



# Comhairle Contae Chorcaí

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# Cork County Council

## **Bantry Peace Park Playground**

## **Flood Risk Assessment**



**Table of Contents**

<b>1.0</b>	<b>Introduction.....</b>	<b>3</b>
<b>2.0</b>	<b>Flood Risk Management Guidance.....</b>	<b>4</b>
<b>3.0</b>	<b>Flood Risk Assessment.....</b>	<b>5</b>
<b>4.0</b>	<b>Conclusion.....</b>	<b>7</b>

1.0 Introduction

The proposal under consideration in this Part 8 is the installation of a new, inclusive, playground within the Peace Park and the construction of a small ancillary car park and all associated groundworks. The new playground shall replace the existing playground at Newtown, Bantry.

Location: Newtown and Townlots, Bantry, Co. Cork.

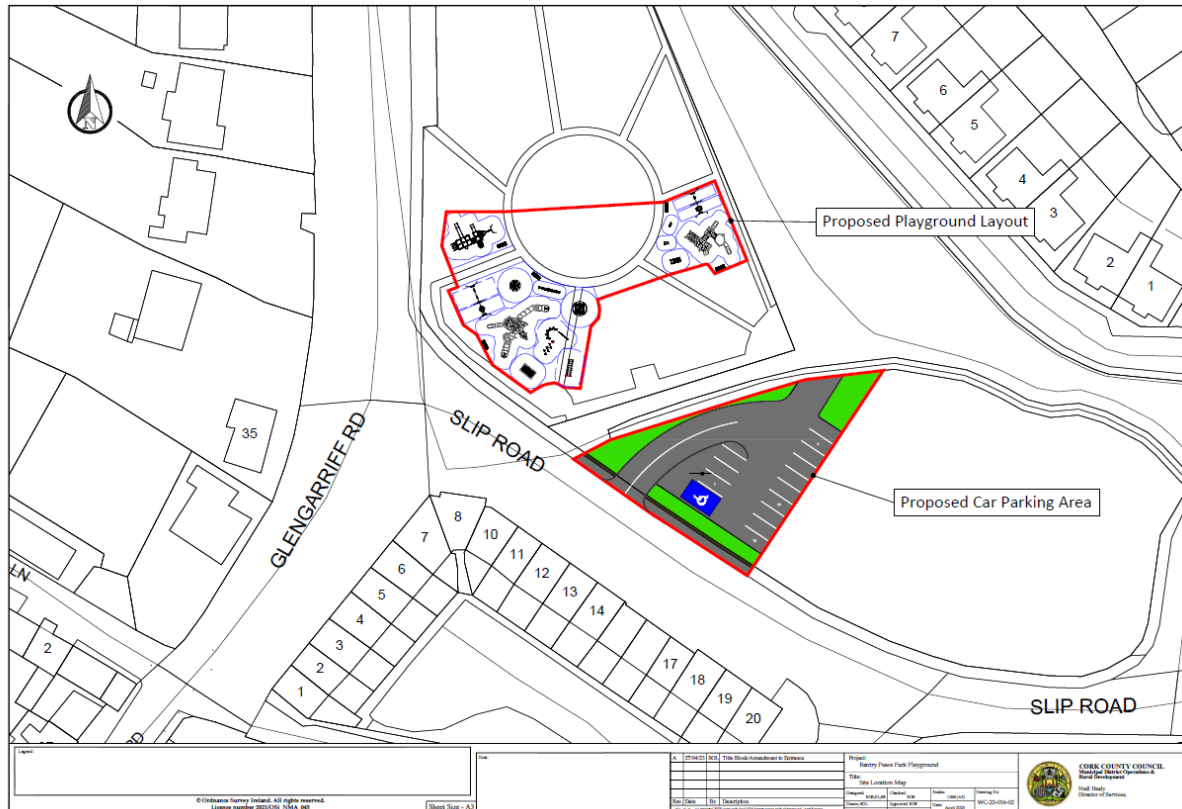


Figure 1 Proposed Layout

## 2.0 Flood Risk Management Guidance

This Flood Risk Assessment was carried out in accordance with the following:

- The Planning System and Flood Risk Management Guidelines for Planning Authorities
- Flood Risk Management Climate Change Sectoral Adaptation Plan
- Cork County Council's County Development Plan 2022-2028

Planning authorities (both elected members and officials) must implement the Planning System and Flood Risk Management Guidelines and ensure that, where relevant, flood risk is a key consideration in preparing development plans and local area plans and in the assessment of planning applications. The Guidelines will also assist regional authorities in preparing regional planning guidelines and should be utilised by developers and the wider public in addressing flood risk in preparing development proposals.

Flood zones are geographical areas within which the likelihood of flooding is in a particular range and they are a key tool in flood risk management within the planning process as well as in flood warning and emergency planning. There are three types or levels of flood zones defined for the purposes of the Guidelines:

*Flood Zone A* – where the probability of flooding from rivers and the sea is highest (greater than 1% or 1 in 100 for river flooding or 0.5% or 1 in 200 for coastal flooding);

*Flood Zone B* – where the probability of flooding from rivers and the sea is moderate (between 0.1% or 1 in 1000 and 1% or 1 in 100 for river flooding and between 0.1% or 1 in 1000 year and 0.5% or 1 in 200 for coastal flooding); and

*Flood Zone C* – where the probability of flooding from rivers and the sea is low (less than 0.1% or 1 in 1000 for both river and coastal flooding). Flood Zone C covers all areas of the plan which are not in zones A or B.

### 3.0 Flood Risk Assessment

Stage 1 Flood risk identification – to identify whether there may be any flooding or surface water management issues related to either the area of regional planning guidelines, development plans and LAPs or a proposed development site that may warrant further investigation at the appropriate lower level plan or planning application levels;

Stage 2 Initial flood risk assessment – to confirm sources of flooding that may affect a plan area or proposed development site, to appraise the adequacy of existing information and to scope the extent of the risk of flooding which may involve preparing indicative flood zone maps. Where hydraulic models exist the potential impact of a development on flooding elsewhere and of the scope of possible mitigation measures can be assessed. In addition, the requirements of the detailed assessment should be scoped; and

Stage 3 Detailed flood risk assessment – to assess flood risk issues in sufficient detail and to provide a quantitative appraisal of potential flood risk to a proposed or existing development or land to be zoned, of its potential impact on flood risk elsewhere and of the effectiveness of any proposed mitigation measures.

#### *Stage 1 Flood risk identification*

The area is located within Flood Zone A and B, as illustrated in the current Cork County Development Plan Zoning Map for Bantry (see Figures 2 and 3 below).

Under County Development Plan Objective WM 11-15 entitled ‘Flood Risk Assessments’ the following direction is given;

- To require flood risk assessments to be undertaken for all new developments within the County in accordance with The Planning System and Flood Risk Management – Guidelines for Planning Authorities (2009) and the requirements of DECLG Circular P12/2014 and the EU Floods Directive.
- For sites within Flood Zone A or B, a site specific Flood Risk Assessment will be required.
- For sites within Flood Zone C, an examination of all potential sources of flooding, and consideration of climate change (flood risk screening assessment), will be required. In limited circumstances where the ‘Flood Risk Screening assessment’ identifies potential sources of flood risk, a site specific flood risk assessment may also be required.
- All proposed development must consider the impact of surface water flood risks on drainage design through a Drainage Impact Assessment. The drainage design should ensure no increase in flood risk to the site, or the downstream catchment.

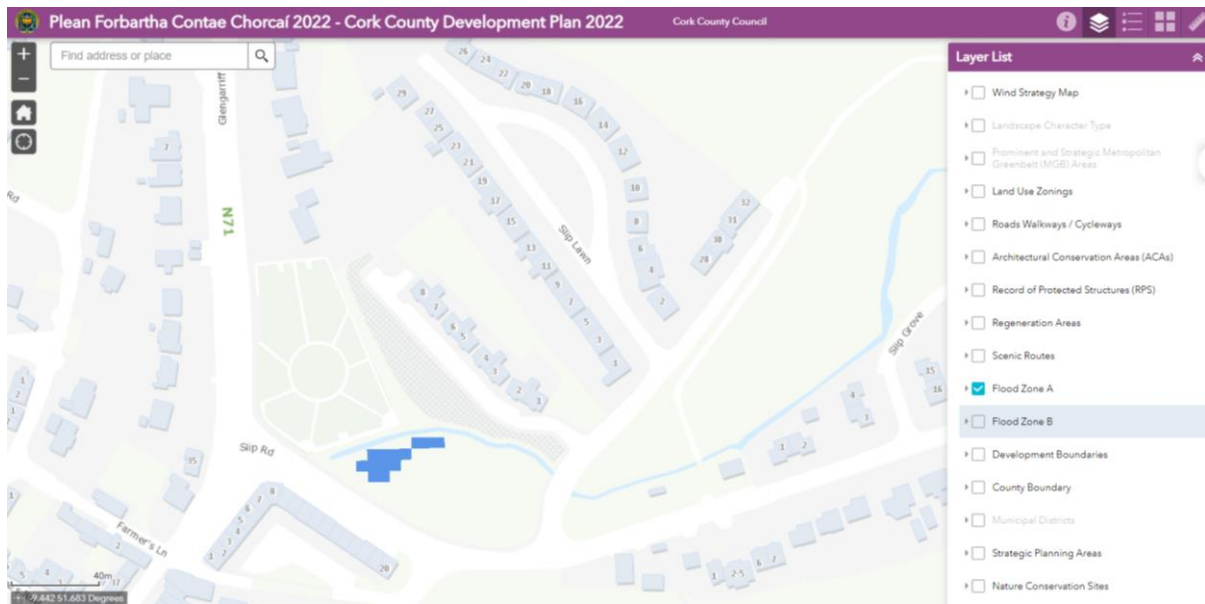


Figure 2 Flood Zone A and as illustrated in the current Cork County Development Plan Map for Bantry



Figure 3 Flood Zone B and as illustrated in the current Cork County Development Plan Map for Bantry

*Stage 2 Initial flood risk assessment*

The site under consideration here is identified as being prone to flooding in the current Cork County Development Plan published in 2022 (partially within Flood Zone A & B), and therefore deemed to be under threat from flooding.

In summary, the planning implications for flood zone A is:

**Zone A - High probability of flooding.** Most types of development would be considered inappropriate in this zone. Development in this zone should be avoided and/or only considered in exceptional circumstances, such as in city and town centres, or in the case of essential infrastructure that cannot be located elsewhere. Only water-compatible development, such as docks and marinas, dockside activities that require a waterside location, amenity open space, outdoor sports and recreation, would be considered appropriate in this zone.

The proposed development of a playground and ancillary car parking area is considered appropriate development for Flood Zone A and B.

*Stage 3 Detailed flood risk assessment*

	Flood Zone A	Flood Zone B	Flood Zone C
Highly vulnerable development (including essential infrastructure)	Justification Test	Justification Test	Appropriate
Less vulnerable development	Justification Test	Appropriate	Appropriate
Water-compatible development	Appropriate	Appropriate	Appropriate

The Bantry Flood Relief Scheme is at a very early stage and no interventions have been proposed as yet. Future storm water storage will be considered as part of the design of the flood relief scheme, but the playground and construction of the ancillary car park would not adversely impact that proposal. The ground levels in the Peace Park will remain unaltered and the ground levels in the car park shall be maintained insofar as possible, except where the access road to the car park shall be constructed.

**4.0 Conclusion**

The proposed development is appropriate and compatible for Zone A and will not increase the likelihood of flooding elsewhere.

**R. O'Brien, SEE**