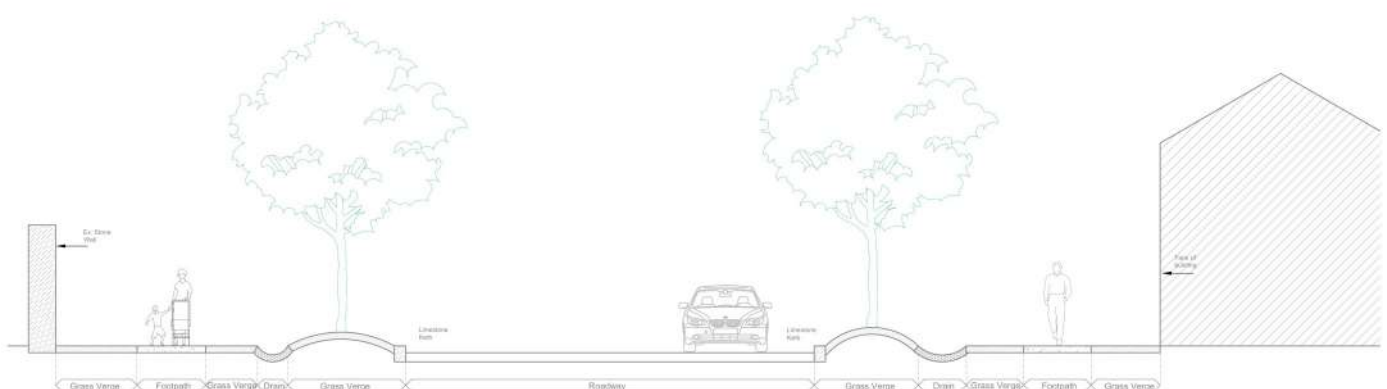
Georges Street

Overview

Georges Street is a long and straight road set out on a north-west axis. The proportions of the street are generous, with the trees to either side giving the street a distinct boulevard character. The street was formally laid out with Saint Georges Church (now an arts and heritage centre) to the south and Kings Square/ King's College Chapel to the north. The vista to the south is therefore focused on the elegant church spire, with the vista to the north framing a view of Kingston College and the chapel spire with the peaks of the Galtee Mountains behind. The trees further enhance and frame these planned views. The landscape is an inherent part of the character of the street, with the tree framed vistas giving George's street an arcadian character in contrast to the more urban feel found on King Street and elsewhere in Mitchelstown. The view down King Street towards west was set up approximately half way down Georges Street, and is marked by another civic building, the former bridewell. The placement of key civic buildings at key points in the planned town reflect the social hierarchies of the time.

Landscaping elements such as the mature trees, rubble stone walls, and open drains all contribute positively to the overall character of Georges Street and are an essential aspect of the quality of the space. The buildings along the street vary, but typically are two storey dwellings, with some forming small terraces along the street and more being set back in their own gardens. There are a number of larger buildings to the west side of the street, and an open site towards the south end is a proposed site for a large housing development.

The original character of the street appears to be most intact towards King Square to the north end. Here there is a pleasant definition of the space, with the central tree-lined road being defined by grass verges with historic limestone kerbing present to a large extent. A grass verge separates the roadway and the pedestrian pathway, and there are open drains between the paths and grass verges. Some of these open drains retain the original cobble finish. The outer edge of the street has a well defined built edge in the form of walls (often attractive rubble stone) or building edges. A small grass verge is located between this outer edge and the pedestrian pathway. This layout creates a well defined hierarchy of spaces. The textures of the cobble stones, rubble stone walls, trees, grass, and limestone kerbs all help to create a high quality streetscape. This hierarchy and character recedes as you move southwards up the street, with less of the original fabric being retained towards this end.

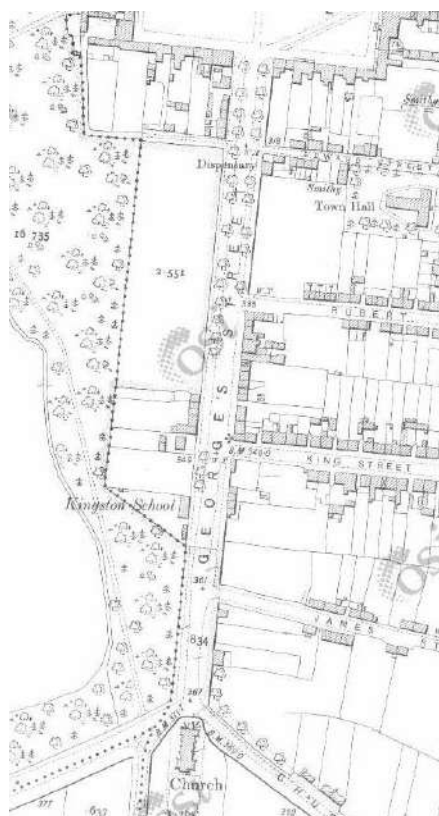


Historical Development

Georges Street retains much of the character of the planned Georgian town in terms of the retention of the framed views and the overall layout of the streetscape. While the trees aren't shown on the first edition of the OSI map they were planted to the north end of the street in the 25" edition of the maps, c.1900. The terraces of dwellings shown in the first edition of the map had been largely demolished by c.1900, and in general the former terraces have been replaced with one off dwellings set back from the street in more recent years. This likely means that the street in its current format has a more open feel than would originally have been the case. The boundary wall of the Mitchelstown Castle Demesne to the south-east of the street, with the open green space behind, has been a prominent feature in the street since its original development.



Georges Street—6" OSI Map, 1837-1842



25" OSI Map, 1888-1913



Contemporary OSI Map

Historical Development– Photographic analysis

Images from the 1900s show how the streetscape has altered in the last century. The image below (© Bill Power), which shows the view facing north before the intersection with Robert Street, illustrates the trees to the north end of the street only, as seen in the 25" OSI map. The trees towards the south were planted in relatively recent years as part of the previous heritage plan. The image below also shows an attractive terrace of buildings in a simple, vernacular style to the east side of the street. The area in front of the houses in this image is unpaved, and it appears that it may have a cobble finish throughout. There is an open drain between this area and the road. The space to the west is open in this image, with the area being defined with a simple rubblestone wall, with grass verges to either side of a pathway. This layout can be found towards the north of the street today. As demonstrated in the contemporary image below the area today is occupied by a commercial building with a concrete pathway in front of it, which detracts from the original character of the street.



Historical Development– Photographic analysis

The image below (© Bill Power) shows a view the street facing north, just after the intersection with Robert Street. A comparison between the 1900 image and the current view demonstrates that the character and layout of the street has been largely retained since this time. The cobblestone drain seen to the east between the road edge and grass verge is no longer present, with the verge now being defined by limestone kerbing and intersected by additional entrances to houses. The open drain to the west, between the pathway and verge, remains largely intact, though the cobbles have been lost/ concreted over to a large extent. The trees have grown considerably, giving the street a much more enclosed feel.



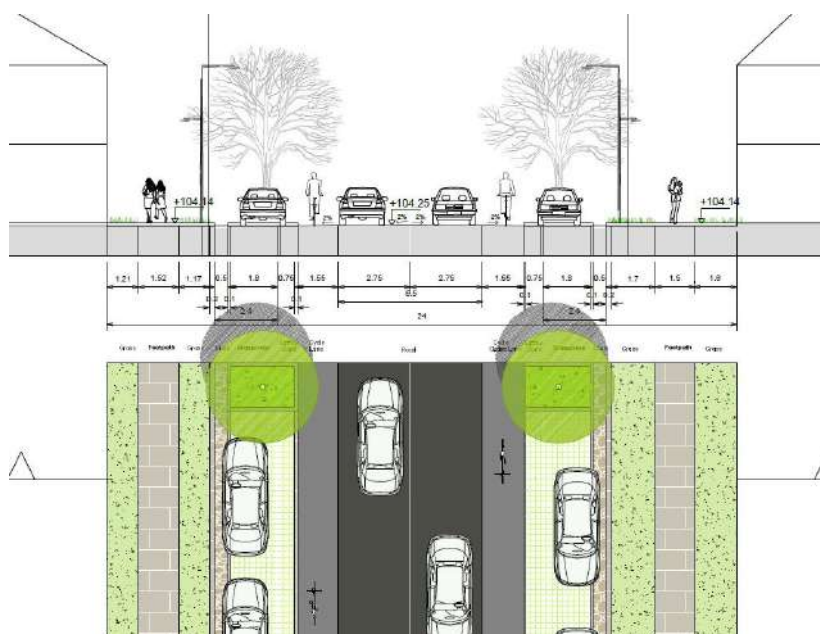
Palette of Existing Materials



Overview of proposal and associated Impact

The proposed works to Georges Street involve extending the character found to the northern end of the street towards the south. The areas to the north have seen the removal of green areas and drainage channels, and the introduction of a significant volume of perpendicular parking which has led to a degradation of the street's historic character. The proposal generally retains the existing situation to the north end of the street and seeks to extend the patterns and form found here towards the south, re-introducing green verges and open drains. It is also proposed to alter the parking layouts to reduce the dominance of the car and to continue the planting of large trees to the full extent of the street. The proposed new layout also incorporates cycle paths, additional lighting and safe crossing junctions.

Relatively few alterations are proposed towards the north of the street, with the existing open drains, trees, kerbs, grass verges, and location of pathways being generally retained. The main north-south axis and vistas are retained. The proposal is based on the original street layouts and will significantly enhance the character of the street. It is noted that proposed drawings currently do not include details of a number of items of historical interest, but it is assumed that these items could be retained or reused as part of the detailed design.



Proposed layout to south end of street © REDscape



Mitchelstown Georgian Quarter Architectural Inventory and Assessment
Georges Street—Schedule of Historic Fabric and Architectural Impact
Assessment of Proposed Works.



Reference C

St. George's Arts and Heritage Centre.

Location:

South end of Georges Street

Categories of Interest:

Architectural, Historical, Social, Artistic.

Description:

While this building falls out the site it is an integral part of the planned town and any proposal must consider the impact on this building. The former church is now in active use as an Arts and Heritage Centre, and restoration works to the building are ongoing.

The building consists of an early 19th C. former church on the site of a much older one. The building has a prominent location in the planned town of Mitchelstown, terminating the south end of George's street and closing the vista at the end of the tree-lined mall leading to King's Square. It is directly in line with Kingston College chapel and is an integral feature of the early nineteenth-century planned town. The layout of the Georgian Quarter is hinged on the location of Saint George's on the south-west corner of the planned town. The plan layout of the former church is particularly interesting, being atypical of First Fruits churches from this time. The building itself, along with the curved boundary wall and decorative railings, positively contributes to the character and streetscape of the area.

The church yard is enclosed by a curved random rubble limestone wall with limestone copings and iron railings to the front (north). There are 2no. double leaf decorate wrought iron gates to the north elevation, one directly in front of the front door and one towards the east. They are set between tooled cut limestone piers with plinths and caps. Note that front wall originally stood further into George' Street and had a third gate (as indicated in Pain's plans for the building.) The gate was removed in early 1980s, when the County Council took over part of the frontage and moved the wall back approx. 4m to its present position

Record of Protected Structures ID No: 00105

NIAH Reference: 20818097

Record of Monuments and Places; CO 019-028002 (church) and CO 019-028002 (graveyard)





Reference C

St. George's Arts and Heritage Centre.

Impact of the proposal:

Visual Adjacencies: The existing paving adjacent to the stone walls in front of the building is concrete and is cracked in places. The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

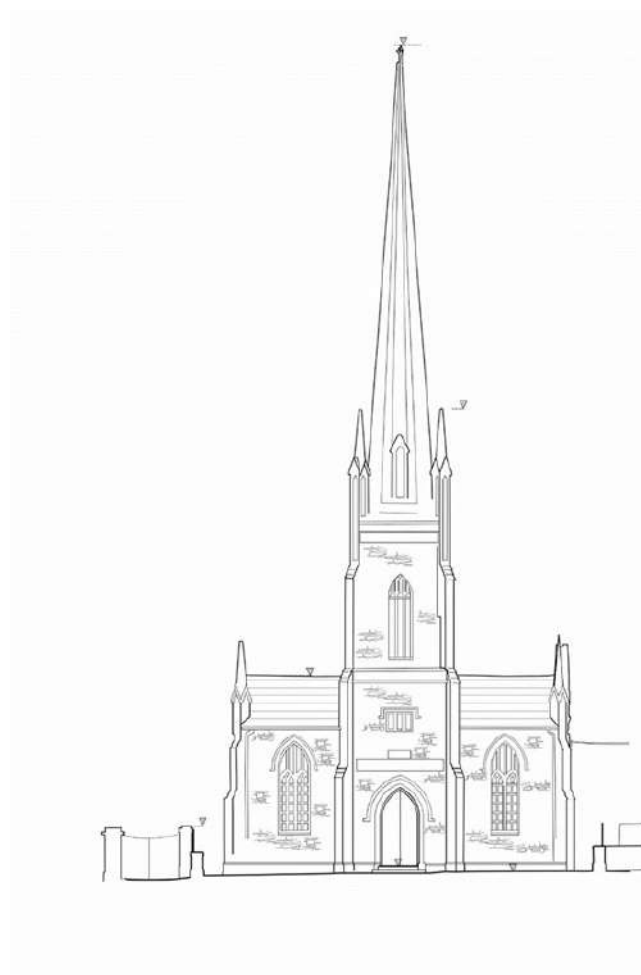
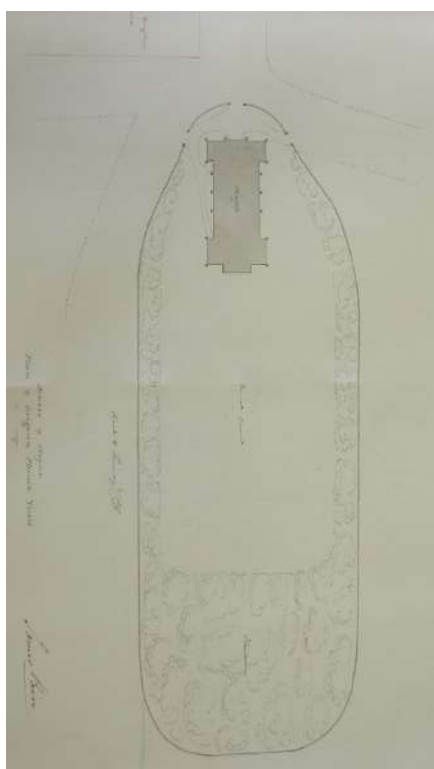
New crossings are proposed in front of the building, but it is not anticipated that these will have a significant visual impact.

The introduction of trees will also have a visual impact on the building, but it is anticipated that the proposed trees to the south end of the road will frame as opposed to block the view of the former church, due to the overall width of the road.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the building walls/ stone steps and original doorcase.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The rubblestone boundary wall should be retained and adequately protected as part of the works.





Reference D

16 James Street

Location:

At the north corner of Georges and James Street.

Categories of Interest:

Architectural

Description:

A small and attractive hipped roof two storey house which turns the corner from Georges Street to James Street. A rendered plaque to the south elevation reads '*James Street erected 1913*'. There is no building present in this location on the earlier editions of the OSI maps (1837-1913). The building fronts directly onto James Street, with a low wall and small garden behind adjoining Georges Street. The wall is rendered and incorporates a small pedestrian gate to James Street. The rubble stone masonry is exposed to Georges Street. The roof is slate with clay ridge tiles, clay finials to the corners of the hips, and a ventral rendered chimney stack. Walls are rendered throughout, with modern rainwater goods and windows present. There is raised moulded render detailing above the heads of the openings onto James Street, with the rendered street name and moulded frame above.

While the building has lost its original joinery its overall form, roof, and render detailing enhance character of the streetscape.

Record of Protected Structures ID No: 01330

NIAH Reference: Not included in NIAH

Impact of the proposal:

Visual Adjacencies: The introduction of a new surface treatments and green areas will impact visually on the existing situation to the side elevation of the building (facing Georges Street). This is anticipated to be a positive impact and will be an improvement on the existing condition generally.

The introduction of trees will also have a visual impact on the building, making it slightly less visible.

Physical Impact: As the building is set back from Georges Street no significant physical impact is anticipated.





Reference E

Former School

Location:

West edge of Georges Street, between King St and James St.

Categories of Interest:

Architectural, Historical, Social.

Description:

A school for Protestant children was established in the town circa 1800 by the King family circa 1827. The school had 30 pupils taught in two classrooms (Evensong pg. 48). It is annotated 'School Ho.' on the 6" edition of the historic OSI maps (1837– 1842) and 'Kingston School' on the 25" edition (1888-1813). The building backed onto the former demesne wall to the rear of the site. The building is a two storey detached pitched roof house. The house is set directly onto the street. The front elevation is a four-bay elevation. The rubble stone walls are exposed to the front with brick surrounds to the windows and front door. They are rendered to the gables. Cast iron rainwater goods are present. There are replacement pvc windows present, and the timber door and fanlight above are modern. There is a step up to the front door. There is a timber gate towards the south of the building with capped stone piers to either side.

While many original features have been lost the building is part of the historic social fabric of the town and continues to make a positive contribution to the street architecturally.

Record of Protected Structures ID No: 00097 / NIAH Reference: n/a

Impact of the proposal:

Visual Adjacencies: The introduction of new surface treatments and green areas will impact visually on the existing situation to the front of the building. This is anticipated to be a positive impact and will be an improvement on the existing condition generally.

The introduction of trees will also have a visual impact on the building, making it slightly less visible.

Physical Impact: The laying of the new paths/ paving will be directly adjacent to the building walls, and there is a risk of damage to the building walls/ threshold.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The rubblestone boundary wall should be retained and adequately protected as part of the works.
- Drainage should also be carefully considered to prevent possible water ponding adjacent to the building edge.



Reference F

Former Bridewell

Location:

At intersection with King Street, terminating the view to the west from King Street.

Categories of Interest:

Architectural, Historical, Social.

Description:

The former Bridewell consists of a detached two storey building set back from the street. It has a lean to single storey annex to the south. Further buildings to the rear of this volume were not accessible, but as they do not front onto the street they will not be affected by any proposed works. The building backs onto the former demesne wall to the rear of the site.

The bridewell was constructed in the late 1700s or early 1800s. It has a hipped slate roof with a central chimneystack. The front elevation is a three bay elevation with central door, There is a veranda to the front elevation with a hipped slate roof supported by carved timber posts. These posts are thought to have come from a boathouse in the former Mitchelstown demesne.

The walls are rendered. Render is plain to the ground floor with a roughcast finish to the upper floor and plain moulded render surrounds to the windows. The windows are square headed with replacement pvc windows present. The front door is also pvc.

The yard to the front has a concrete finish with moss/ vegetation growth present. The front wall consists of a grey brick wall with a small railing above. There is a central pedestrian gate with square plan uncapped brick pillars. There is a second gateway for vehicular access to the south, with a rubble stone wall to the south boundary of the site forming a gatepost to this side.

This building is particularly noteworthy as it was a public building carefully sited to the west end of the east-west axis along King Street, opposite Market Square. The ornately carved timber posts to the veranda are also of particular note, and while they are not a part of this buildings original design they are an interesting remnant of the old demesne. The building is in need of maintenance and restoration work.

Record of Protected Structures ID No: 00098

NIAH Reference: 20818121



Reference F

Former Bridewell

Visual Adjacencies: The introduction of a new surface treatments and green areas will impact visually on the existing situation to the front of the building. This is anticipated to be a positive impact and will be an improvement on the existing condition generally.

The introduction of trees will also have a visual impact on the building. It is noted that the area in front of this building is of particular significance as it terminates the east-west axis of King Street. The introduction of a tree in front of this building is therefore deemed to of relatively high impact. However, the building and front yard is in need of repair and has an air of neglect to it at present, which lessens its presence on the street and contribution to built environment.

Physical Impact: As the building is set back from Georges Street no significant physical impact is anticipated.

Recommended Mitigation Measures:

- Consideration could be given to the omission of the tree in front of this building to ensure its continuing place as a bookend to the west facing vista of King Street.



Reference G

Former Courthouse

Location:

To west side of Georges Street, between King Street and Robert Street

Categories of Interest:

Architectural, Social.

Description:

While this building has no protections from a heritage perspective it is a part of the social fabric of the town. It is an fine example of a civic building dating from c.1950s. There is a semi-circular entrance area from the street, with the street edge being defined by a low brick wall with concrete cappings and a metal railing above.

Record of Protected Structures ID No: N/A

NIAH Reference: N/A

Impact of the proposal:

Visual Adjacencies: The introduction of a new surface treatments and green areas will impact visually on the existing situation to the front of the building. This is anticipated to be a positive impact and will be an improvement on the existing condition generally. Further consideration could be given to mark this as a public accessibly building in the design of the paving/ streetscape.

The introduction of trees will also have a visual impact on the building, making it slightly less visible.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the boundary, and there is a risk of damage to the building walls/ threshold.





Reference H

Weston Villa

Location:

To east side of Georges Street, adjoining Edward Street.

Categories of Interest:

Architectural, Artistic.

Description:

This detached three-bay two-storey house was built in the late 1800s or early 1900s. There is a building marked as 'Dispensary' in the 25" maps, and this building seems to be the same volume as is present today. A terrace was present in this location on the earlier 6" maps, which turned the corner from Georges Street to Edward Street.

The building is Victorian style, a projecting bay to ground floor which fronts directly onto Georges Street. This bay has a central doorway flanked to each side by two windows, with a third window being located on the canted return walls to either end of the bay. The door is a timber panel door with simple fanlight and a gablet above with a carved timber bargeboard and decorative terracotta ridge tiles. There is a stone doorstep present.

Walls are rendered throughout with a roughcast finish to the upper floor and smooth finish to the ground floor and quoins to the corners. There is a render string course at first floor cill level. Centrally on the upper floor there is a rendered name plate in a shield form with a garland surround reading *Weston Villa*. The windows on the upper floor are paired and incorporate decorative moulded render surrounds with vermiculated keystone detailing. The window openings are square headed throughout with replacement one-over-one timber sliding sash windows present. The roof consists of a pitched artificial slate roof with terracotta ridge tiles, decorative rendered chimneystacks to each gable, and corbel detailing to the eaves. Rainwater goods are PVC.

There is a small enclosed yard towards the north, adjoining Edward Street. This is enclosed by a rendered boundary wall to north with render coping and attractive iron railings. Weston Villa is a pretty building enhanced by the decorative render detailing. Its detached form and projecting bay makes it a distinctive building on the streetscape.



Reference H

Weston Villa

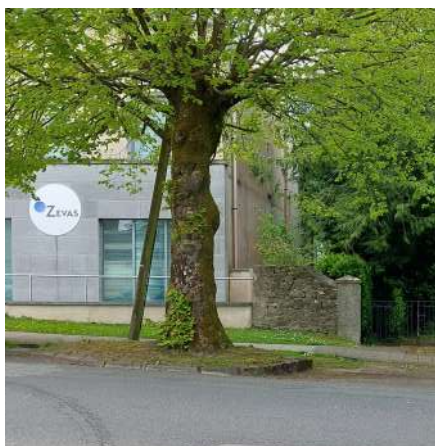
Impact of the proposal:

Visual Adjacencies: The introduction of a new surface treatments and green areas will impact visually on the existing situation to the front of the building. The proposal is not radically different from the existing situation, and is anticipated to be a positive impact and will be an improvement on the existing condition generally.

Physical Impact: It is proposed to remove the existing concrete path adjacent to the building/ boundary walls and grass this area. There is a risk of damage to the building walls/ threshold over the course of this work.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The rubblestone boundary wall should be retained and adequately protected as part of the works.



Reference 1F



Reference 1G



Reference 1H

Reference 01

Limestone Kerbing

Location:

To either side of street as indicated below/ on map

Categories of Interest:

Architectural.

Description:

Limestone kerbing is present to a large extent to the north end of the street., defining the grass verges to either side of the road. It does not appear to be in its original location, as it follows the line of driveways which were not present in the earlier editions of the OSI maps. It is nonetheless of historic significance, and it is likely that the original kerbing was re-laid to suit the current layout at some point in the 20th C.

1F: Section of kerb to west side of street, enclosing single tree opposite Robert Street.

1G: Section of kerb to east side of street, just north of intersection with Robert Street.

1H: Section of kerb to west side of street, just north of intersection with Robert Street.

1I: Section of kerb to east side of street, roughly opposite tennis club.

1J: Section of kerb to west side of street, adjacent to tennis club

1K: Section of kerb to east side of street, just south of Weston Villa (ref H)

1L: Sections of kerb to east side of street, in front of Weston Villa and just south of Edward Street. Two sections each enclosing a singular tree.

1M: Section of kerb to west side of street, just south of intersection with Kingston Close

1N: Section of kerb to west side of street, enclosing singular tree just north of intersection with Kingston Close

1O: Section of kerb to east side of street, running from Edward Street to King Square

1P: Section of kerb to west side of street, located centrally between Kingston Close and King Square

1Q: Section of kerb to west side of street, just south of King Square



Reference 01

Limestone Kerbing

Impact of the proposal:

Note: It is assumed that it is proposed to relay the kerbs in new locations.

Visual Adjacencies: Relaying the kerbs in a new location will have a visual impact on the street. However, the kerbs do not appear to be in their original locations and their relocation will therefore not affect the original character of the street.

Physical Impact: The lifting and relaying of the kerb is of notable impact to the historic fabric and there is a n associated high risk of damage or loss of original building fabric.

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the kerbs in the process of moving them. A method statement for undertaking these works should be taken out in due course.

Reference 1H



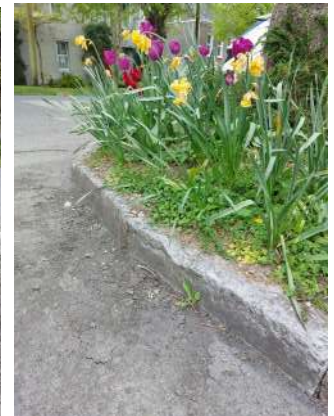
Reference 1I



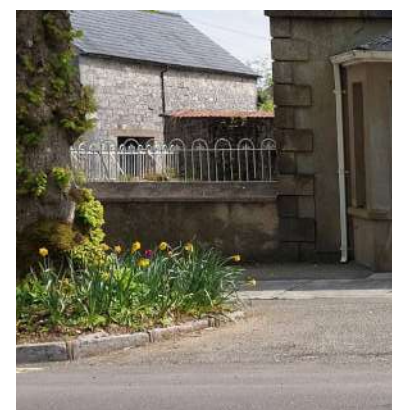
Reference 1J



Reference 1L



Reference 1K





Reference 1M



Reference 1N



Reference 10



Reference 1P



General view of Kerbing toward north of Georges Street



Reference 1Q



Reference 4H



Reference 4I



Reference 4J

Reference 04

Stone doorsteps/ thresholds

Categories of Interest:

Architectural.

Location:

As indicated on map and below

Description:

Stone steps. These vary in size to suit the relevant door opening and appeared to be in good condition.

4H Stone doorstep to Weston Villa

4I Stone doorstep to opening into rear garden of no 7 King Square.

4J Stone threshold to doorway to house just north of Kingston Close.

Impact of the proposal:

These thresholds/ steps are not shown on the proposed drawings but it is assumed they will be retained throughout as part of the proposed works.

Visual Adjacencies: The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, and the proposal shows relatively little change from the existing condition.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the historic fabric, and there is a risk of damage to the building walls/ stone steps

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the thresholds in the process of paving the street. A method statement for undertaking these works should be provided in due course.



Reference 8B

Reference 08

Stone gate posts/ Piers

Location:

As indicated on map and below

Categories of Interest:

Architectural.

Description:

08B Pair of gate posts near the curved junction of Georges Street and Kildorrery Road. Square plan cut stone posts with decorative capping stones. Corrugated metal sheeting to gate opening in rubble stone wall, which is the boundary wall of the former demesne.

08C Pair of gate posts to the former school building. Square profile rubble stone piers with stone cappings. Vertical timber boarded gate with metal surround set within opening.

08D Single pier to corner of Edward Street. Square profile cut stone pier with stone capping.

08E Pair of gate posts to south of no 8 King Square. Square profile cut stone piers with stone cappings. Corrugated metal sheeting to gate opening.

Impact of the proposal:

Note: Gate reference 8(b) falls outside the official boundary line and no works are proposed around it at present.

Visual Adjacencies: The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the historic fabric, and there is a risk of damage to the building walls/ stone steps

Recommended Mitigation Measures:

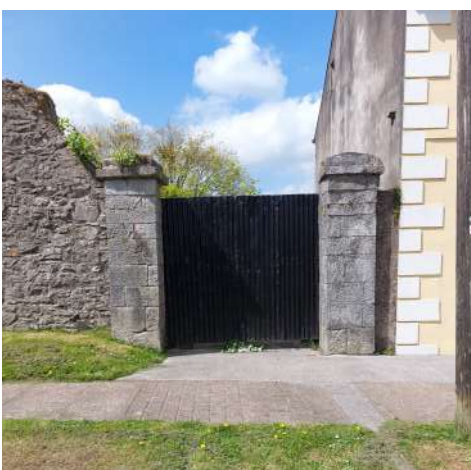
- Care should be taken to ensure that every possible care is taken to avoid damaging the piers/ gateposts in the process of paving the street. A method statement for undertaking these works should be provided in due course.



Reference 8C



Reference 8D



Reference 8E





Reference 8 (x)

Pedestrian Gateway

Location:

near the curved junction of Georges Street and Kildorrery Road. As indicated on map

Categories of Interest:

Architectural.

Description:

Pedestrian opening into old demesne walls. Cut stone surround to opening in rubble stone walls and cut limestone lintol. Modern vertical boarded timber door set within opening.

Impact of the proposal:

This gate falls outside the official boundary line and no works are proposed around it at present.

Reference 10

Stone Paving

Location:

As indicated on map and below

Categories of Interest:

Architectural.

Description:

10A Small section of paving to east side of street near junction with King Street. Covered by a parked car at this time of undertaking the photographic survey.

Impact of the proposal:

These paving slabs are not indicated on the proposed drawings. It is assumed that they could be retained in situ or re-laid as part of the proposed paving layout.

Recommended Mitigation Measures:

- These slabs should be either retained in situ or re-laid as part of the proposed paving layout. A detailed design for this should be provided as part of the next phase of works.
- Care should be taken to ensure that every possible care is taken to avoid damaging the paving slabs in the process of paving the street. A method statement for undertaking these works should be taken out in due course.



Reference 12A



Reference 12B



Reference 12C

Reference 12

Cobble stone open drain

Location:

As indicated on map and below

Categories of Interest:

Architectural.

Description:

Open drains are a significant element in the character of this street. Originally these open drains would likely have had a cobble finish throughout, and fragments of this finish have survived towards the north of the street.

12A Section cobbles to east side of street in front building currently in use as a hair salon. Modern concrete paving to open drain to either side of cobbles.

12B Very small section of cobbles adjacent to driveway to east side of street, approximately half way between Edward Street and Robert Street.

12C Section of cobbles to west side of street, just south of King Square.

12D Section of cobbles to west side of street, just north of intersection with Kingston Close. Cobbles partially covered in concrete.

Impact of the proposal:

Although drains are shown in the existing locations generally, these cobbles are not specified on the drawings, although it is assumed that they could be kept as part of the proposed works.

Recommended Mitigation Measures:

- These cobbles should be retained in situ as part of the works going forward.
- Care should be taken to ensure that every possible care is taken to avoid damaging the existing cobbles in the process of upgrading the street. A method statement for undertaking these works should be taken out in due course.



Reference 12D



Reference 13

Drain with cut stone surround

Location:

Near end of Georges St

Categories of Interest:

Architectural.

Description:

The open drain to the east of Georges Street is terminated at its end adjacent to King Square with an interesting drain with a cut limestone surround. Of historical note.

Impact of the proposal:

Although drains are shown in the existing locations generally, this drain is not specified on the drawings. It is assumed that it could be kept as part of the proposed works.

Recommended Mitigation Measures:

- The drain should be retained in situ as part of the works going forward.
- Care should be taken to ensure that every possible care is taken to avoid damaging the existing drain in the process of upgrading the street. A method statement for undertaking these works should be taken out in due course.





Reference 14

Limestone Plaque

Location:

At Junction to Robert Street

Categories of Interest:

Architectural.

Description:

Limestone plaque reading 'Robert Street' set into the painted rubble stone wall of simple vernacular style building.

Impact of the proposal:

No significant impact anticipated



Reference 15 (a)

Metal Street Sign

Location

To south end of street, on demesne wall.

Categories of Interest:

Architectural.

Description:

Metal sign face fixed onto the rubble stone wall (see reference 16) reading 'Sraid Sheoirse / George Street'.

Impact of the proposal:

No significant impact anticipated





Reference 16 (a)

Demense Walls

Location:

As indicated on map and below

Categories of Interest:

Architectural.

Description:

Remnants of the old demesne walls are visible along Georges Street, with the section to the south end, towards St Georges, being the most intact. The wall consists of a high rubble stone masonry walls. Sections of the wall are also present to the rear of some of the buildings to the west of Georges Street, but these will not be impacted by any proposed works to the Georgian Quarter. The wall incorporates cut limestone quoins where it turns the corner towards Kildorrery Road, with a gateway and pedestrian opening being set in the wall on this road (see references 8B and 8X)

16A Section of wall to south of street.

Impact of the proposal:

Visual Adjacencies: The introduction of a new surface treatments and green areas will impact visually on the existing situation to the front of the walls. The proposal is not radically different from the existing situation, and is anticipated to be a positive impact and will be an improvement on the existing condition generally.

Physical Impact: It is proposed to remove the existing concrete path adjacent to the walls and grass this area. There is a risk of damage to the walls over the course of this work.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The rubblestone boundary wall should be retained and adequately protected as part of the works.





Reference 17

Open Drain

Location:

Parallel to street, as indicated below and on map

Categories of Interest:

Architectural.

Description:

17A Sections of open drain running to east side of Georges Street from King Street to Robert Street. This section is a replacement following the precedent of the original design, with small modern concrete paving slabs referencing the previous cobblestones. A cobblestone section does survive as previously described (reference 12A). There are some issues with accessibility, and a concrete section with metal railings bridges the open drain locally to allow for access across it.

17CB Sections of open drain running to east side of Georges Street from Robert Street to Edward Street. Concrete finish generally, with one small section of cobbles remaining (reference 12B). Concrete/ tarmac sections bridge the drain to allow for vehicular access to the houses.

17C Sections of open drain running to east side of Georges Street from Edward Street to Kings Square. Concrete finish to drain. There is a drain with a cut stone surround to the north end (reference 13).

17D Section of open drain running to west side of Georges Street from Robert Street to Edward Street. The original cobbles are visible, but are largely partially covered in cement. Concrete/ tarmac sections bridge the drain to allow for vehicular access to the houses/ tennis club.

17E Section of open drain running to west side of Georges Street from Kingston Close to Kings Square.

Impact of the proposal:

Visual Adjacencies: The drains are shown as retained in their existing locations generally, and extended towards the south of the street. Alterations to the detailing and surface treatment of the drains will have a visual impact.

Physical Impact: Works will be required to alter the drains as part of the proposal. Further detail will be required on this.

Recommended Mitigation Measures:

- While the majority of the drains have a concrete finish of limited value, where original cobbles are present these should be protected (see item 12).
- The selected finish of the drains should reference the original cobble finish throughout.



Reference 17A



Reference 17B



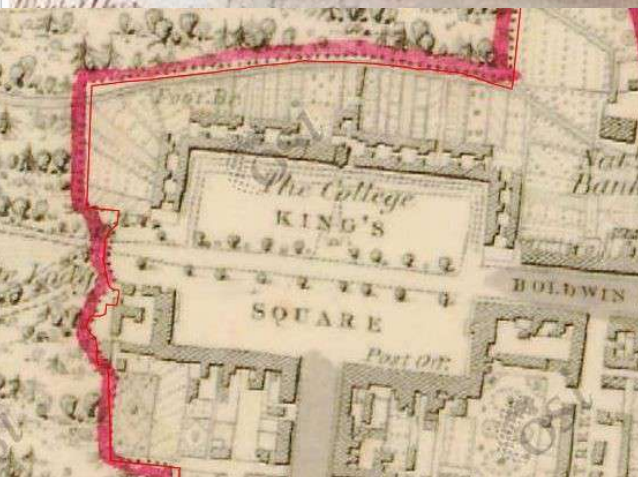
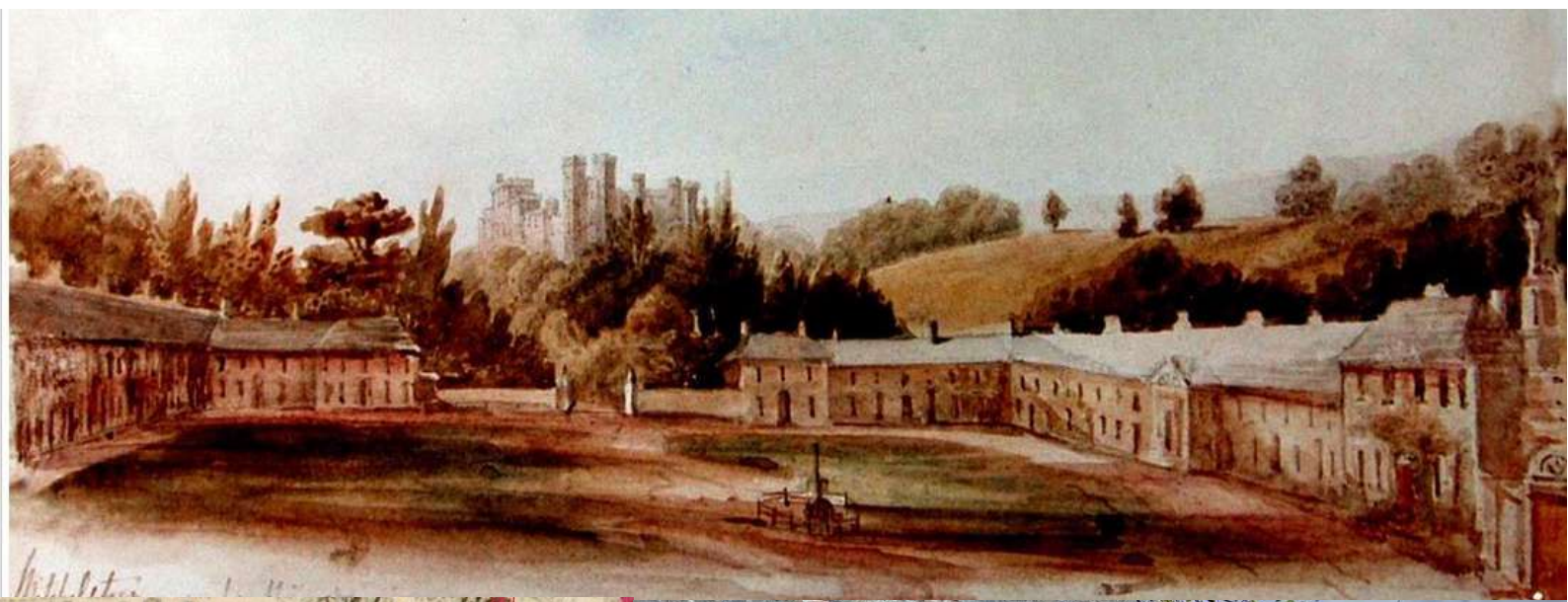
Reference 17C



Reference 17D



Reference 17E



Mitchelstown Georgian Quarter Architectural Inventory and Assessment

King's Square

Historical Overview

King's Square has an elegant and distinctly Georgian character. It is of a very high architectural and urban quality and is likely the best example of a Georgian town square in any rural town in Ireland. It was at the heart of the planned town, with the west side of the square providing access to the main entrance of the Mitchelstown demesne. A plaque to the corner of King Square and Georges Street dates the square to 1780. The square is subdivided laterally by a tree-lined mall which formed the principal access route to Mitchelstown Castle. An attractive drinking fountain is set at the mid point of this, surrounded by decorative iron railings. The edge of the square is well defined by the terraces of fine buildings, and the landscaping generally enhances the planned east-west vista.

The buildings are pitched roof two storey volumes. Kingston College is set to the lower northern end of the square. The southern portion of the square is occupied by private residences, most of which were likely originally occupied by retainers of the Kingston family. The Kingston Arms was a hotel located to the south-east corner of the square.

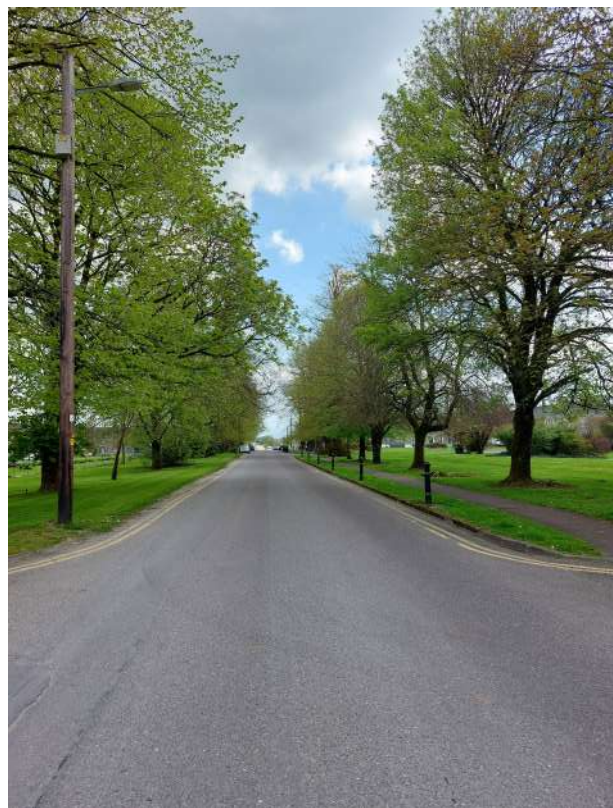
All of the buildings around King Square are included on the NIAH and are designated as Protected Structures. This includes the 31 dwellings currently found in Kingston College, Kingston College Chapel, the former Kingston Arms Hotel, and nos. 1 to 14 King's Square. In addition to this Kingston College is included in the RMP. The central water fountain and former entrance to Mitchelstown Castle are also both protected structures and listed on the NIAH. Finally, the square itself is included in the NIAH with the following assessment :

This park is an integral part of the King's Square scheme. It is a rare example of an eighteenth-century recreational space and is little changed since it was laid out, with the exception of the later fountain and railings.

The NIAH records King's Square as being of regional importance and Architectural and Social significance.



View of Kingston College to the north of the Square



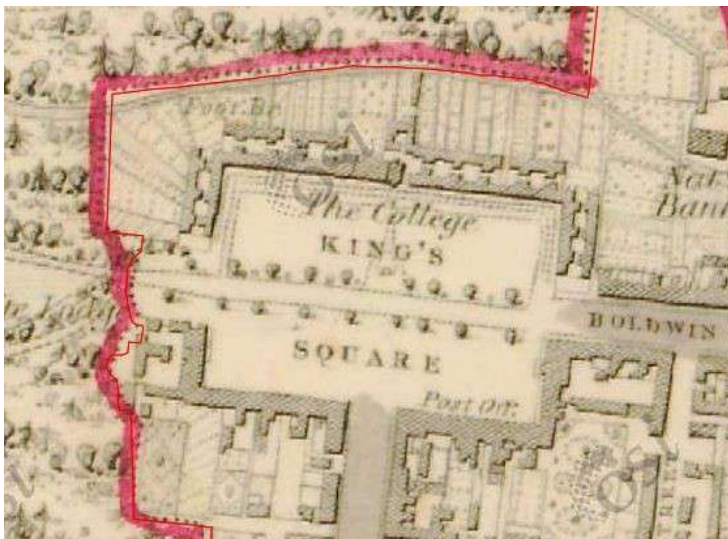
View down the mall

Historical Development

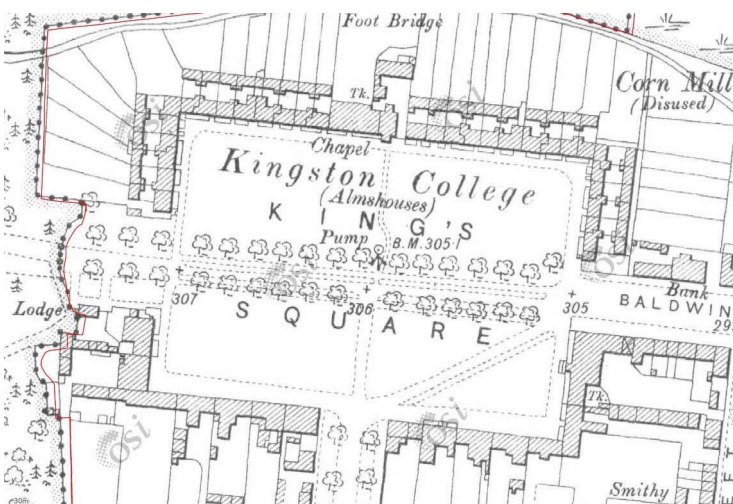
King's Square is a remarkably intact example of a rural Georgian Square. Few alterations have been made to the overall form and layout since its construction. The east-west tree-lined mall was the dominant landscape feature in the original plan, with the diagonal road from Georges Street to Baldwin Street being added sometime in the late 1800s or early 1900s. The woods of the Mitchelstown Castle demesne were located towards the north of the square, separated from the rear gardens of the houses by a rubblestone wall which ran alongside a stream.

King's Square is praised in Lewis' 1837 Topographical Dictionary as follows:

..a spacious and handsome square, the north side of which is occupied by the extensive buildings of Kingston College; on the east side is a large and handsome hotel, which contains a news-room, supported by subscription; and immediately opposite is the entrance to the demesne of Mitchelstown Castle...



King's Square—6" OSI Map, 1837-1842.



King's Square—25" OSI Map, 1888-1913.



King's Square—Contemporary OSI Map



*King's Square—Aerial image circa 2000,
© Bill Power*

Historical Development– Photographic Analysis

While the overall layout and character of the space has changed little from its Georgian design, the central space has been modified over the years to allow for different functions. Photographic and drawn evidence provides indications of these changing uses, as well as evidence that the built fabric and overall layout has changed little over the years. All images in this section are courtesy of Bill Power.



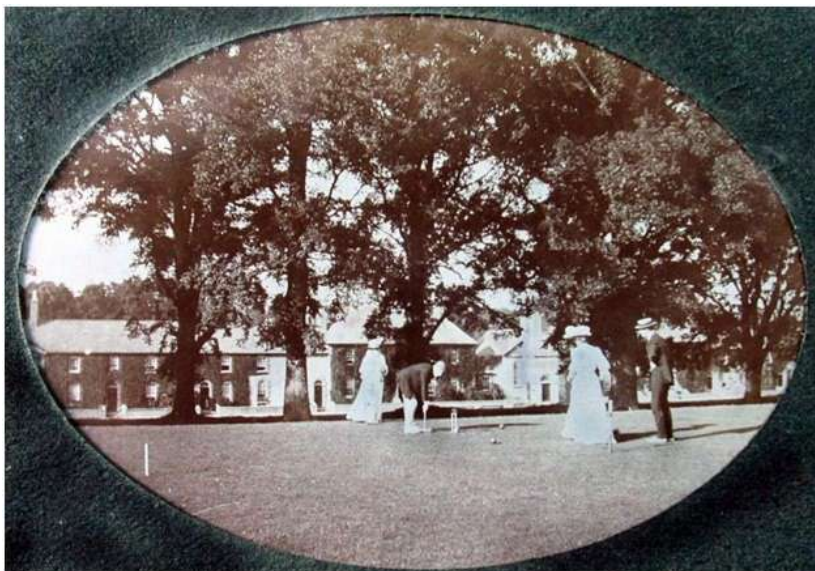
King's Square and Mitchelstown Castle, painted by the 1st Lord Bloomfield, 1836. It is not clear whether the omission of the tree lined mall is an accurate portrayal of the square, or due to artistic license. Note that a central fountain is visible, along with the piers to Mitchelstown castle (still intact today) and the castle itself behind.



King's Square Mall, circa 1900. The mall provided a pleasant, shaded walking space. The tree canopies are above eye level and there is open space to either side, allowing for views of the buildings at the edges of the square. This provided a very clear and well defined space.



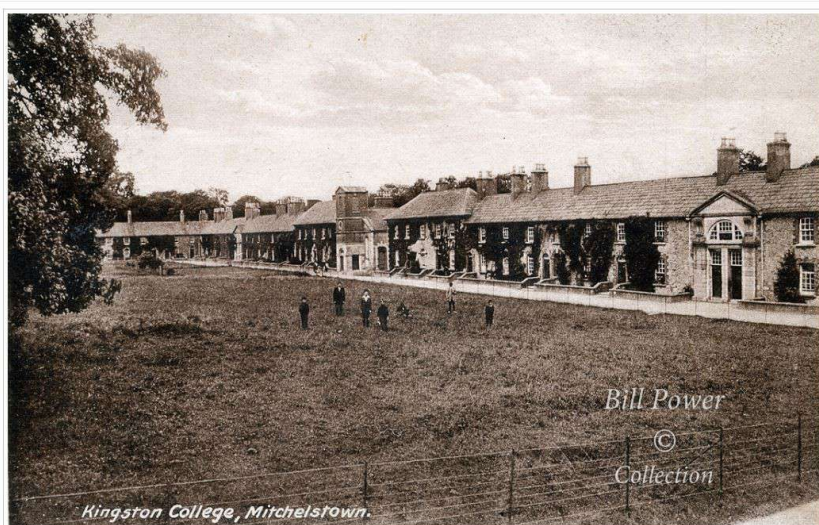
Tennis courts in the upper half of the square, circa 1900.



Croquet in the square, circa 1900



Tennis in the lower half of the square, circa 1900



Open green areas, circa 1900. Details below showing simple railing defining the edge of the green space, and elevation details of Kingston College.



Planting and play in the square, circa 1970.



Palette of Existing Materials



Overview of proposal and associated Impact

The proposed works at King's Square are relatively modest. The overall form of the square is retained as a simple, open green space and it is proposed to retain the existing trees along the east-west axis of the mall. The fountain is retained in situ at the heart of the square. The east-west tree-lined mall was the dominant landscape feature in the original Georgian plan, which had a symmetrical feel typical of the tastes of the time. The diagonal road from Georges Street to Baldwin Street was added sometime in the late 1800s or early 1900s. This existing diagonal road is to be retained in the proposal at the client's request. While this is not part of the original design it has been a part of the streetscape for a considerable period of time which mitigates the impact of the retention of this element.

The proposal retains the tree-lined east-west vista from Baldwin Street to the former Mitchelstown Castle entrance. Footpaths are proposed to either side of the existing road, although these paths do not extend to the full length of the mall in the current plan provided. In some sections they are separated from the carriageway by grass verges which is largely in keeping with the original character of this space and historic photographs of the space, while in others they are directly aligned with the carriageway. The north-south vista is also maintained, with few alterations being proposed to the existing situation. The fountain is retained along this axis.

It is proposed to install a simple chain fence to the edge of the square. This will serve to define the edge of the space while still retaining the open feel of the square and the proposal is thought to be appropriate to the historic context of the square. The proposed resurfacing of the paths and roads will have very limited impact as very little of the original fabric to these areas remains. Care should be taken to ensure that no walls of existing buildings are damaged when undertaking this works, and that existing railings, boundary walls, and stone thresholds and steps in the area are adequately protected. Care should also be taken to select finishes in keeping with this historical context.

The simple landscaping of the square allows for a variety of potential functions and the open, green character is in keeping with the historic character of the space.



Initial Sketch Proposal © REDscape

Mitchelstown Georgian Quarter Architectural Inventory and Assessment
King's Square —Schedule of Historic Fabric and Architectural Impact
Assessment of Proposed Works.

Reference I (1-31)

Kingston College

Location:

Northern (lower) end of King's Square

Categories of Interest:

Architectural, Artistic, Historical, Social

Description:

Kingston College was built during the 1760s and 70s at the request of James, the fourth Baron of Kingston. They were built as a series of alms-houses to be occupied by 'poor Gentlemen and Gentlewomen members of the Church of Ireland'. Lord Kingston endowed the project with £25,000 to build the houses with a chapel at the centre.

In 1771 an elevation of a building 'proposed for an alms-houses intended to be built at Mitchelstown...for reduced gentlemen and gentlewomen.' was exhibited by the architect Francis Sandys in Dublin. The design then seems to have been undertaken by Middleton architect John Morrison, the father and grandfather of the better-known Richard and William Vitruvius Morrison, who was in turn dismissed in favour of Dublin architect Oliver Grace. (Dictionary of Irish Architects).

Advertisements seeking applications for residents for the College were placed in newspapers in January 1782, almost two decades after the commencement of the works (Evensong pg. 19). The original design for the College consisted of fewer houses (which have since been subdivided) with a central chapel. Beneath the chapel is the burial vault of the King family. Sources on the original number of houses differ, some stating 16 were included in the original design and others 22-24. These houses varied in size. In 1784, the cupola from the chapel was removed and two years later a new steeple with a clock and bell tower was erected (Evensong pg.21). Kingston College is recorded in Lewis' Topographical Dictionary of Ireland (1837) as follows:





Kingston College, a handsome and extensive range of building, was partly erected during the lifetime of its founder, James, Lord Kingston, who endowed it with £25,000, to be vested in trustees, consisting of the Archbishop of Cashel and the Bishops of Cloyne, Waterford, and Limerick, to be appropriated, after the completion of the buildings, to the maintenance of a chaplain, 12 poor gentlemen, and 18 poor gentlewomen, with preference to such as have been tenants on the Kingston estates.

The chaplain, whose duty it is to read morning and evening prayers daily, to preach a sermon every Sunday morning, and to administer the sacrament at Easter, Whitsuntide, and Christmas, has a stipend of £120, with a house and garden; and the inmates, who must be members of the Established Church, receive each £40 per annum, and have a house and garden between every two. The buildings consist of 16 dwelling-houses, with a chapel in the centre

The houses were subdivided in the 1890s, and there are now 31 dwellings incorporated in the complex. There is external evidence of the subdivision, and the overall character of the building is shaped by the impression of changing use over time and a patina of age. The buildings are two storey over basement houses with pitched slate roofs with hips to the ends. There are low rendered walls, sometimes topped by iron railings, several feet from the front of the buildings, access to which is often gained by a couple of steps and a small bridge.



The walls are rendered coursed stone with red brick detailing around the windows. The houses include fine detailing such as stone quoins, round topped blind brick niches, brick window-cases filled in with rubble, timber sliding sash windows, and timber panel front doors. While some joinery appears to consist of replacement sections, much of the joinery appears to be original. The middle of the ranges to the east and west of the chapel are broken by the incorporation of two-storey pedimented stone breakfronts with piers topped by corbels and a Diocletian window below the pediment: the lower section is then split to provide admission to two houses. The houses to either side of the chapel incorporate cut limestone Gibbsian doorcases, and the one to the east has been subdivided to form a window.



Kingston college is centred around the chapel, a pedimented building with projecting three stage entrance tower. Walls to the tower are lined and ruled on the upper levels and cut tooled limestone walls to lowest stage. There is a clock to the middle stage and louvered arched headed opening with keystone details above. The tower incorporates cut limestone string courses to each of the stages. There is a weather vane to the top of the tower. The tower is flanked by a slightly recessed gables to the east and west which have coursed stone walls with carved limestone eaves and string course and a round headed window opening with brick detailing. There is a segmental-headed carriage arch opening to the east with cut limestone voussoirs and jambs and moulded limestone parapet above.



There are cut limestone steps up to the chapel to ground floor level, with a square-headed door opening to tower with cut limestone surround, projecting keystone, spoked timber fanlight and double-leaf timber panelled doors. There are secondary timber doors to either side of the tower, facing east and west. The Kingston Vault, in the crypt underneath the chapel, is the final resting place of members of the King (Earls of Kingston) family.

Today the buildings are still held in trust, although residency is now open to people of all ages and faiths. The chapel and the college are part of the wider neo-classical planned town and are a key focal point in its layout. This is evident in the location of the parish church, St George's, being exactly opposite the chapel at the south end of George's Street, with George's street itself forming a vista between these two buildings.

Record of Protected Structures ID Numbers & NIAH References:

No 1: RPS ID 113/ NIAH Reference: 20818007

No 2: RPS ID 114/ NIAH Reference: 20818008

No 3: RPS ID 115/ NIAH Reference: 20818009

No 4: RPS ID 116 NIAH Reference: 20818010

No 5: RPS ID 117/ NIAH Reference: 20818011

No 6: RPS ID 118/ NIAH Reference: 20818012

No 7: RPS ID 119/ NIAH Reference: 20818013

No 8: RPS ID 120/ NIAH Reference: 20818014

No 9: RPS ID 121 / NIAH Reference: 20818015

No 10: RPS ID 122/ NIAH Reference: 20818016

No 11: RPS ID 123/ NIAH Reference: 20818017

No 12: RPS ID 124/ NIAH Reference: 20818018

No 13: RPS ID 125/ NIAH Reference: 20818019

No 14: RPS ID 126/ NIAH Reference: 20818020

No 15: RPS ID 127/ NIAH Reference: 20818021

Chapel: RPS ID 144 / NIAH Reference: 20818022

RMP: CO-019-105

No 16: RPS ID 128/ NIAH Reference: 20818023

No 17: RPS ID 129/ NIAH Reference: 20818024

No 18: RPS ID 130/ NIAH Reference: 20818025

No 19: RPS ID 131/ NIAH Reference: 20818026

No 20: RPS ID 132 / NIAH Reference: 20818027



Kingston College (map reference I)

Record of Protected Structures ID Numbers & NIAH References cont.:

No 21: RPS ID 133 / NIAH Reference: 20818028

No 22: RPS ID 134 / NIAH Reference: 20818029

No 23: RPS ID 135/ NIAH Reference: 20818030

No 24: RPS ID 136 / NIAH Reference: 20818031

No 25: RPS ID 137 / NIAH Reference: 20818032

No 26: RPS ID 138/ NIAH Reference: 20818033

No 27: RPS ID 139/ NIAH Reference: 20818034

No 28: RPS ID 140/ NIAH Reference: 20818035

No 29: RPS ID 141 / NIAH Reference: 20818036

No 30: RPS ID 142 / NIAH Reference: 20818037

No 31: RPS ID 143/ NIAH Reference: 20818038



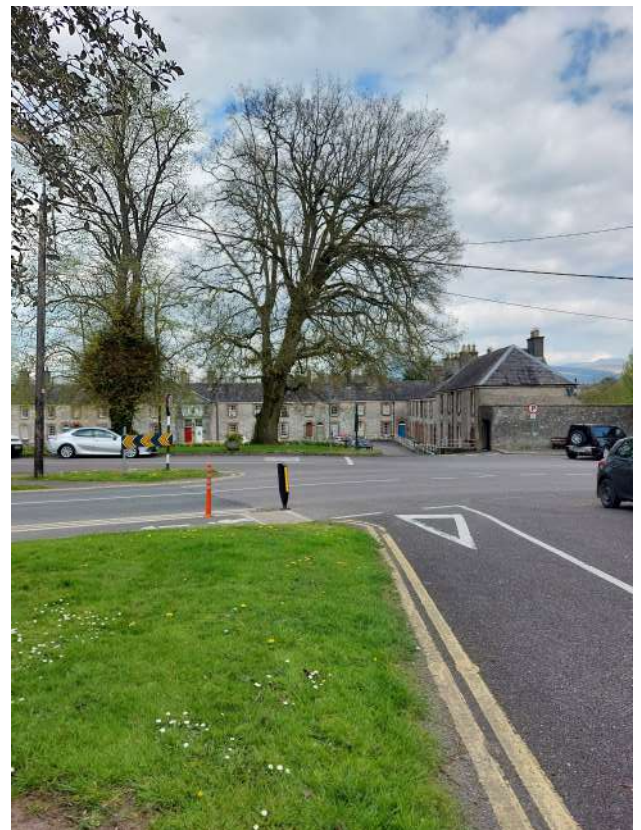
Reference I

Kingston College

Impact of the proposal:

Visual Adjacencies: In general the proposed works have a limited visual impact on the buildings of Kingston College. The north-south vista from George's street terminating in the chapel is maintained as part of the works. It is not proposed to build any new structures or plant any new trees which would alter the existing views in the square, with the existing square being maintained as an open green space.

The existing pathways and paving adjacent to the houses of Kingston College consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to its historic location being selected.



Physical Impact: The new surface treatments will be laid adjacent to the historic walls, railings, steps and thresholds of Kingston College.

Recommended Mitigation Measures:

- Care should be taken to ensure that no walls are damaged when undertaking the paving works and that existing historic fabric (historic walls, railings, steps and thresholds) are adequately protected
- It is proposed that the existing mature trees be retained, and a maintenance plan for these would be beneficial to ensure that the tree canopy is maintained at a height to allow for views of the buildings of Kingston College from the square.



West Side of Square, Nos 1—6



North side of square, nos 7-15



North side of square, Kingston Chapel and nos 16-18



North side of square, nos 19-26



East side of square, nos 27-31



Reference J

Former Kingston Arms Hotel

Location:

To the south-east of King's Square, adjacent to Baldwin Street

Categories of Interest:

Architectural, Historical, Social

Description:

The building was erected in around 1780-1800 . It occupies a prominent site, at the corner to Baldwin Street. The building is two storey pitched roof volume with a hipped end to Baldwin Street. It has a nine-bay elevation with projecting ashlar limestone flat-roofed porch facing onto King's Square. The walls are coursed rubble limestone with cut tooled limestone quoins to the north-west corner and a limestone coping. Window openings are square-headed throughout with brick surrounds, limestone cills, and replacement uPVC windows. Diminishing limestone steps project out onto the road (reference 18A on plan) and lead up to the porch area. This is an open space with a segmental-headed outer opening. Inside of this is a double leaf cast iron gate, with a replacement panelled timber door into the building. The building is referenced in Lewis' 1837 Topographical Dictionary as follows:

..a spacious and handsome square... on the east side is a large and handsome hotel, which contains a news-room, supported by subscription

The NIAH appraisal of the building reads as follows:

This fine imposing building appears to be a later addition to King's Square. It exhibits fine craftsmanship in the stonework, particularly in the ashlar limestone porch and the retention of original features such as the timber battened carriage arch doors add character to the building and the streetscape.

In 1940 it was converted into offices and its outbuildings were converted for butter and cheese making (Cork County Council, Mitchelstown Historic Town Map). It appears to be in use as a house today.

Record of Protected Structures ID No: 1354

NIAH Reference: 20818054

Reference J

Former Kingston Arms Hotel

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be directly against the existing historic fabric, and there is a risk of damage to the boundary wall/ steps.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The limestone steps to the building should be retained and adequately protected as part of these works, along with the rubblestone boundary wall.





Reference K

No. 2 King's Square

Location:

To south-east corner of King's Square

Categories of Interest:

Architectural, Historical

Description: This building consists of a terraced five-bay two-storey over basement house, built circa 1780. It has a pitched artificial slate roof with skylights indicating attic accommodation, brick chimneystacks, terracotta chimneypots and ridge tiles, and rendered parapet. Walls are roughcast render, with painted rendered walls to basement. There are quoins to the north of the building, adjoining the former Kingston Hotel. Window openings are square-headed throughout with chamfered render surrounds and painted stone cills. Windows are replacement uPVC. The front door is a round-headed opening with painted stone pilaster and moulded cornice detail. There is a round, traceried fanlight above with moulded render surround with key stone details. The door is timber panel with limestone steps up to ground level. There is a retaining wall to the space in front of the basement, with painted render walls to the street with stone cappings.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, despite recent refenestration, in the fine door surround, timber panelled door and traceried fanlight.

Record of Protected Structures ID No: 146

NIAH Reference: 20818053

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be directly against the existing historic fabric, and there is a risk of damage to the boundary wall/ steps.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.





Reference L

No 03. King's Square.

Location:

To south edge of King's Square, towards the east corner.

Categories of Interest:

Architectural, Historical

Description:

A part of a terrace of 5 dwellings to the south side of King's Square dating to around 1780. All the dwellings consist of two storey dwellings with pitched slate roofs and five-bay front elevations. The walls of No. 03 have a roughcast render finish with quoin detailing to either end. The windows are square-headed openings with moulded render surrounds. Windows are two-over-two timber sliding sash windows. There is a round-headed door opening with channelled stone pilasters and moulded render heads and surround to fanlight. The fanlight is a plain single pane with a timber panelled door below. There are decorative iron railing to the front of the house, and a stone threshold to the front door.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, despite recent refenestration, in its fine door surround, timber panelled door and timber sash windows.

Record of Protected Structures ID No: 147

NIAH Reference: 20818052

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference M

No 04. King's Square.

Location:

To south edge of King's Square, towards the east corner.

Categories of Interest:

Architectural, Historical

Description:

A part of a terrace of 5 dwellings to the south side of King's Square dating to around 1780. All the dwellings consist of two storey dwellings with pitched slate roofs and five-bay front elevations. The walls of No. 04 have a render finish. The windows are square-headed openings with painted moulded render surrounds. Windows are recently installed six-over-six timber sliding sash windows. There is a round-headed door opening with painted stone pilasters and moulded render heads and surround to fanlight with key-stone detail to the top. The fanlight is a plain single pane with a timber panelled door below. There are decorative iron railings to the front of the house, and a stone threshold to the front door.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, despite recent refenestration, and has a fine surround with a timber panelled door.

(note that windows were uPVC at the time of the NIAH record of this building).

Record of Protected Structures ID No: 148

NIAH Reference: 20818051

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference N

No 05. King's Square.

Location:

To south edge of King's Square, towards the east corner.

Categories of Interest:

Architectural, Historical

Description:

A part of a terrace of 5 dwellings to the south side of King's Square dating to around 1780. All the dwellings consist of two storey dwellings with pitched slate roofs and five-bay front elevations. The walls of No. 05 have a render finish. The windows are square-headed openings with plain render surrounds. Windows are uPCV with painted stone cills. There is a round-headed door surround with painted channelled pilasters with plinths, moulded cornice and keystone, timber panelled door and traceried fanlight. There is a panelled timber door. There are decorative iron railings to the front of the house, and a stone threshold to the front door.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, despite recent refenestration, and has a fine limestone door surround with timber panelled door.

Record of Protected Structures ID No: 149

NIAH Reference: 20818050

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference O

No 06. King's Square.

Location:

To south edge of King's square, towards the east corner.

Categories of Interest:

Architectural, Historical

Description:

A part of a terrace of 5 dwellings to the south side of King's Square dating to around 1780. All the dwellings consist of two storey dwellings with pitched slate roofs and five-bay front elevations. The walls of No. 06 have a roughcast render finish covered in climbing vines. The windows are square-headed openings with plain render surrounds. Windows are one-over-one timber sliding sash windows with limestone cills. There is a round-headed door opening with moulded render inner and outer surrounds which have pilasters and an archivolt with chevron decoration, foliate consoles, decorative capitals, and rusticated keystone. There is a panelled door and fanlight. There is a large limestone flag to the front of the doorway. There are cast-iron railings to front of house, with small square-plan cast-iron piers.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, in its decorative render surround, timber panelled door and timber sliding sash windows.

Record of Protected Structures ID No: 150

NIAH Reference: 20818049

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference P

No 07. King's Square.

Location:

To south edge of King's square, towards the east corner.

Categories of Interest:

Architectural, Historical, Social.

Description:

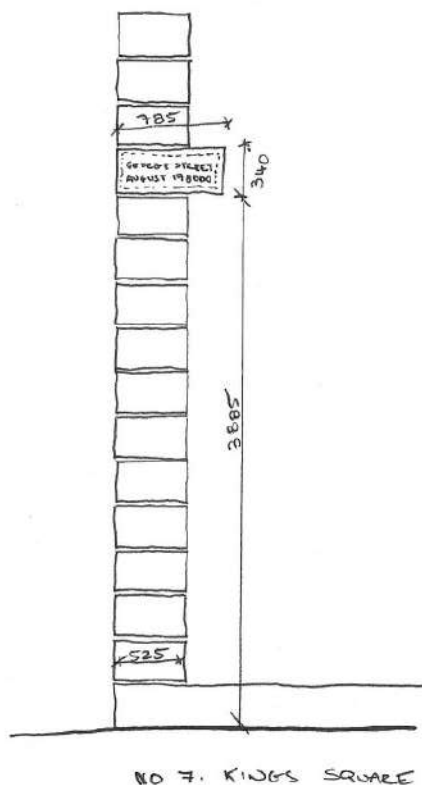
A part of a terrace of 5 dwellings to the south side of King's Square dating to around 1780. All the dwellings consist of two storey dwellings with pitched slate roofs and five-bay front elevations. This building has a prominent position in the streetscape, turning the corner between King's Square and George's Street. There is a hip to the gable end of No.7, facing Georges Street. The walls of No. 07 have a painted render finish with quoin detailing to either end. The windows are square-headed openings with simple render surrounds. Windows are uPVC with painted stone cills. There is a round-headed door opening with painted channelled limestone pilasters which have plinths, moulded imposts and an archivolt. There is a panelled door and spoken timber fanlight. There are no railings to the front of this house. There is a stone-nameplate to the north-west corner of the building reading 'George Street August 1780' facing west and 'Kings Square August 1780' facing north (reference 14B on plan). A plaque to the north of the building identifies it as a meeting place for the Grand Lodge, the oldest warranted lodge of freemasonry in Ireland. This house was used as their meeting place during the early 1800s.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, in the limestone door surround and timber panelled door. The limestone street name plaque, with date, adds context and further significance.

Record of Protected Structures ID No: 151

NIAH Reference: 20818048



Reference P

No 07. King's Square.

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

The proposed works to Georges Street will also have an impact on this building. The proposed pathway configuration should take the side entrance to this building into account.

Note: No impact is anticipated to the limestone plaque on the building's façade.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Limestone plaque reference 14b



Reference Q

No 08. King's Square.

Location:

To south edge of King's Square, towards the west corner.

Categories of Interest:

Architectural, Historical.

Description:

A part of a terrace of 5 dwellings of varying design to the south side of King's Square dating to around 1780. No 08 is a two storey dwelling with pitched slate roofs with a hip to the gable, facing George's Street. This building has a prominent position in the streetscape, turning the corner between King's Square and George's Street. The front elevation is a five-bay elevation. Walls are rendered. The window opening are square-headed with plain render reveals. Windows are two-over-two sliding sash windows. with channelled limestone pilasters with plinths, moulded imposts, moulded archivolt, fanlight and carved timber panelled door. Cast-iron gate railings and double-leaf gates with square-plan chamfered cast-iron piers to site. The Pillar to the corner has the maker's name: Kennan & Sons, Dublin.

There is a stone-nameplate to the north-east corner of the building reading 'Kings Square 1780' facing north (reference 14C on plan). There is a lower return to the rear, with a window and door facing onto Georges Street. The window is a two-over two timber sliding sash window set in a square headed opening with painted brick block-and-start surround. The door has a painted round-headed brick block-and-start surround with timber panelled door and fanlight.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, in the timber sliding sash windows and timber panelled doors.

Record of Protected Structures ID No: 152

NIAH Reference: 20818047





Reference Q

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

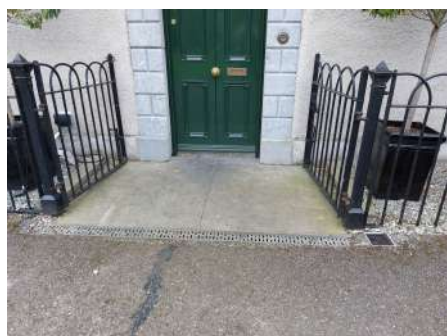
Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

The proposed works to Georges Street will also have an impact on this building. The proposed pathway configuration should take the side entrance to this building into account.

Note: No impact is anticipated to the limestone plaque on the building's façade.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference R

No 09 King's Square.

Location:

To south edge of King's Square, towards the west corner.

Categories of Interest:

Architectural, Historical.

Description:

A part of a terrace of 5 dwellings of varying design to the south side of King's Square dating to around 1780. No 09 is a two storey dwelling with pitched slate roofs with roof lights indicating attic accommodation. Ridge height is higher than No. 08. The front elevation is a five-bay elevation. Walls are rendered with a moulded render eaves course. The window openings are square-headed with simple moulded render surrounds and limestone cills. Windows are recent two-over-two sliding sash windows. There is a round-headed door opening with channelled limestone pilasters with plinths and moulded archivolts with keystone, moulded cornice, carved timber panelled door having fanlight. There are cast-iron railings to front of house, with double-leaf gate having square-profile chamfered cast-iron piers with moulded capitals. There is a large stone threshold to the front door.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, in the timber sliding sash windows and timber panelled doors.

Record of Protected Structures ID No: 153

NIAH Reference: 20818046

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference S

No 10 King's Square.

Location:

To south edge of King's Square, towards the west corner.

Categories of Interest:

Architectural, Historical.

Description:

A part of a terrace of 5 dwellings of varying design to the south side of King's Square dating to around 1780. No. 10 is a two storey dwelling with pitched slate roof with an additional dormer level. There are three gabled ended dormers with timber bargeboards. The front elevation is a five-bay elevation. Walls are roughcast render with metal pattress plates. Cast-iron down pipe present. The window openings are square-headed with plain render reveals and painted limestone cills. Windows are replacement uPVC. There is a round-headed door opening with painted channelled limestone pilasters with plinths, dropped keystone, moulded cornice, timber panelled door and spoked fanlight, with limestone threshold. There are cast-iron railings to front of house with double-leaf gate having square-profile chamfered cast-iron piers with moulded capitals.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, despite recent refenestration, in the timber panelled door and limestone doorcase.

Record of Protected Structures ID No: 154

NIAH Reference: 20818045

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in close proximity to existing historic fabric, and there is a risk of damage to the railings/ stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.





Reference T

No 11 King's Square.

Location:

To south edge of King's Square, towards the west corner.

Categories of Interest:

Architectural, Historical.

Description:

A part of a terrace of 5 dwellings of varying design to the south side of King's Square dating to around 1780. No. 11 is a two storey dwelling with pitched slate roof. It has a lower ridge height than no. 10. The front elevation is a five-bay elevation. Walls are roughcast render. The window openings are square-headed with plain painted render reveals and limestone cills. Windows are two-over-two sliding sash windows. There is a round-headed door opening with timber panelled door, traceried fanlight and limestone threshold. The door opening has a painted render surround with block-and-start to jambs. There is no railing in front of this house.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its original character and charm, in the timber panelled door and timber sliding sash windows.

Record of Protected Structures ID No: 155

NIAH Reference: 20818044

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the walls/ stone threshold.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works. Drainage should also be considered to prevent possible water ponding adjacent to the building edge.





Reference U

No 12 King's Square.

Location:

To south edge of King's Square, towards the west corner.

Categories of Interest:

Architectural, Historical.

Description:

A part of a terrace of 5 dwellings of varying design to the south side of King's Square dating to around 1780. No. 12 is a two storey dwelling with pitched slate roof. The front elevation is a three-bay elevation. Walls are roughcast render with a limestone eaves course and render plinth. The window openings are camber-headed with tripartite timber sliding sash windows, six-over-six pane to first floor and one-over-one pane to ground floor. There is a round-headed cut limestone block-and-start doorcase having triple keystone, moulded cornice, timber panelled door with spoked fanlight and limestone threshold with boot-scape.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its early character and charm, in the limestone doorcase with its fine timber panelled door, and the varied tripartite timber sash windows.

Record of Protected Structures ID No: 156

NIAH Reference: 208180443

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the walls/ stone threshold.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works. Drainage should also be considered to prevent possible water ponding adjacent to the building edge.



Reference V

No 13 King's Square.

Location:

To west edge of King's Square, towards the south-west corner.

Categories of Interest:

Architectural, Historical.

Description: A terraced dwelling occupying the south-west corner of King's Square dating to around 1780. No. 13 is a two storey dwelling with pitched slate roof and cast iron rainwater goods. The front elevation is a five-bay elevation. Walls are render with a render plinth and quoin detailing. The window openings are square headed with moulded render surrounds and painted limestone cills. Windows are one-over-one timber sliding sashes. There is a round-headed door opening with moulded render surround, with inset render doorcase comprising engaged fluted Ionic-style columns with plinths and floral friezes and moulded cornice, surmounted by ornate petal fanlight, and having decoratively-carved timber panelled door. There is a limestone threshold to the front door. No railings are present to this house.

The NIAH appraisal of the building reads as follows (note that uPVC windows were replaced with timber ones since the time of the NIAH report).

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its early character and charm, in the timber panelled door, some timber sliding sash windows, and in particular its fine render doorcase and carved timber door.

Record of Protected Structures ID No: 157

NIAH Reference: 208180442

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway and concrete paving strip. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the walls/ stone threshold.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works. Drainage should also be considered to prevent possible water ponding adjacent to the building edge.



Reference W

No 14 King's Square.

Location:

To west edge of King's Square, adjoining former castle entrance.

Categories of Interest:

Architectural, Historical, Social.

Description:

An attached two-storey over basement house dating to around 1780. No. 14 has a hipped slate roof with rendered chimneystacks. The front elevation is a five-bay elevation with central doorway. There is an additional porch and doorway to the north gable, along with a window opening to this side. There is a rooflight in the hipped roof facing north.

Walls are roughcast render with chamfered limestone quoins, a limestone eaves course, a limestone platband below eaves, and a limestone plinth course. Window openings are square headed with moulded render surrounds and limestone cills. Windows are uPVC replacements to the upper stories, with six-over-six timber sliding sash windows being present to basement level. There is a round-headed carved limestone Gibbsian doorcase with triple keystone, timber panelled door and replacement fanlight. There is a flight of limestone steps up to ground floor level. There are cast-iron railings to site on limestone plinths to the front elevation.

There is a pedimented timber doorcase to the projecting north facing porch,. This has a double-leaf timber panelled door surmounted by cobweb fanlight, flanked by engaged columns with limestone plinths, moulded capitals and caps above with triglyphs, surmounted by open-bed pediment,. It is approached by flight of splaying limestone steps with rendered parapets which have limestone copings.

Adjacent to the north elevation of the house is a single storey rubblestone wall of unknown date with former pointed arch openings





Reference W

No 14 King's Square.

The NIAH appraisal of the building reads as follows:

This fine Georgian terrace was built in 1780 as part of the planned town by the Earl of Kingston for his retainers, and incorporates many typical neo-classical features of the period, such as symmetry and fanlights. This house has retained much of its early character and charm, in the fine limestone doorcase with its timber panelled door, and the surviving timber sliding sash windows. The house was once inhabited by the rent collector for the estate of the Earl of Kingston, and tenants would pay rent at this house, using the projecting porch entrance.

Record of Protected Structures ID No: 158

NIAH Reference: 208180441

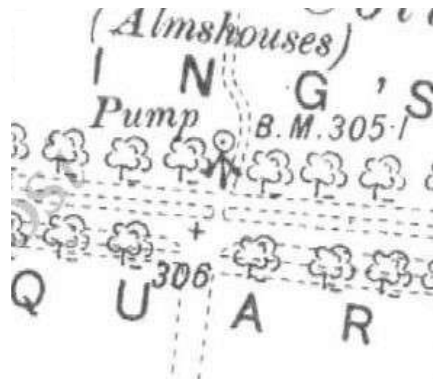
Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consists of a plain tarmac roadway. The introduction of a new surface treatment will be an improvement visually on the existing situation, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building railings/ basement and there is a risk of damage to the limestone steps/ railings

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The boundary treatments should be retained and adequately protected as part of the works.



Reference X

Drinking Fountain

Location:

Centrally in King's Square

Categories of Interest:

Architectural, Social, Technical

Description:

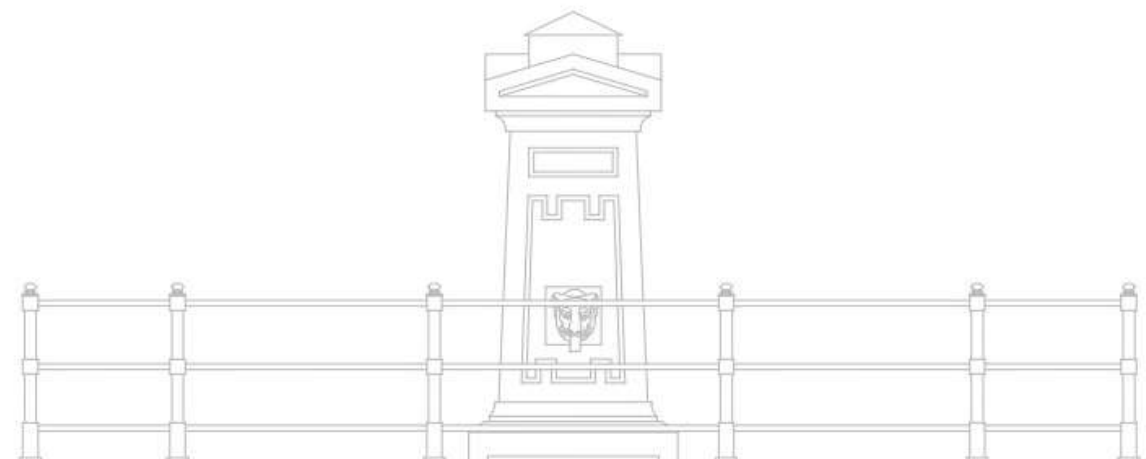
A drinking fountain originally built c. 1825. The fountain seems to have occupied a prominent position in the square since it was first laid out. It occupied a prominent position along the north-south axis, directly aligned with the chapel of Kingston College. The current fountain is a freestanding cast iron fountain with a painted obelisk on limestone plinth. It has a moulded base and high relief panel detailing to faces and cap with moulded base and which have cast-iron top with pediments to each face. Lion mask spouts and U-plan limestone troughs to north and south elevations, set in flagstone paving. There is a circular boundary to fountain comprising painted cast-iron railings on dressed limestone plinth. The fountain is stamped 'Hive Iron Foundry Maker Cork'.

The NIAH Appraisal reads as follows:

According to Lewis 'a water pump of superior construction' located in King Square 'worked by machinery and enclosed with an iron railing, was erected by the Earl of Kingston in 1825'. The pump once performed an important social function for the residents of King Square and Kingston College, although today it serves a more aesthetic purpose. Its location in the centre of the square opposite the church further enhances the symmetry of the square, and as such is an integral part of the King's Square complex.

Record of Protected Structures ID No: 1353

NIAH Reference: 20818039





Reference X

Drinking Fountain

Impact of the proposal:

Visual Adjacencies: The fountain will retain its position in the square, aligned on the north-south axis in front of the chapel of Kingston College. None of the proposed works will have a significant visual impact on the fountain itself, with the proposed landscaping consisting of simple green areas which will allow for views to and from the fountain.

The proposal appears to show the railings around the fountain removed which have a significant visual impact and cannot be recommended from a conservation perspective.

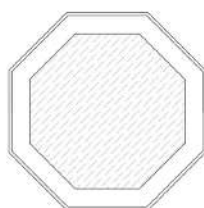
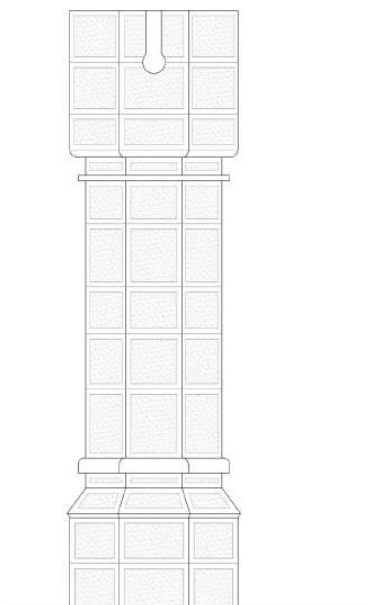
Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the fountain and there is a risk of damage to the original building fabric.

The possible removal of the railings would have a significant physical impact and cannot be recommended from a conservation perspective.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The fountain and railing should be retained and adequately protected as part of the works.
- A more detailed proposal should be put forward for this area to ensure that the design is appropriate to this historic context in due course, including clarification regarding the railings.





Reference Y

Former entrance to Mitchelstown Castle and demesne

Location:

To west end of the central mall.

Categories of Interest:

Architectural, Historical, Historical.

Description:

A pair of Gothic Revival octagonal-plan castellated gate piers, built c. 1825, of ashlar limestone construction. They have a moulded plinth course and castellated caps, and set in remains of cut tooled limestone walls.

The NIAH Appraisal reads as follows:

This monumental Gothic Revival gateway exhibits fine craftsmanship and forms a grand entrance to the former site of the Mitchelstown Castle, which was once home to the Earls of Kingston and was destroyed by fire in 1922.

Record of Protected Structures ID No: 1078

NIAH Reference: 20818006

Impact of the proposal:

Note: this area falls outside the boundary of the site, although it is noted in the design that it could be the area for an art projection

Visual Adjacencies: The existing tree-lined east-west vista will be maintained and the piers will continue to book-end this view. No significant visual impact is anticipated. An art projection would of course have a visual impact, but a carefully planned one could enhance the space.

Physical Impact: None anticipated.



Reference 1Q

Limestone kerb with cobbles

Location:

To south-west of square, in front of No. 2.

Categories of Interest:

Historical

Description:

A small section of intact fragmented limestone kerbing with cobblestones adjacent to it.

Impact of the proposal:

This item is not indicated on the proposed drawings.

Recommended Mitigation Measures:

- It would be preferable from a conservation perspective to retain this section of paving in situ as a record of what may have been here before.





Mitchelstown Georgian Quarter Architectural Inventory and Assessment

New Market Square

Overview

New Market Square is at the heart of Mitchelstown, appropriate to a town with market origins. It faces onto Cork Street and is a large open space well defined by two and three storey buildings to its edges, which are a mixture of commercial and residential buildings present. The square slopes relatively steeply up towards the west. It formed a key component at the heart of the planned town and is set up with a strong east-west axis which focuses on King Street to the west and the market house to the east, above which sits the catholic church nestled in the backdrop of the Galtee hills. The Mandeville statue, dating from 1906 is also set on this axis. The perimeter of the square is occupied by roads, and a significant portion of the space today is devoted to car-parking, with the car being the dominant feature of the space today.

The buildings to the north are generally two stories, interspersed by a small number of three storey buildings, and the terrace has an attractive stepped quality as it works its way down the slope. There are no buildings included on the RPS or NIAH to this side of the square. However, the area is part of an Architectural Conservation Area and the overall form and layout of the buildings is of historic value.

The south side does not mirror the north, with a more continuous ridge line found here and the buildings being larger, three storey volumes generally. The building to the corner onto Cork Street is recorded on the NIAH and the shopfront is included on the RPS. Clongibbon House is a strong influence on the square, with its parapet detailing standing out from the simple eaves details found elsewhere. This building, along with the one adjoining it to the west, incorporates render detailing which add texture and interest to the streetscape. There is a gated gap in the south side of the square which has been present since the early edition of the OSI maps.



North (top) and South (bottom) street elevations of New Market Square from 1984 Heritage Plan

Overview

The upper side of the square (west) is bisected centrally by King Street. It has a terrace of rough stone buildings with brick detailing to towards the south, which contrast with the render buildings found elsewhere on the square. This is an attractive terrace, with the building towards the south corner (formerly Kingston Hall Orphanage) being included on the RPS and the one adjoining King Street (no 1. King St) included on the RPS and NIAH.

The lower side of the square is separated from the main open space by Cork Street. It has the central market / court house, to the north of which are three buildings of high architectural value, each with distinct characters which add interest to the streetscape. These four buildings are included on the NIAH and RPS, with the market /court house also being included on the RMP. There is a SuperValu to the south of the market house which is relatively modern. Behind this street elevation is a backdrop of trees and rising ground up to the catholic church.

New Market Square has been the commercial and social heart of Mitchelstown for the past 200 years. It has also been the site of events of historic significance, most notably the site of demonstrations in the lead up to the Mitchelstown Massacre. A market continues to be held in the space every Thursday, an essential feature of life in Mitchelstown an integral part of the square.



West side of square- street elevation of New Market Square from 1984 Heritage Plan



Current views of New Market Square. Photo to left taken on market day in the square.

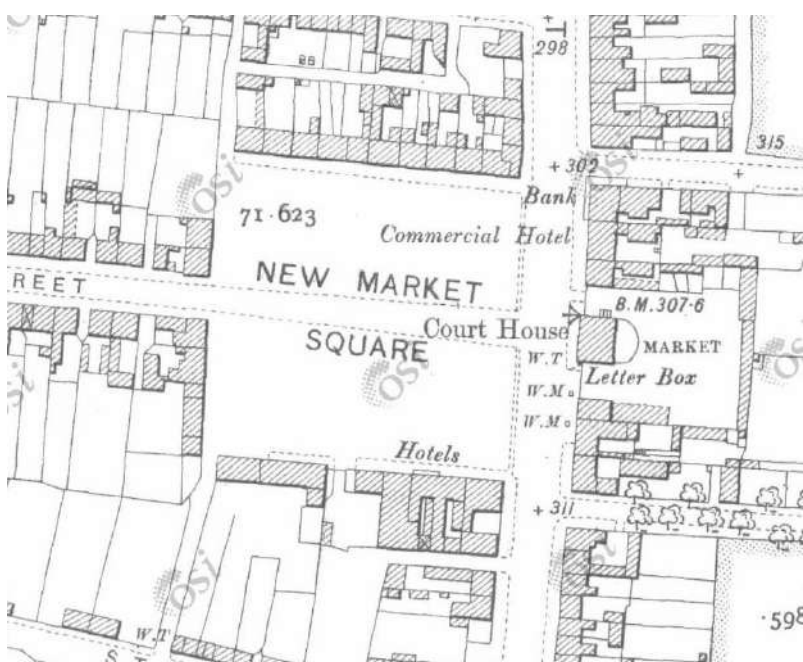
Historical Development

There is a very clear east-west axis set up in the layout of the square. In the earliest edition of the OSI maps there is a slightly more open edge to the space, to the south-west and north-west corners in particular. Historically the court-house was a detached building with openings to either side providing access to the market area to the rear. A large number of the buildings visible on the 6" map are narrower than those seen on the 25" one with a large portion of the building fabric appearing to have been rebuilt since the 6" series.

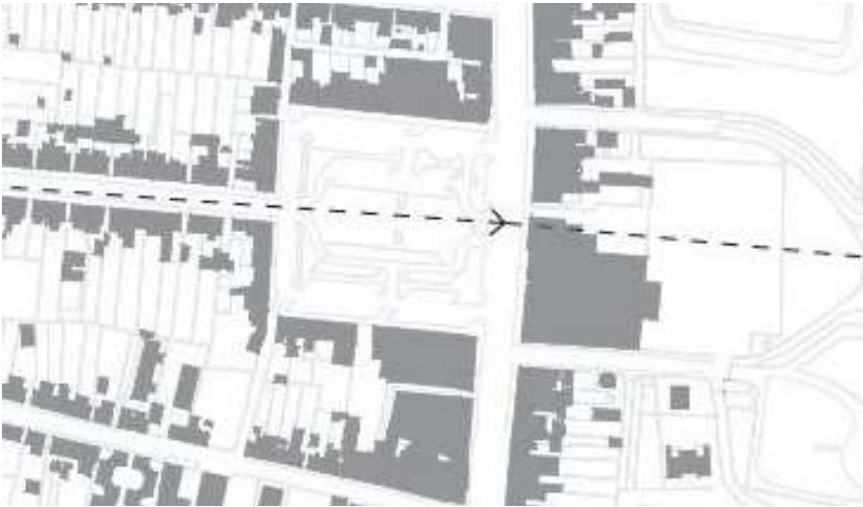
Unfortunately the market area to the rear of the courthouse has now largely been lost, with sheds/ car parking now occupying this space. The gap to the north of the building is intact, but the one to the south is now covered in by the SuperValu building.



New Market Square - 6" OSI Map, 1837-1842.



New Market Square —25" OSI Map, 1888-1913.



*New Market Square Contemporary OSI Map
with axis highlighted © REDscape*



Mitchelstown Aerial View, from Mitchelstown Facebook Page

Historical Development—Photographic analysis

There have been various changes to the buildings and surface treatments of New Market Square over the past 200 years. The earliest photos of New Market Square show a rough mud/ cobblestone finish with open drains. The historic image below (© Bill Power) appears to date to the late 1880s, with a buildings to the south-east corner of the square differing significantly from what is visible on site today. Attractive and simple vernacular style buildings are present in the photo, two stories generally with dormer storey to the buildings to the south. A range of attractive timber shop-fronts are also visible . The surface of the square is rough, with cobbles visible, and an open cobble drain running east-west. A kerb appears to define the edge of Cork Street to the east side of the square. The square is very open, with no vegetation visible. The roads are not distinguished from the open space, with the exception of a simple kerb to Cork Street.



Historical Development—Photographic analysis

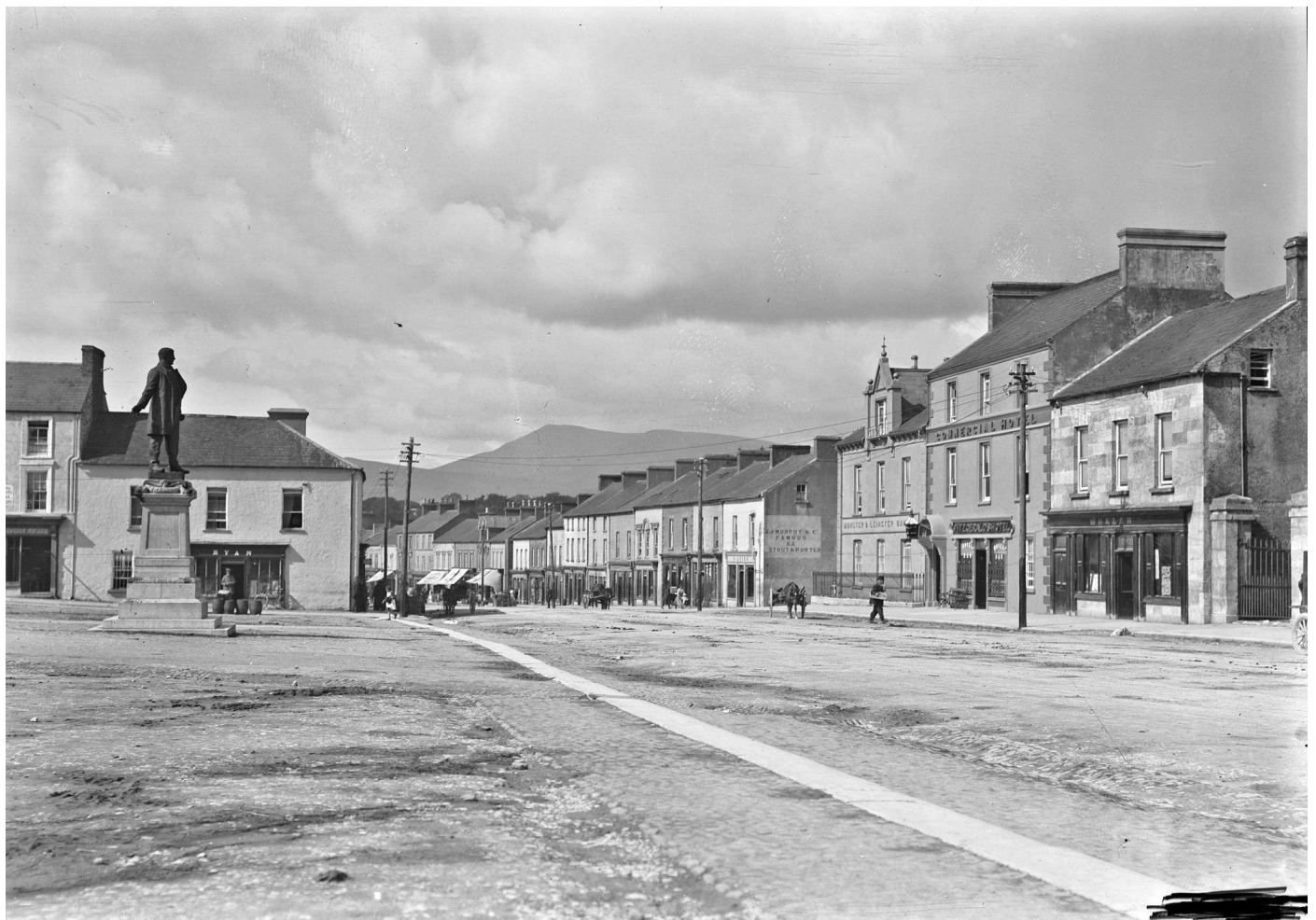
This is another photo dating to the late 1880s (© Bill Power), This photo predates the erection of the Mandeville statue (1906) and is taken along Cork Street facing north, into the square. The cobblestone finish to the pathway to Cork Street is of note, along with the open cobble stone drain adjacent to this. While the building in the foreground has altered significantly since the time this photo was taken, the stepped profile of the buildings along the north side of the square today is largely in keeping with the form and character of the street visible in the late 19th C. This photo, along with the one from the previous page, are thought to date from around the time of the Mitchelstown shootings (1887).





Historical Development—Photographic analysis

The image below dates to circa 1920 (© National Library of Ireland). In this photo the recently erected telegraph poles and Mandeville statue are visible. The surface treatments in the square are also clearly visible, with a stone kerb delineating Cork Street and cobbles being visible elsewhere. The paths adjacent to the buildings of Cork Street appear to be paved with a kerb to Cork Street. It is interesting to note the detail visible on the buildings of Cork Street, with signage details and elevational treatments clearly visible in this photo.



Historical Development—Photographic analysis

The image below dates to perhaps the early-mid 1900s (© Bill Power). and shows the stepped profile to the buildings along the north side of the square largely in keeping with the buildings present today. The Mandeville statue is present, along with telegraph poles which were erected throughout Mitchelstown by 1955. The areas to the perimeter of the square are paved, while the square itself is a large open space with no real variation visible in the surface treatment.



Historical Development—Photographic analysis

The smaller image below was obtained via REDscape and appears to date from the early 1900s. It illustrates how vast and open the square was historically, with little definition within the space.

The image at the bottom of this page dates to around 1940 and was obtained from Maria O'Dwyer via the Mitchelstown Facebook page. It shows members of the Local Defence Force which was formed in Mitchelstown at the outbreak of World War II. The Mandeville statue is visible in its current location. The square itself appears to be a very plain and open space with no steps visible or vegetation present. The buildings to the west side of the square are visible in the background. The stone terrace towards the south appears largely unchanged since this time, with more alterations visible in the ones to the north, where ridges have been raised, dormers added, and fenestration patterns altered.



Historical Development—Photographic analysis

The images below show the more recent development of the square during the mid-late 1900s and the increasing dominance of cars in the space. The top image (© Ben Corbett) shows the space on market day. The space is quite open, with newly planted trees visible. There are no designated parking spaces with cars being parked haphazardly throughout the space. The second photo (© Bill Power). Shows the square with a paved surface with marked parking abys throughout the space. The trees have grown slightly, and telegraph poles have been added along the north side of the square.



Palette of Existing Materials



Overview of proposal and associated Impact

The proposed works for New Market Square involves the reconfiguration of the square to allow it to become a multifunctional public space and to engage with people at a human scale. It is proposed to reconfigure the road layouts and to confine parking to the upper half of the square, with an open green space including a play area being located towards the lower half. The proposal has a strong east-west axis, which is in keeping with the planned town layout. It is proposed that this axis be defined as a paved route with trees and canopies to its edge. Trees are also proposed to wrap the edges of the square to the north, south, and west, with the space remaining open toward Cork Street. It is proposed to widen footpaths to the south and west of the square to allow for outdoor eating areas and an active edge. The proposal is tailored to allow for the continued use of the space as a place to host markets, which an essential part of the history and character of the space.

Originally this space was a simple open area. This character altered over the years, with the addition of soft landscaping in more recent years and an ever growing dominance of cars in the space. The proposal seeks to break the open space down into areas at a human scale and encourage social engagement. While the proposal is quite different from the original character of the space, it is considered to be a significant improvement on the current condition of the square. The proposal will result in a space much greener and softer than the original character of the square, and the views of the buildings from the square will generally be screened by trees. However, the proposal maintains and reinforces the east-west axis and has the potential to transform this public space in a positive manner.

Mitigation Measures

Further details would also be required in the next stage of works to clarify where elements of historic interest will be incorporated in the detailed design, such as historic fragments of limestone steps, kerbs, and slate paving. It is noted that some existing items of significance are shown in the current proposed plan, such as the Mandeville Statue and William Trevor Memorial. However, additional items such as the sundial and limestone seat (references 20 and 22 on plan) should be indicated on the detailed plans in the future. Detailed design of the permanent canopy structures should include 3d views of the east-west axis to allow their impact on the space to be fully assessed. Further details and 3d views of the trees should also be provided to ensure their canopy does not impede the vista.



Concept Sketch © REDscape

Mitchelstown Georgian Quarter Architectural Inventory and Assessment
New Market Square —Schedule of Historic Fabric and Architectural Impact
Assessment of Proposed Works.



Reference Z

Former Orphanage / Kingston Hall

Location:

South –west corner of New Market Square

Categories of Interest:

Social, Architectural

Description:

This building is thought to have been established in the late 1700s by Lady Caroline, Dowager Countess of Kingston (1755-1823) (Mitchelstown Historic Map). It is called up as an 'orphan school' in early editions of the OSI map. It is a two-storey attached building with pitched slate roof and hip to end. 2 no brick chimneys centrally, with a further 2 no. render chimneys to either end. Walls are coursed stone. Cast-iron rain water goods are present.

The front elevation is a five-bay elevation with a door to each end. It seems likely that the entire building was once the orphanage, and that the doorways would once have been configured differently. A photos from circa 1940 shows what is now a window opening as a door, which would have provided a more symmetrical elevation in keeping with the tastes of this time.

There window and door openings are square headed generally, with the exception of a larger round headed arch opening centrally on ground floor. There is painted brick surrounds to the openings throughout. Windows are uPVC replacements. The door towards the north is located under a window opening and is a modern timber panel door with a plain rectangular fanlight. The doorway to the south appears to be a relatively modern addition, with no window present above and no brick detailing. It has a modern timber door with glazed panels and plain rectangular fanlight.

There is a curved limestone kerb of historic value in front of the building, along with historic flagstones to the pathway (reference nos.15 and 21A)

NIAH Reference: N/A

RPS ID: 1345





Reference Z

Former Orphanage / Kingston Hall

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consist of concrete pavers with historic flagstone in close proximity to this (see reference 21A). The introduction of a new surface treatment to the paths will impact visually on the existing situation.

The introduction of additional trees along the west side of the square will also have a visual impact on the building, softening the space generally and making the elevations of the building slightly less visible.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the building walls/ threshold, as well as to the historic flagstones themselves.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The steps/ threshold should be retained and adequately protected as part of the works.
- Drainage should also be carefully considered to prevent possible water ponding adjacent to the building edge.



Reference A2

Historic Shopfront

Location:

South-east corner of New Market Square

Categories of Interest:

Architectural, Artistic, Historical, Social

Description:

This is a building which occupies a prominent corner-site of New Market Square. The shop-front to the ground floor is of particular interest in this building, and is described in the NIAH as follows:

Shopfront has fluted pilasters with plinths and moulded capitals, moulded render courses to fascia, and dentillated moulded render cornice. Square-headed door opening with glazed timber panelled double-leaf door, flanked by plate glass display windows. Display windows also inserted to east gable and to extension....

This house and shop is notable for its render shopfront, which displays fluted pilasters and other classic shopfront details. Its prominent location on the corner of New Market Square and Upper Cork Street affords this building considerable townscape significance.



The building itself is a three-bay, three-storey pitched roof house with a five-bay two-storey extension to rear. Early photographic evidence indicates that a smaller, two storey house was located in this site in the 1800s. This configuration appears to date to circa 1900, although the fabric from an earlier building may have been used in its construction. The current configuration has a pitched artificial slate roof, cast iron rainwater goods and square headed window openings with upvc windows and painted cills.

Also of note are limestone crosses at the foot of the wall, which the NIAH states is the site of killing of Land League patriots in 1887.

NIAH Reference: 20818090

RPS ID: 1,074 (shopfront)



Reference A2

Historic Shopfront

Impact of the proposal:

Visual Adjacencies: The existing pathways/ paving adjacent to the building consist of concrete pavers. The introduction of a new surface treatment to the paths will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected. It is also proposed that the width of this pathway be increased to allow for seating / eating areas along the built edge of the square.

The introduction of additional trees along the south side of the square will also have a visual impact on the building, softening the space generally and making the elevations of the building slightly less visible.

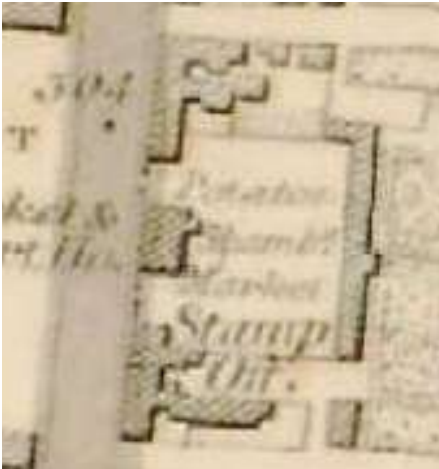
Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the historic shopfront.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The historic fabric should be retained and adequately protected as part of the works.



Historic Photos of the building showing its reconfiguration from a two storey hipped roof volume to the three storey volume currently present on the site today.



Reference B2

Former Courthouse / market house

Location:

On central axis, on Cork Street

Categories of Interest:

Architectural, Historical, Social

Description:

The courthouse is located on a prominent central position in New Market Square on the east-west axis, aligned with the spire of the catholic church behind. It was built in 1832 and it is indicated on the 1842 OS 6-inch map as rectangular structure with off-centre projection to rear, named 'Market & Court House'. There is an enclosed yard to rear named 'Potatoe Shambles Market'. The building consists of a rectangular two-storey building. The front elevation is a three-bay elevation of coursed limestone ashlar construction with a hipped slate roof. The elevation has a central slim 1-bay pedimented breakfront; 3-bay arcade with wide elliptical-headed arches on ground floor, infilled with door and windows. There is a modern memorial plaque to Irish patriots adjacent to the south arcade. A platband divides ground and first floor and rectangular sash windows are present on the first floor. These consist of square-headed window openings with six-over-nine pane timber sliding sash windows and limestone sills. There is a limestone plaque with two crowns under central window. There is an entrance gateway to the north with tooled cut limestone and rendered piers.

The building is currently in use as a supermarket, and a modern extension which detracts visually from this historic courthouse has been built towards the south.

Lewis mentions the building in the 1837 dictionary as follows:

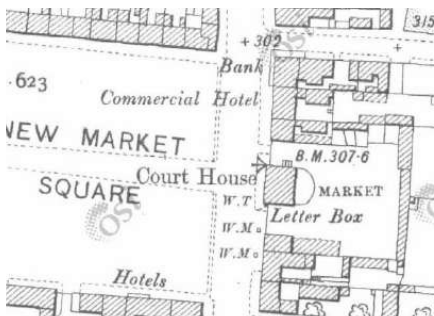
Erected in 1823, at cost of £3,000, by the Earl of Kingston

The NIAH appraisal of the building reads as follows:

This neo-classical former courthouse and market house, one of the finest and most prominent buildings in Mitchelstown, was built by the Earl of Kingston at the expense of £3000. It forms an integral part of the planned town, set at the eastern side of New Market Square and closing the vista from King Street. The fine ashlar limestone and imposing form mark it as a public building and it is enhanced by the retention of its timber sash windows

There is a memorial plaque to the Mitchelstown shootings on the front façade of the building. A second plaque on the building states that it closed as a court house in 1957.

NIAH 20818089 / RMP: CO019-106 / RPS ID :99





Impact of the proposal:

Visual Adjacencies:

The proposed layout of the square has a strong east-west axis aligned with the courthouse which is appropriate to the original layout of the town and prominence of this building. There is a potential issue with the proposed trees and canopies blocking the view of the courthouse. The large pedestrian crossing area in front of the building will also help to mark it as one of former civic importance.

The drawings appear to propose to use reused concrete pavers to the path in front of this building, which may not be appropriate. The introduction of a new surface treatment to the paths will impact visually on the existing situation.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls , and there is a risk of damage to the building fabric.

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The historic fabric should be retained and adequately protected as part of the works.
- 3d views of the proposed canopies should be provided as part of their detailed design to fully assess their impact on the vista.
- A detailed design for the paving should be provided as part of the next phase of works. Consideration should be given to using high quality surface materials in front of a building with this level of historic significance. Consideration should be given to using small unit pavers to either side of the building to demarcate the previous accessways (as is the case to the north side of the building at present).



Reference C2

Public House (Whelan's Bar)

Location:

Cork Street

Categories of Interest:

Architectural, Social

Description:

This building consists of a simple two-storey attached volume with a pitched slate roof and central rendered chimneystack to the gable end. The NIAH dates the building to c.1825. The front (west) elevation is a three-bay elevation with an ashlar stone finish. There are square headed window openings to the first floor with replacement timber windows, and limestone sills. There are segmental-arched openings to the ground floor which incorporate pilasters on plinths between the openings and ashlar voussoirs. Windows and door are modern. It is interesting to note that a photo from around 1920 shows a simple timber shopfront in place of the arched openings. It is assumed that the opening are nonetheless original, and that they were simply covered up by the shop-front. There is a gateway with a cut stone pier to the south of the building.

The NIAH appraisal reads as follows:

This interesting mid-nineteenth-century building has retained its cut limestone façade, which lends textural interest to the streetscape. The arches suggest that the building may have been a public building connected with the adjacent court and market house

NIAH 20818088 / RPS ID: n/a

Impact of the proposal:

Visual Adjacencies: The introduction of a new surface treatment to the paths will impact visually on the existing situation. The drawings appear to propose to use reused concrete pavers to the path in front of this building.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the building walls

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The historic fabric should be retained and adequately protected as part of the works.
- A detailed design for the paving should be provided as part of the next phase of works.





Reference D2

Shop / Paul Roche

Location:

Cork Street

Categories of Interest:

Architectural, Artistic, Social

Description:

Terraced three-storey, three-bay building with render shopfront to ground floor. Pitched artificial slate roof present, with render chimneystack to north gable (note that earlier photo shows one to south also). Cast iron rainwater goods are present, along with a moulded render eaves course. Walls are painted render with render quoins. There is a painted render name fascia between the upper floors. The upper floors have square-headed window openings with replacement uPVC windows and painted moulded render surrounds.

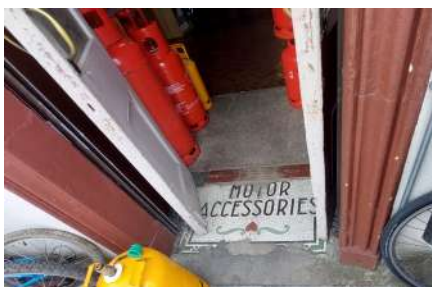
There is a square-headed doorway to the north end of façade set into a render round-headed surround with decorative panelled pilasters with plinths. The door opening also has curved brackets supporting moulded archivolt with keystone detail. There is a second centrally located square-headed door opening with a moulded render surround, recessed double-leaf half-glazed timber panelled door with overlight and wrought-iron valence, and mosaic to the threshold. The shopfront has a fascia with painted trompe-l'oeil lettering in moulded surround, over plate glass timber-framed display windows with carved timber sills, and render stall risers with plinths. Display windows and doorway are flanked by panelled pilasters with floral motifs and having scrolled brackets.

The NIAH appraisal reads as follows:

This attractive house and shop displays many interesting features such as the render shopfront with its panelled pilasters and painted trompe l'oeil signage. The decorative treatment of doorways and windows enhances the artistic character of the building, the round-headed canopied doorway being also unusual. The height of this building and its central location give it prominence on the main thoroughfare of the town, opposite the main square

NIAH 20818087

RPS ID: 1087





Reference D2

Shop / Paul Roche

Location:

Cork Street

Impact of the proposal:

Visual Adjacencies: The introduction of a new surface treatment to the paths will impact visually on the existing situation . The drawings appear to propose to use reused concrete pavers to the path in front of this building.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls , and there is a risk of damage to the building walls/ shopfront/ mosaic thresholds

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The historic fabric should be retained and adequately protected as part of the works.
- A detailed design for the paving should be provided as part of the next phase of works.



Reference E2

AIB

Location:

Cork Street

Categories of Interest:

Architectural, Artistic, Social

Description: This is a corner-sited attached -storey bank and manager's house which the NIAH dates to c. 1910. Early 20th century photographs show a different building in this location. The front (west) facing elevation is a three-bay elevation with a pedimented bay towards the north. The building has a pitched slate roof with rendered chimneystacks with a parapet incorporating a moulded render cornice. Walls to the top two floors are painted render, with render fluted Giant Doric pilasters with decorative capitals supporting the moulded entablature and pediment. There is ashlar limestone cladding with pilaster detailing to the ground floor.

There are square-headed window openings with moulded render surrounds on upper floors with one-over-one pane timber sliding sash windows present. The square-headed window openings to ground floor have timber casement windows. The square-headed door opening has a double-leaf timber panelled door with paned overlight and moulded limestone surround, approached by moulded limestone steps. There is a limestone-clad ramp to front of building, with decorative metal railings.

The NIAH appraisal of the building reads as follows:

This fine building is a dominant feature of the streetscape in Mitchelstown, and its scale and notable features, such as the limestone cladding and the render mouldings cause it to stand out and add decorative interest to the streetscape. The retention of original features, such as the timber sash windows and panelled door and limestone steps, enhance the character and charm of the building.

NIAH 20818086 / RPS ID: 94

Impact of the proposal:

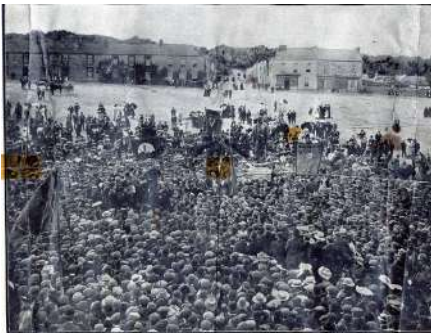
Visual Adjacencies: The introduction of a new surface treatment to the paths will impact visually on the existing situation. The drawings appear to propose to use reused concrete pavers to the path in front of this building.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls, and there is a risk of damage to the building fabric

Recommended Mitigation Measures:

- Care should be taken to ensure that no historic fabric is damaged when undertaking the paving works. The historic fabric should be retained and adequately protected as part of the works.





1906 unveiling



Reference ST

Mandeville Statue

Location:

New Market Square

Categories of Interest:

Architectural, Artistic, Social

Description:

This is a freestanding statue of the patriot John Mandeville erected in 1906. It consists of a bronze statue on a stepped limestone plinth. There is lettering and panelled faces and to the plinth, and the coping of the plinth has a bay leaf garland carving. The figure itself stands atop the block above a cushion detail.

The NIAH Appraisal reads as follows:

This memorial commemorates John Mandeville, a native of Mitchelstown and a leader in the Land League wars of the 1880s, who died in 1888 having spent two months in Tullamore Jail. The other men commemorated, Casey, Lonergan and Shinnick, were shot in 1887 in New Market Square by police. This statue exhibits fine craftsmanship and the monument has a strong presence due its setting in New Market Square and facing the town's main thoroughfare.

NIAH 20818085

RPS ID: 1350

Impact of the proposal:

Visual Adjacencies: It is proposed that the statue retains its prominent location on the east-west axis of the square. The view of the statue should be framed by the proposed trees and canopies.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the building walls , and there is a risk of damage to the building walls/ stone steps



Reference 1

Limestone Kerbing

Location:

New Market Square

Categories of Interest:

Architectural

Description: This historic kerbing is approximately 300mm wide and matches the historic kerbing found in King Street. However, the kerb has been re-laid in this position at some point in the history of the square, with it being arranged to form parking bays to the east end of the square.

1S Section of kerb to the west side of the square to the south of the intersection with King Street. In good condition generally.

1R Section of kerb to the west side of the square to the north of the intersection with King Street. In good condition generally.

Impact of the proposal:

It is generally proposed to retain these kerbs in situ. A small section of the kerbs is removed as part of the proposal, (seen in photo on bottom left) and it is assumed that they will be reused elsewhere in the scheme. As this is not the original location of the kerbs the impact of this is relatively low.

Visual Adjacencies: The introduction of a new surface treatment adjacent to the kerbs will impact visually on the existing situation. This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving/ road surfaces will be in directly adjacent to the kerbs and there is a risk of damage to the historic fabric

Recommended Mitigation Measures:

- A detailed design for the paving should be provided as part of the next phase of works. This should include details of the proposed new strips which are suitable for use in this historic context and highlight elements of original fabric being retained/ reused as part of the design
- Care should be taken to ensure that every possible care is taken to avoid damaging the steps in the process of paving the street. A method statement for undertaking these works should be taken out in due course.





1R



Reference 4

Limestone Threshold

Location:

New Market Square to restaurant to north side

Categories of Interest:

Architectural

Description:

Simple stone threshold to door, path rises locally to meet original threshold stone.

Impact of the proposal:

These thresholds/ steps are not shown on the proposed drawings but it is assumed they will be retained throughout as part of the proposed works.

Visual Adjacencies: The existing pathways/ paving adjacent to the thresholds consist of concrete pavers. The introduction of a new surface treatment to the paths will impact visually on the existing situation, This has the potential to be a positive impact, subject to a finish appropriate to the historic location being selected.

Physical Impact: The laying of the new paths/ paving will be in directly adjacent to the historic fabric, and there is a risk of damage to the stone threshold

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging the thresholds in the process of paving the street. A method statement for undertaking these works should be provided in due course.



Reference 18

Limestone Steps

Location:

New Market Square

Categories of Interest:

Architectural

Description:

18C Centrally located curved limestone steps. It is not clear when these steps date from, but they do not appear in early photos of the square and appear to be a relatively modern addition. It is possible that the limestone present came from historic fabric in the earlier streetscape. In good condition generally.

18 D 3no. Shallow limestone steps along the south side of the square. In good condition generally.

Impact of the proposal:

These steps are not shown on the proposed drawings. It is assumed the ones to the south could be retained. However, as this path is to be widened as part of the proposal this will impact the existing situation, and the steps will need to be accounted for/ sympathetically extended. The central ones could be removed with relatively little impact as they do not appear to be original.

Recommended Mitigation Measures:

- The limestone from the central steps should be incorporated as part of the detailed paving design in the next stage of work.
- Care should be taken to ensure that every possible care is taken to avoid damaging the thresholds in the process of paving the street. A method statement for undertaking these works should be provided in due course.





Reference 19

William Trevor Monument

Location:

New Market Square

Categories of Interest:

Cultural, Artistic

Description:

Metal sculpture to the writer William Trevor, in good condition generally.

Impact of the proposal:

It appears that it is proposed to relocate this sculpture near to the junction with King Street. As the proposal keeps the sculpture within the New Market Square area the associated impact on it will be limited. The proposed location is a relatively prominent one along the east-west axis.

Recommended Mitigation Measures:

- Care should be taken to ensure that every possible care is taken to avoid damaging sculpture in the process of moving it. A method statement for undertaking these works should be provided in due course.



Reference 21

Paving

Location:

New Market Square

Categories of Interest:

Architectural

Description:

Sections of paving slabs (Liscannor?) along the west side of the square. It appears that these are fragments of historic fabric which have been re-laid in this location. They are an attractive feature in the streetscape.

21A: Sections of paving to the west side of the square to the south of the intersection with King Street. The paving is divided into two sections, with small concretes pavers adjacent to the slabs. They are in good condition generally, although some cracking visible towards the south end.

21B: Sections of paving to the west side of the square to the north of the intersection with King Street. The paving is divided into four sections, with small concretes pavers adjacent to the slabs. They are in good condition generally.

Impact of the proposal:

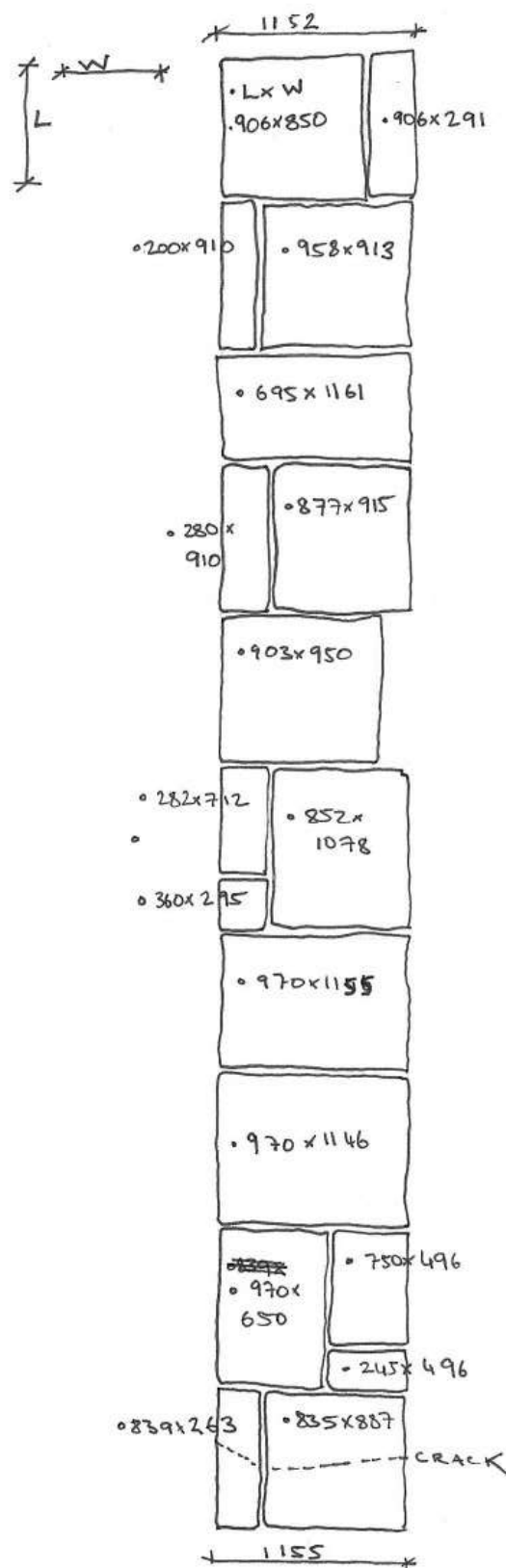
The proposal appears to show new flagstone paving in this location, in a similar layout to existing situation. It is also proposed that this paving layout is extended around the edges of the square generally. Clarification is required on this as it seems that these existing stones could be retained in situ as part of the proposal.

Recommended Mitigation Measures:

- A detailed design for the paving should be provided as part of the next phase of works. This should include details of the proposed new strips which are suitable for use in this historic context and highlight elements of original fabric being retained/ reused as part of the design
- Care should be taken to ensure that every possible care is taken to avoid damaging the paving as part of the proposed works. A method statement for undertaking these works should be provided in due course.



21A



21B

Sample Paving Layout