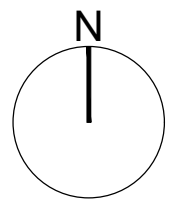


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Site Outlined in Red
 Site Area - 4,020m² (0.4Ha/ 0.993Acres)

ITM Co-ordinates
 E:537580
 N:602767
 O.S. MAP
 5885-A
 5885-03

80M
 SITE
 ITM
 Co-ordinates
 E:537580
 N:602767
 86M

Rev. No.	Revision Description	Date



Project Stage: STAGE II - PLANNING

Project Title: Proposed Housing Development
 Mill Road, Kanturk

Drawing Title: Site Location Map

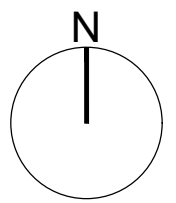


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Cork County Council
 Architects | Housing Directorate
 County Hall, Cork
 Tel: (021) 4285433
 e-mail: architects.housing@corkcoco.ie

Job Reference: N2020003	Sheet: A3	Design Team: Architect: MM Technician: KW Surveyor: RB Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-PL-100	Date: July 23	Scale: 1:2500
Issue for: Planning		 



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Site Outlined in Red
 Site Area - 4,020m² (0.4Ha/ 0.993Acres)

ITM Co-ordinates
 E:537580
 N:602767
 O.S. MAP
 5885-A
 5885-03

Rev. No.	Revision Description	Date

Project Stage: STAGE II - PLANNING

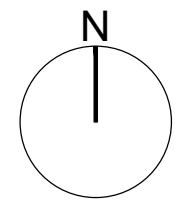
Project Title: Proposed Housing Development
 Mill Road, Kanturk

Drawing Title: Site Location Map

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Job Reference: N2020003	Sheet: A3	Design Team: Architect: MM Technician: KW Surveyor: RB Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-PL-101	Date: July 23	Scale: 1:1000
Issue for: Planning		

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Site Outlined in Red - 4,020m²
 (0.4Ha/ 0.993Acres)
 33 Units per Ha

ITM Co-ordinates
 E:537580
 N:602767

O.S. MAP
 5885-A
 5885-03

- LEGEND**
- Area of existing entrance wall with railing & pillars to be demolished & disposed off-site
 - Area of Existing Hedge to be removed & disposed off-site
 - Area of existing buildings to be demolished & disposed off-site
 - Area of existing paths to be demolished & disposed off-site

Rev. No.	Revision Description	Date

Project Stage: STAGE II - PLANNING

Project Title: Proposed Housing Development
 Mill Road, Kanturk

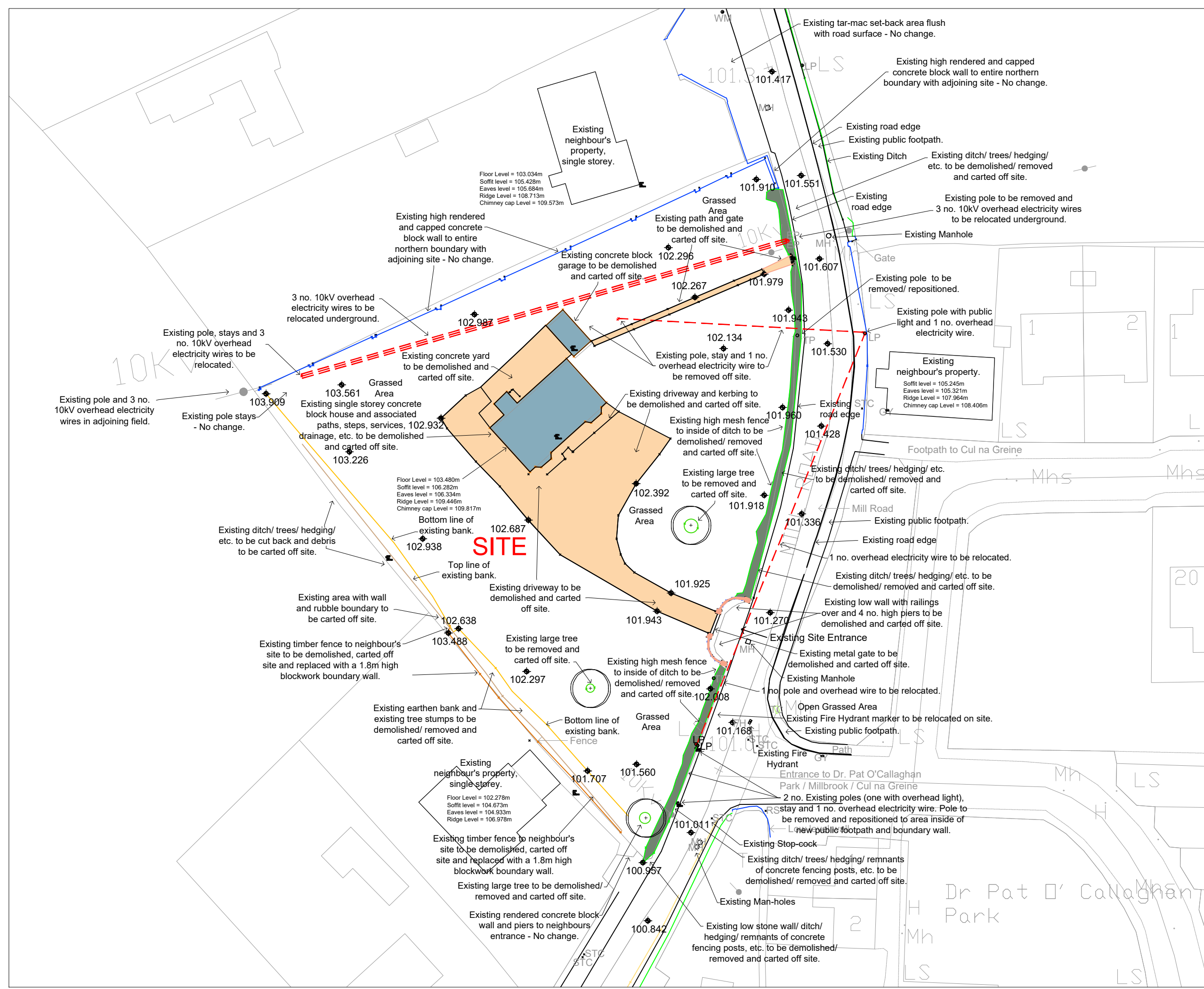
Drawing Title: Site Demolition Plan

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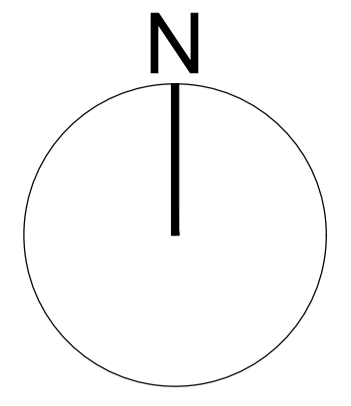
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Job Reference: N2020003	Sheet: A3	Design Team: Architect: MM Technician: KW Surveyor: RB Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-PL-111	Date: July 23	Scale: 1:500
Issue for: Planning		



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Site Area Outlined in Red - 4,020m²
 (0.4Ha/ 0.993Acres)
 33 Units per Ha

- House Types**
- House Type A
3 Bed, 5 Person, 2 Storey [x1]
 - House Type B
2 Bed, 4 Person, 2 Storey [x4]
 - House Type C
1 Bed, 2 Person, 1 Storey [x2]
 - Apartment Type D
1 Bed, 2 Person, 2 Storey [x6]
 - Total : 13 Units

- LANDSCAPING KEY** (see landscaping drawing)
- Trees (Types T1, T2, T3)
 - Hedge/ Shrub Planting (S1)
 - Hedge/ Shrub Planting (S2)
 - Hedge/ Shrub Planting (S3)
 - Public Grassed Area
 - Private Grassed Garden
 - Concrete Footpath
 - Asphalt Parking Area
 - Asphalt Road and Turning Bay

- BOUNDARY KEY** (see boundary drawing)
- A** New 500mm High Rendered Conc. Block Wall With new Native Mixed Hedge planted inside.
 - B** New 1.2m High Bin Store Conc. Block Wall, Rendered on Public Side Only.
 - C** New 1.8m High Conc. Block Wall, Rendered on Public Side Only.
 - D** New 1.8m High Rendered Conc. Block 'Gossip' Wall (Both Sides).
 - E** New 1.8m High Concrete Post & Panel Fence.
 - F** Existing High Concrete Block Wall (To be cleaned and painted)
 - G** New 800mm High Conc. Block Wall, Rendered on Outer (Public) Side.
 - H** New 1.8m High Conc. Block Wall, Un-rendered.

Rev. No.	Revision Description	Date
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Project Stage: STAGE II - PLANNING

Project Title: 13 Housing Units at Mill Road, Kanturk, Co. Cork.

Drawing Title: Site Layout Plan

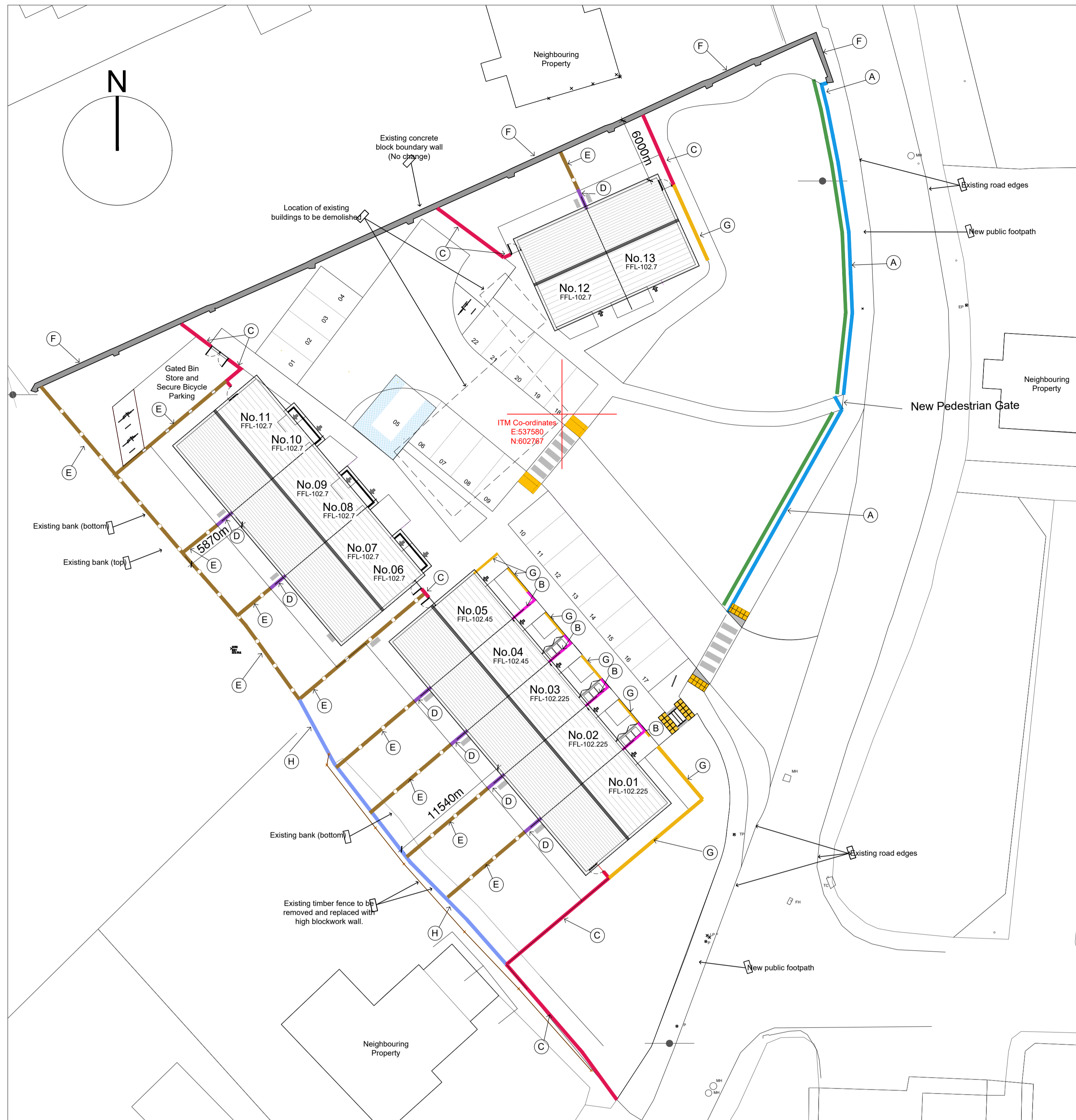
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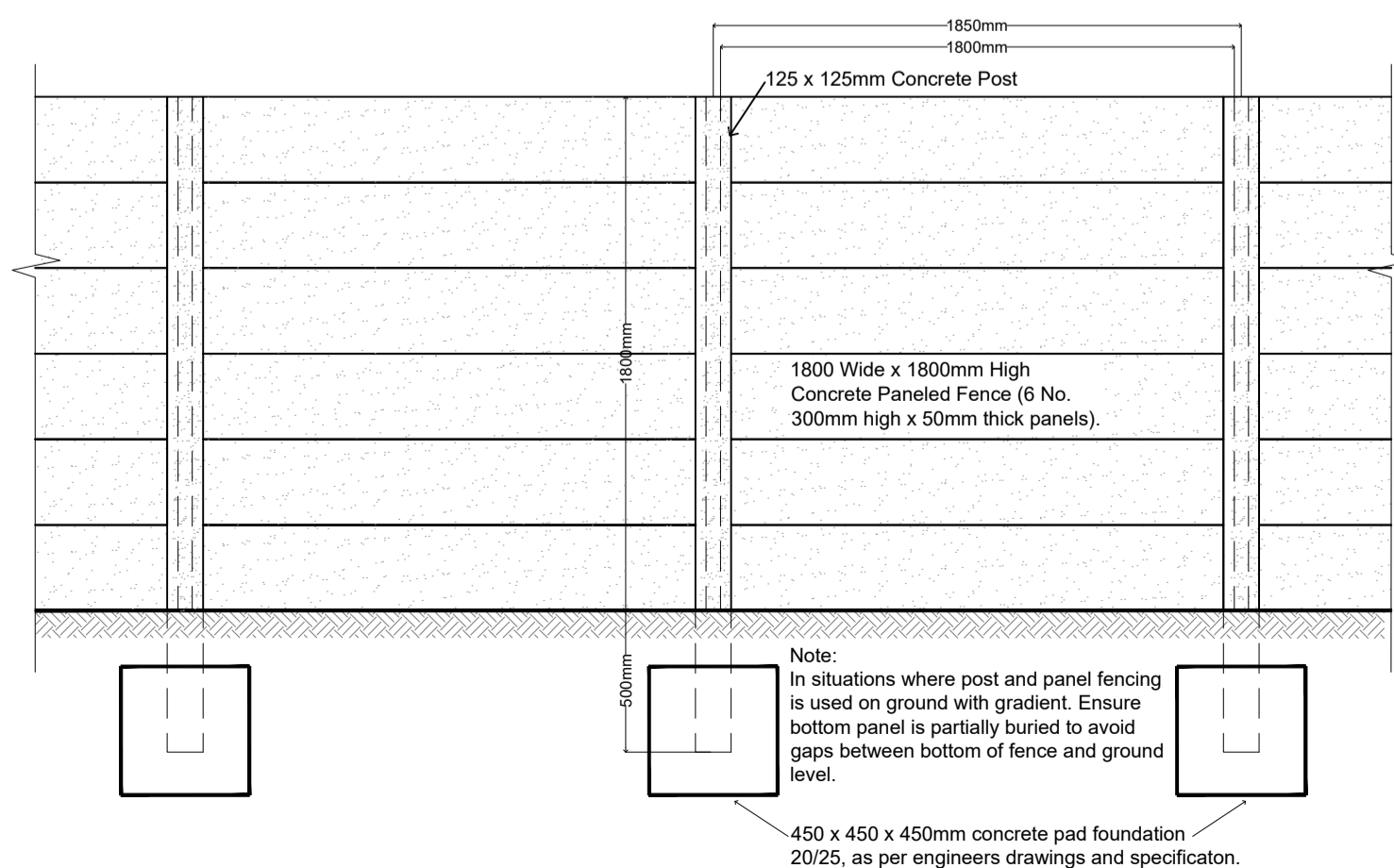
Job Reference: N2020003	Sheet: A1	Design Team: Architect: M.M. Technician: K.W. Surveyor: R.B. Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-WD-121	Date: July '23	Scale: 1:250
Date: July '23	Scale: 1:250	Issue for: Planning



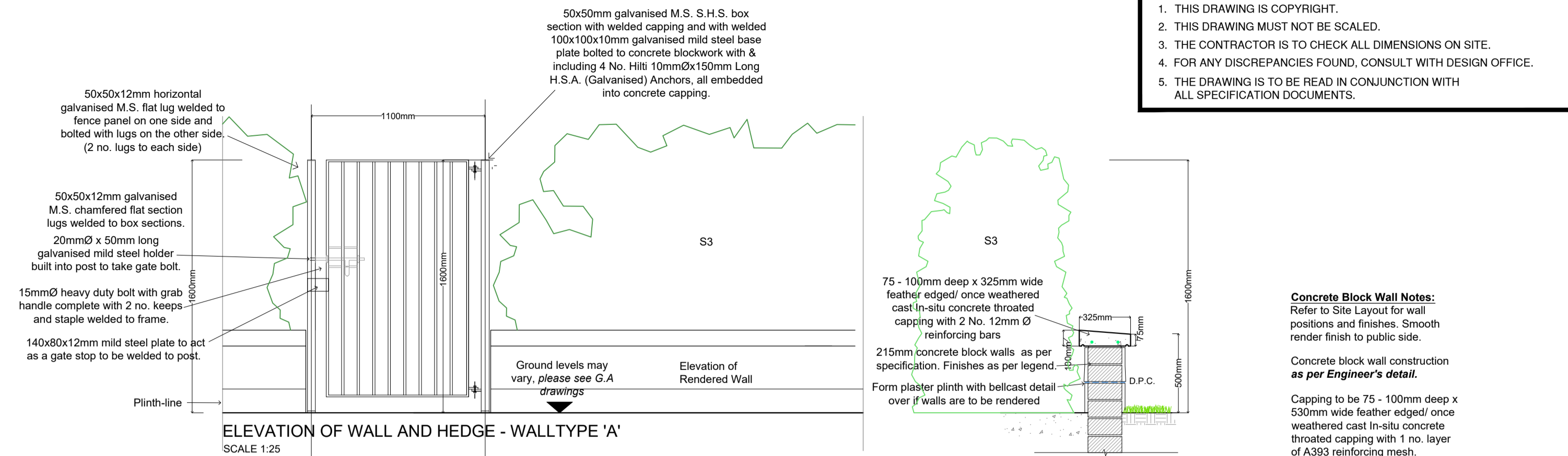


SITE PLAN - BOUNDARIES

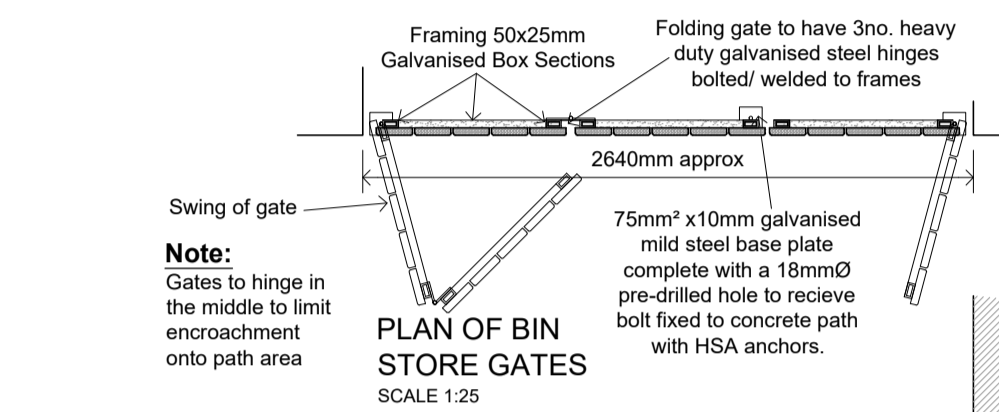
- BOUNDARY KEY** (see boundary drawing)
- A** New 500mm High Rendered Conc. Block Wall With new Native Mixed Hedge planted inside.
 - B** New 1.2m High Bin Store Conc. Block Wall, Rendered on Public Side Only.
 - C** New 1.8m High Conc. Block Wall, Rendered on Public Side Only.
 - D** New 1.8m High Rendered Conc. Block 'Gossip' Wall (Both Sides).
 - E** New 1.8m High Concrete Post & Panel Fence.
 - F** Existing High Concrete Block Wall (To be cleaned and painted)
 - G** New 800mm High Conc. Block Wall, Rendered on Outer (Public) Side.
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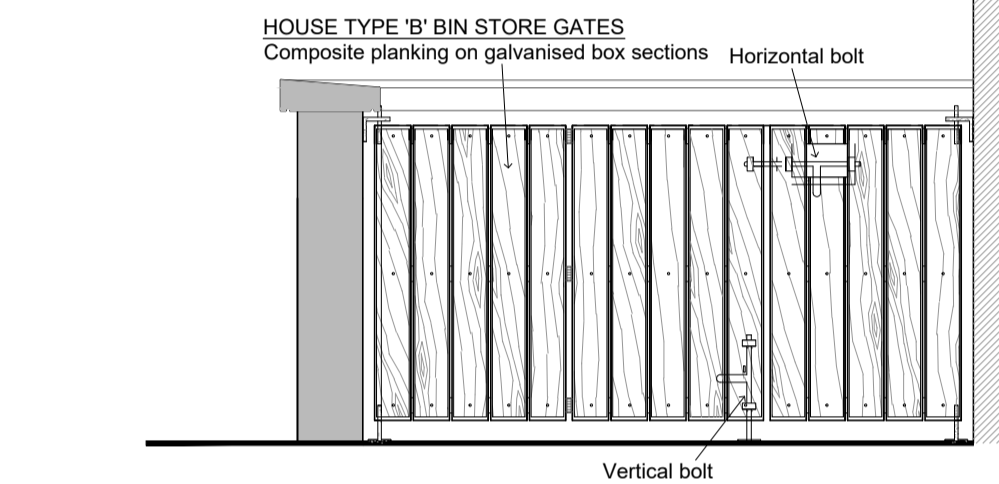
ELEVATION OF WALL TYPE E - CONCRETE POST & PANEL FENCE
Scale 1:25



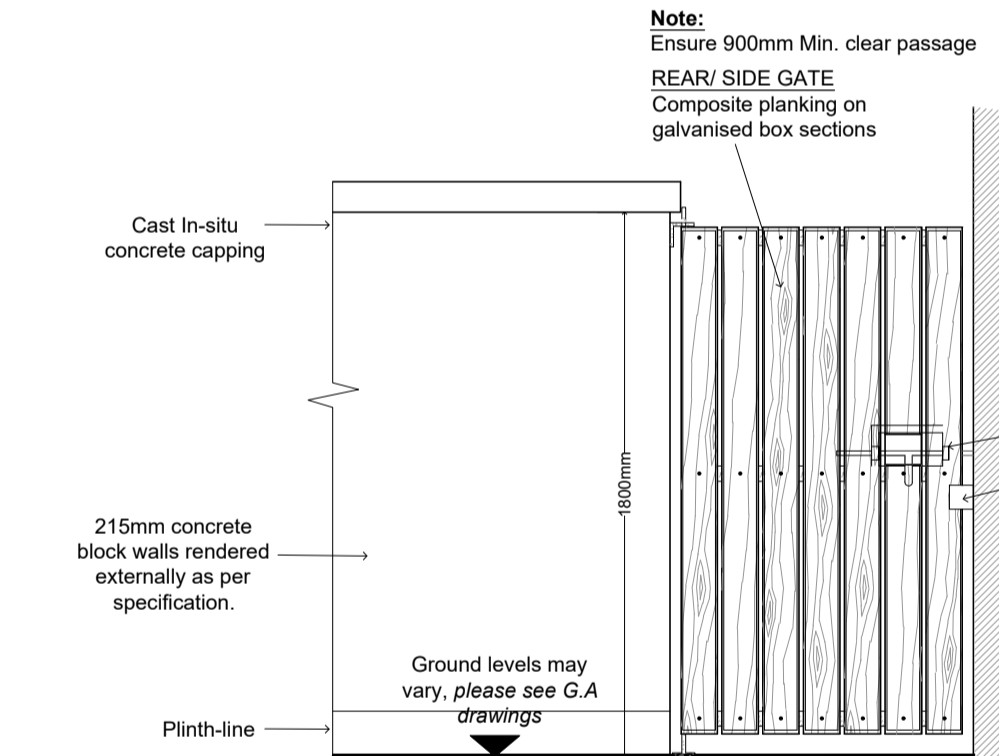
ELEVATION OF WALL AND HEDGE - WALLTYPE 'A'
SCALE 1:25



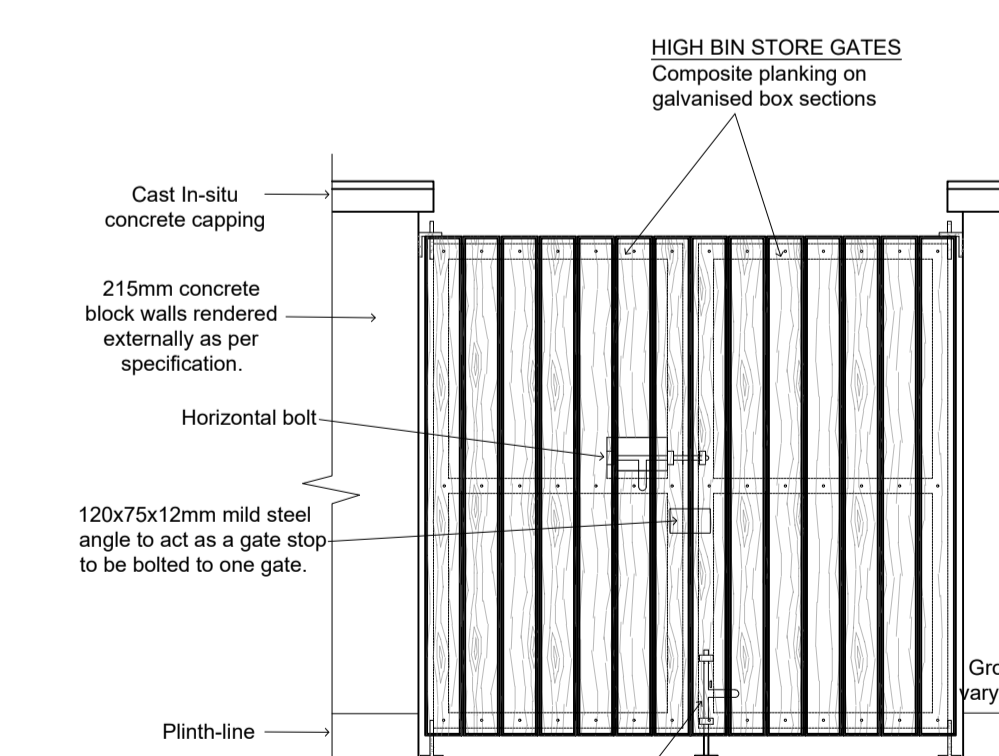
PLAN OF BIN STORE GATES
SCALE 1:25



ELEVATION OF BIN STORE (Wall Type 'B')
SCALE 1:25

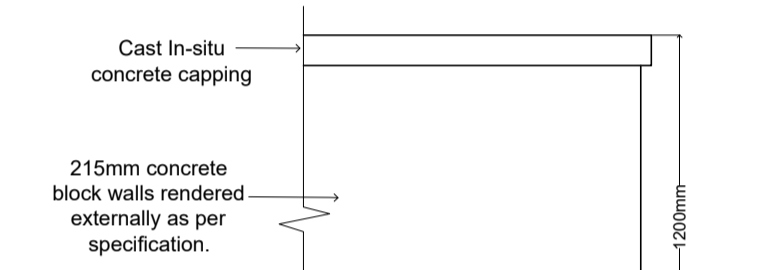


ELEVATION OF WALL TYPES 'C' with Gate
SCALE 1:25

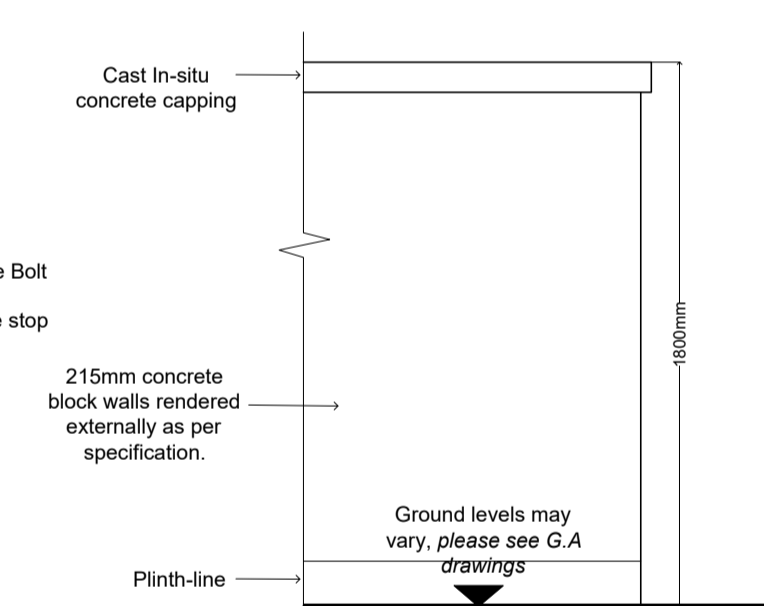


ELEVATION OF LARGE BIN STORE DOUBLE GATES
SCALE 1:25

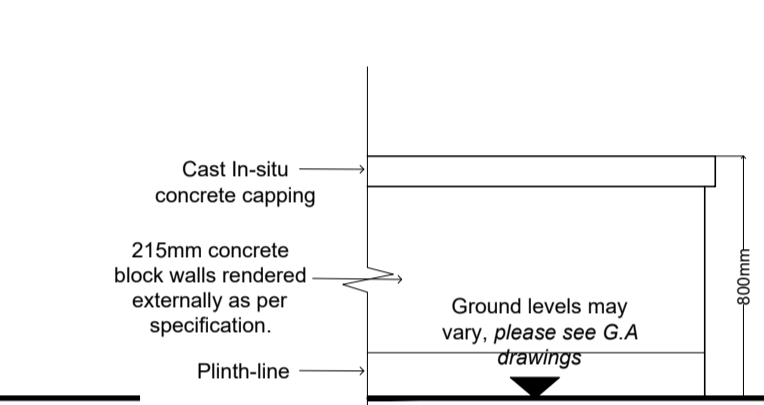
Notes:
1. Refer to site layout plan for positions of walls/gates.
2. Drawing to be read in conjunction with Engineer's drawings.
3. Any queries or concerns please contact the Architect/ER.



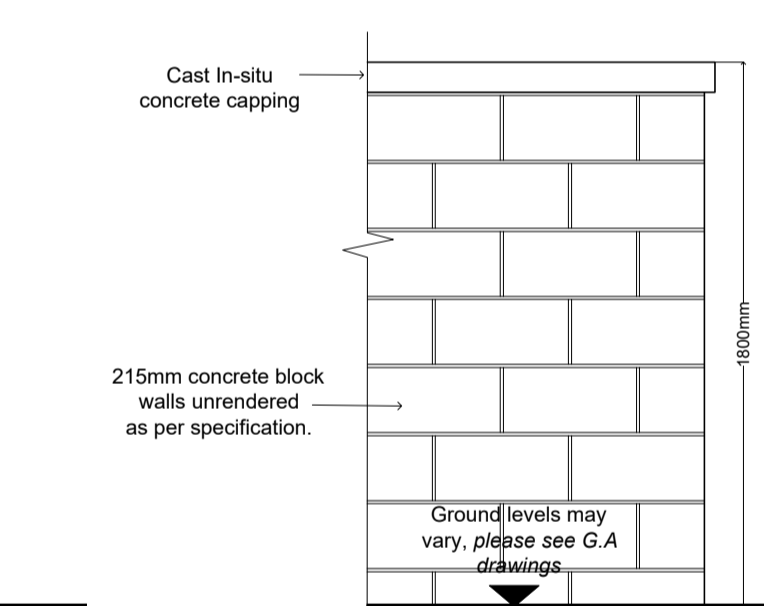
ELEVATION OF BIN STORE WALL TYPE 'B'
SCALE 1:25



ELEVATION OF WALL TYPES 'C' and 'D'
SCALE 1:25



ELEVATION OF WALL TYPE 'G'
SCALE 1:25



ELEVATION OF WALL TYPES 'C' and 'D'
SCALE 1:25

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Concrete Block Wall Notes:
Refer to Site Layout for wall positions and finishes. Smooth render finish to public side.
Concrete block wall construction as per Engineer's detail.
Capping to be 75 - 100mm deep x 50mm wide feather edged/ once weathered cast in-situ concrete throated capping with 2 No. 12mm Ø reinforcing bars.
Form plaster plinth with bellcast detail over if walls are to be rendered.

Piers and expansion joints every other pier as per Engineer's detail.
Blockwork rising walls & foundations to be minimum 600mm below G.L. as per Engineers drawings & specification.

Note:
Hinged Gate Systems to Spec. Ss_25_32_35_37
Timber effect, solid core, recycled plastic planking to spec. Post and Rail Fencing Systems Ss_25_14_63_97

Boundary/ Bin Store Walls - To Civil & Structural Detail:
215mm cavity block wall plastered externally and fairfaced internally complete with feather edged/ once weathered cast in-situ concrete throated capping all as per Detail Drawings and Civil & Structural specification.

Planking:
120x25mm timber effect, solid core, recycled plastic planking. Each plank to be bolted to 50x25mm frame cross sections with 3 no. 6mm Ø 60mm long stainless steel bolts complete with capping nut.
Each plank to be bolted to 50x25mm frame cross sections with 3 no. 6mm Ø 60mm long stainless steel bolts complete with capping nut.

Framing:
Steel framing to consist of 50x25mm galvanised box sections welded together, 2no. verticals and 3no. horizontal members.

Hinges:
Gates to be supplied with a suitable top and bottom hinge welded to the gate frame. Hinges/ fixing brackets to be fixed to wall/ footpath with and including min. 2 no. 10mm Ø x 150mm long H.S.A. (galvanised) anchor bolts.

Gate Bolt and stops:
15mm Ø heavy duty bolt with grab handle complete with 2 no. keeps and staple welded to frame. 20mm Ø x 50mm long galvanised mild steel holder built into wall to take gate bolt. Allow for opening in planking to allow access to bolt. Provide a 80x80x12mm mild steel angle to act as a gate stop, bolted to wall with and including 2 No. 10mm Ø x 150mm long H.S.A. (galvanised) anchor bolts.

Rev. No.	Revision Description	Date
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Project Stage: STAGE II - PLANNING

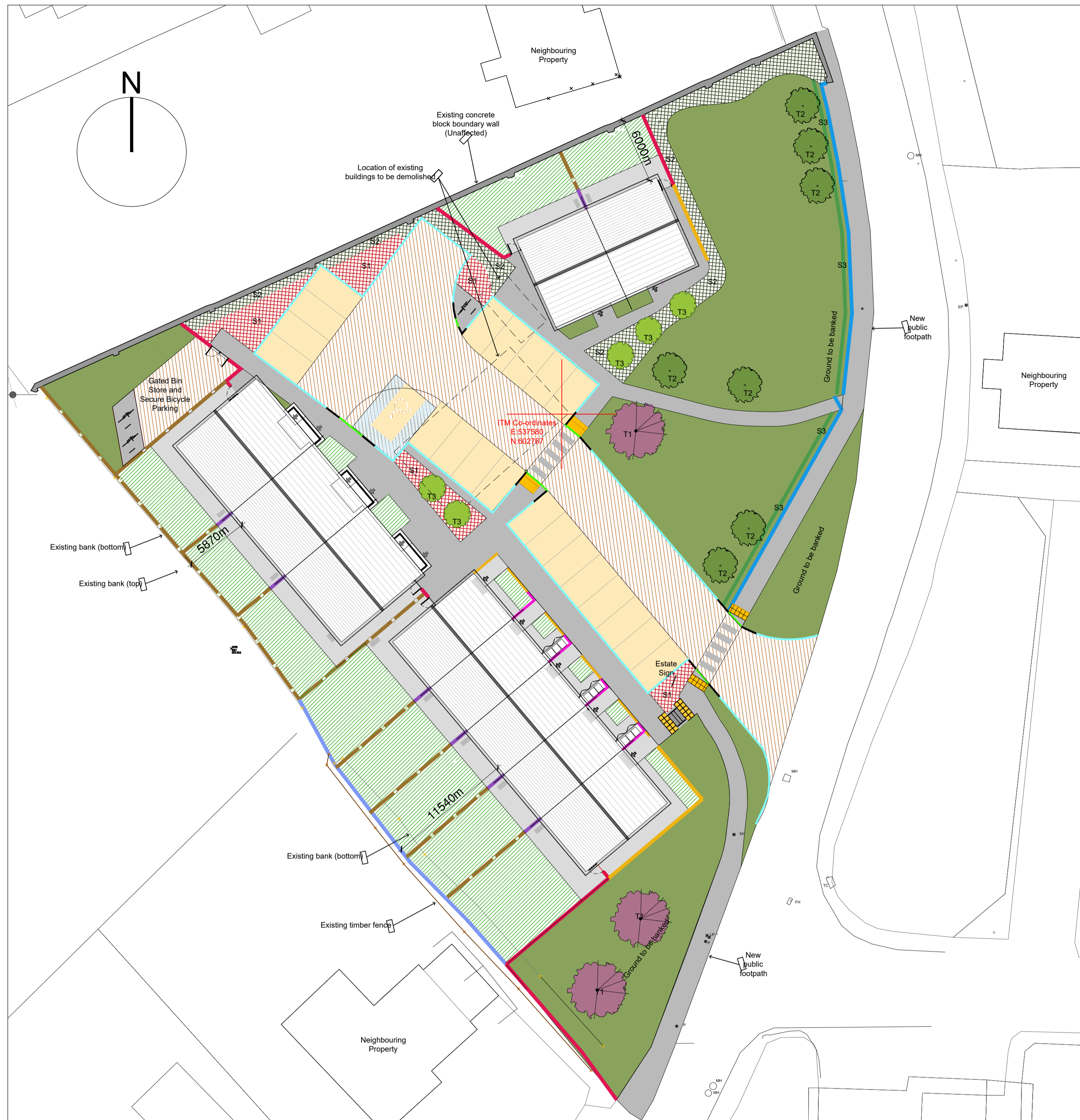
Project Title: 13 Housing Units at Mill Road, Kanturk, Co. Cork.

Drawing Title: Site Layout Plan-Boundaries

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Cork County Council
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Job Reference: N2020003	Sheet: A1	Design Team: Architect: M.M. Technician: K.W. Surveyor: R.B. Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-WD-122	Date: July '23	Scale: 1:250
Date: July '23	Scale: 1:250	Issue for: Planning

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SITE PLAN - LANDSCAPING



Birch - Silver 'Betula pendula'
Ash 'Fraxinus excelsior'
Crab Apple 'Malus sylvestris'

Planting Schedule			
Trees	No	Name	Quantity
T1	Birch - Silver	'Betula pendula'	14-16cm, root-balled, 3
T2	Ash	'Fraxinus excelsior'	14-16cm, root-balled, 1.2 - 1.4m clear stem, 7
T3	Crab Apple	'Malus sylvestris'	10-12cm, bare root, feathered, 5
Hedge Shrub			
S1	Salvia Caradonna; Nepeta Catnip; Lungwort (Pulmonaria spp.)	2lt, pot grown, 20-30cm tall bushy plant	9 per m ²
S2	Guelder Rose Viburnum opulus	2lt, pot grown, 20-30cm tall bushy plant	9 per m ²
S3	Mixed Native Irish Hedgerow: Hawthorn, Rowan/ Mountain Ash, Hornbeam, Hazel	Bare-root whips, 40-80cm tall bushy plant	Minimum 3-4 plants per m

- LAWN AREAS**
All lawn areas to have a soil depth of 200mm of good quality topsoil (See Notes)
- SHRUB PLANTING (S1)**
All shrub areas to have a soil depth of 400mm of good quality topsoil (See Notes)
- SHRUB PLANTING (S2)**
All shrub areas to have a soil depth of 450mm of good quality topsoil (See Notes)
- SHRUB PLANTING (S3)**
All shrub areas to have a soil depth of 450mm of good quality topsoil (See Notes)
- PROPOSED TREES (T1, T2, T3)**
All trees to be planted into topsoil pits with a depth of 800mm x 800mm wide (See Notes)

PLANTING SPECIFICATION
Topsoil
 All topsoil shall be subject to inspection and approval of the Landscape Architect before being spread. Topsoil shall conform to BS 3882, parts 1-5 and shall be free draining sandy loam. Topsoil shall be free of stones over 40mm in diameter and stones over 10mm shall not exceed 5% by weight. Topsoil shall be free from subsoil, sods, sharps, plastics and non-soil forming materials and shall not carry known plant or animal diseases. Soils from woodland, heath, bog or contaminated lands shall not be used. Topsoil shall be friable, well aerated and with a good crumb structure. Topsoil shall not be obtained from a site subject to water logging. Topsoil shall be free from persistent weeds, including docks, nettles, thistles, ragwort, Japanese Knotweed, spear thistle, Himalayan Balsam, Giant Hogweed and Couch Grass. The contractor shall verify in writing the location and type of source used in supplying topsoil.

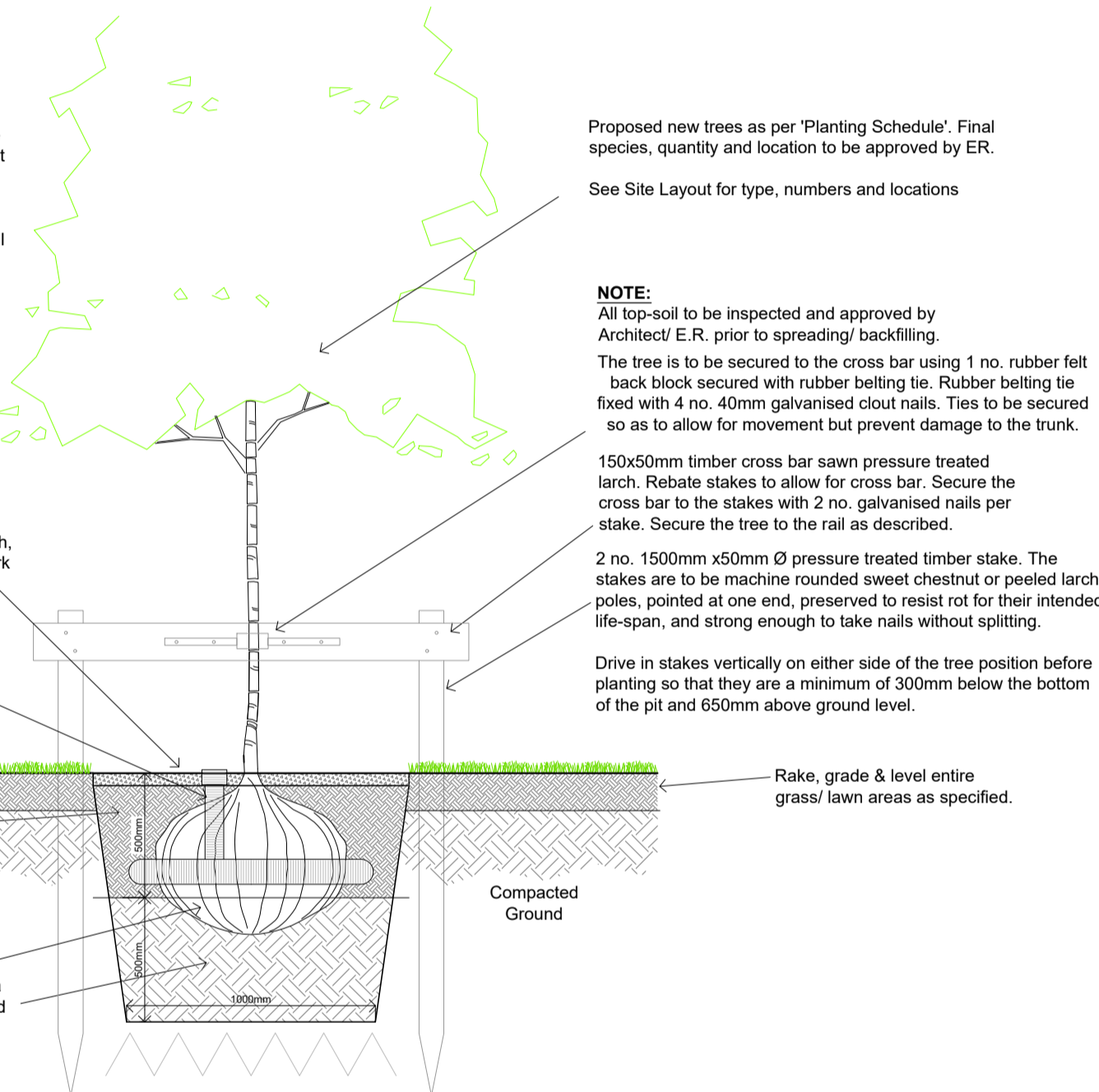
Proposed lawns
 A 200mm layer of imported topsoil to be spread over the entire surface. Soil levels to be raised with a suitable layer of subsoil no less than 300mm deep below finished topsoil layer. Topsoil to be cultivated to a fine tilth, graded and raked of any stone and debris greater than 50mm and disposed of to a licensed disposal site. Where there is an extended period before seeding soil should be treated with a herbicide to remove existing weeds prior to cultivation. Grass seed growing rates shall be according to seed supplier's recommendations and approved by the Landscape Architect. Seeding shall be carried out in two equal traverse passes. The seed shall be lightly raked manually on small areas. On larger areas, the seed shall be mechanically sown with a seeder so that it is lightly narrowed and rolled in situ. Grass seed mix shall be an amenity no. 2 lawn seed mix. Soil level to lie flush with top of surrounding kerbs, footpaths and service covers. Soil should be spread in such a way that settling will not occur after job is complete.

Trees
 Extra heavy standard trees to be planted in 1.0m x 1.0m x 1.0m tree pits and backfilled with topsoil and slow-release fertiliser to manufacturers recommended rates. See tree planting support details. Root-balled trees shall comply with sections 1 & 2 of BS 4043:1989. Recommendations for transplanting root-balled trees as well as BS 3936: 1993, Nursery stock, part 1, specification for trees and shrubs. All trees to be watered-in thoroughly once planted. Root-balled trees to be lifted from nursery during dormant season only. Trees with a girth size between 12-15cm to be double staked and supported with a timber cross bar as illustrated. Trees with a girth between 10-12cm shall be single staked and supported with a rubber strap and rubber collar. Soil level around base of trees to be same depth as in nursery.

Proposed planting areas
 A 450mm layer of topsoil to be spread over all proposed shrub planting beds. A 450mm deep x 750mm wide trench to be dug and backfilled with good quality topsoil for all proposed hedge planting areas. See topsoil specification above. See Topsoil specification above for more details. All soil levels are to be flush with top of surrounding footpaths, kerbs and service covers. Ensure soil does not drop below these levels once settling has occurred. See plant schedule for list of plants and specifications. All tree, hedging and shrub locations are indicated on drawing. Slow-release fertiliser to be spread over all planting areas to manufacturers recommended rates. Mulching All beds where Hydrangea shrubs, Berberis shrubs and Prunus lusitana hedging is planted shall be covered with a 50mm layer of dry composted manure from Gee-Up, Blarney, Co.Cork or equivalent.

PLANTING NOTES:

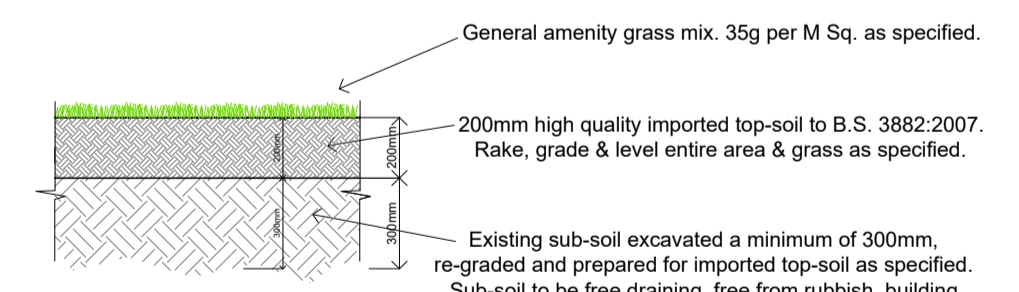
At the time of planting, the soil shall be moist and friable and not frozen, excessively dry, or water logged.
 The excavated hole shall be of sufficient size to accommodate the root-ball and the stock shall be planted so that after any settlement it is the same depth as it was grown in the nursery. The sides and base of the planting pit shall be broken up before planting.
 The planting hole shall be backfilled around the plant, the soil shall be lightly firmed to ensure that there is good contact between the root ball and soil substrate.
 Water plants once planted.



Proposed new trees as per 'Planting Schedule'. Final species, quantity and location to be approved by ER.
 See Site Layout for type, numbers and locations.
NOTE:
 All top-soil to be inspected and approved by Architect/ E.R. prior to spreading/ backfilling.
 The tree is to be secured to the cross bar using 1 no. rubber felt back block secured with rubber belling tie. Rubber belling tie fixed with 4 no. 40mm galvanised clout nails. Ties to be secured so as to allow for movement but prevent damage to the trunk.
 150x50mm timber cross bar sawn pressure treated larch. Rebate stakes to allow for cross bar. Secure the cross bar to the stakes with 2 no. galvanised nails per stake. Secure the tree to the rail as described.
 2 no. 1500mm x50mm Ø pressure treated timber stake. The stakes are to be machine rounded sweet chestnut or peeled larch poles, pointed at one end, preserved to resist rot for their intended life-span, and strong enough to take nails without splitting.
 Drive in stakes vertically on either side of the tree position before planting so that they are a minimum of 300mm below the bottom of the pit and 650mm above ground level.
 Rake, grade & level entire grass/ lawn areas as specified.

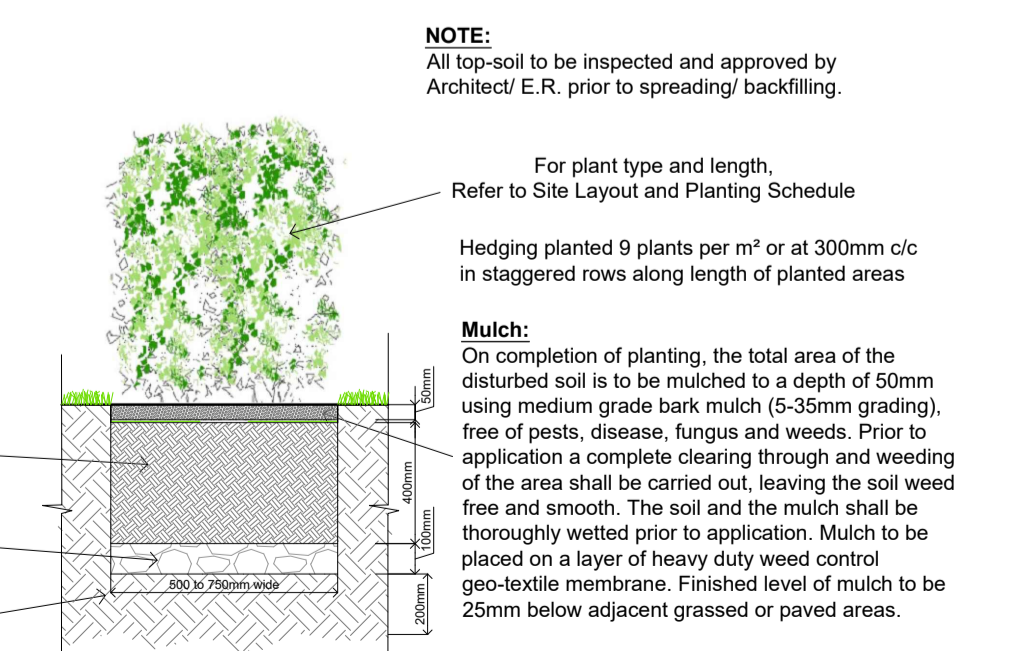
STAKED TREE WITH ROOT-BALL DETAIL

SCALE 1:25



TYPICAL LAWN/ GRASSED AREA DETAIL

SCALE 1:25

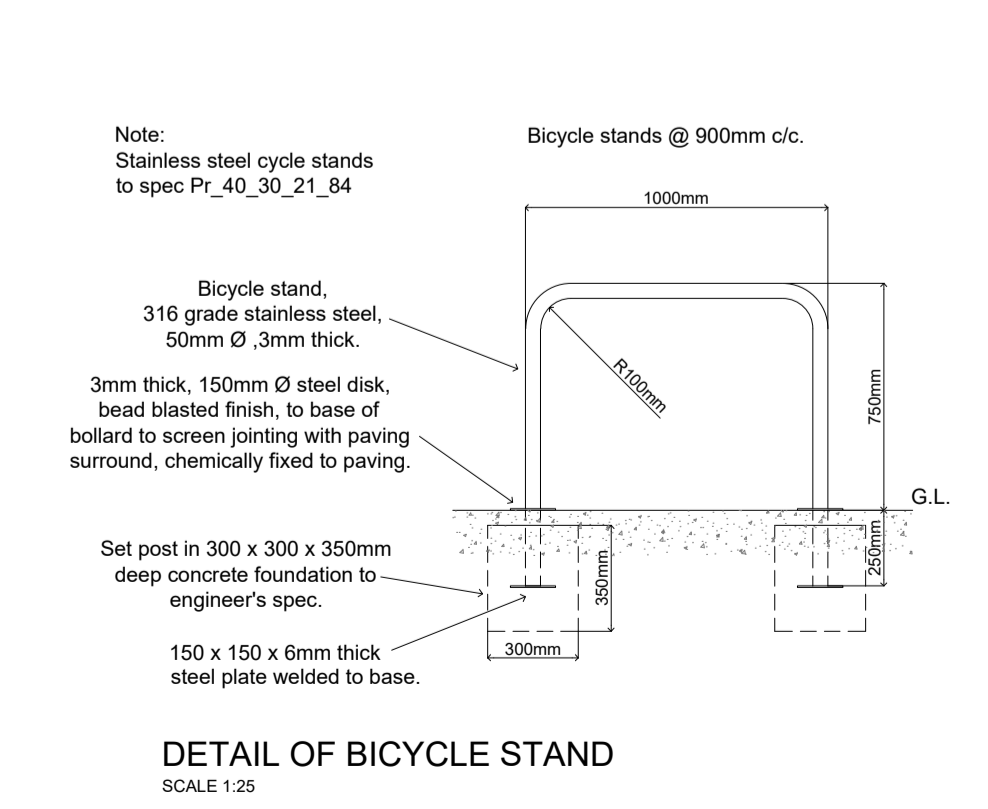
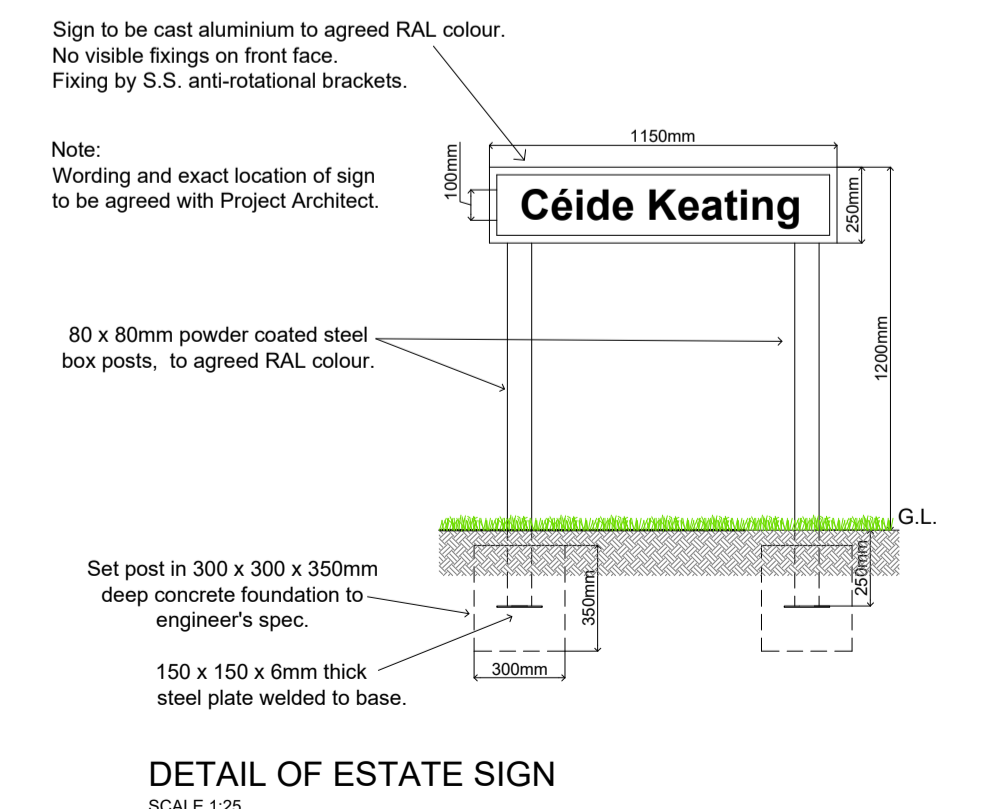


TYPICAL HEDGING/ SHRUB DETAIL

SCALE 1:25

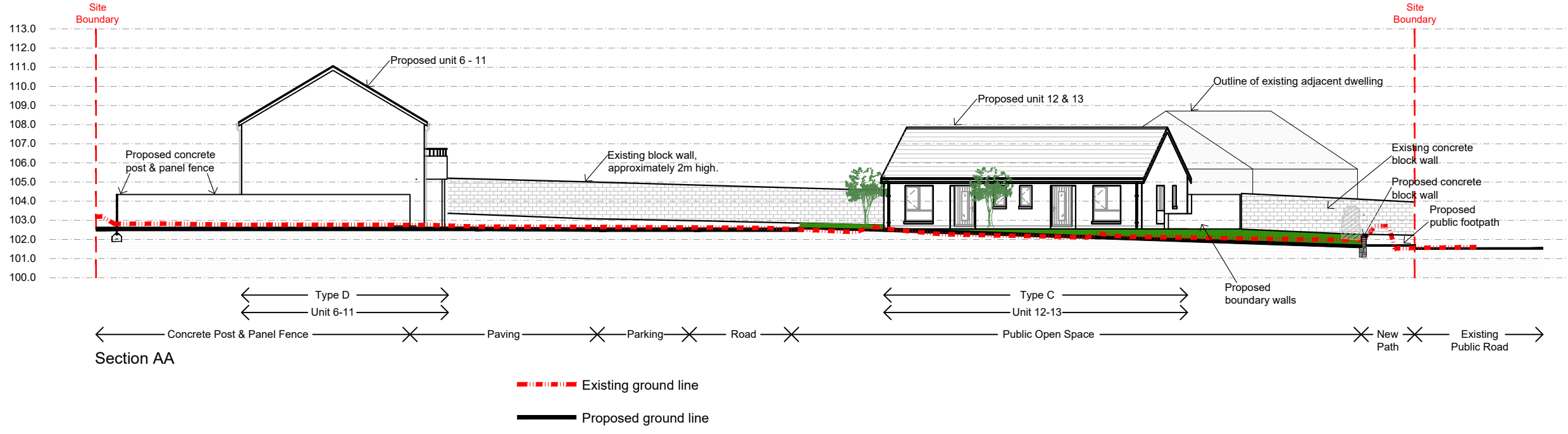
LANDSCAPING KEY (see landscaping drawing)

- Trees (Types T1, T2, T3)
- Hedge/ Shrub Planting (S1)
- Hedge/ Shrub Planting (S2)
- Hedge/ Shrub Planting (S3)
- Public Grassed Area
- Private Grassed Garden
- Concrete Footpath
- Asphalt Parking Area
- Asphalt Road and Turning Bay

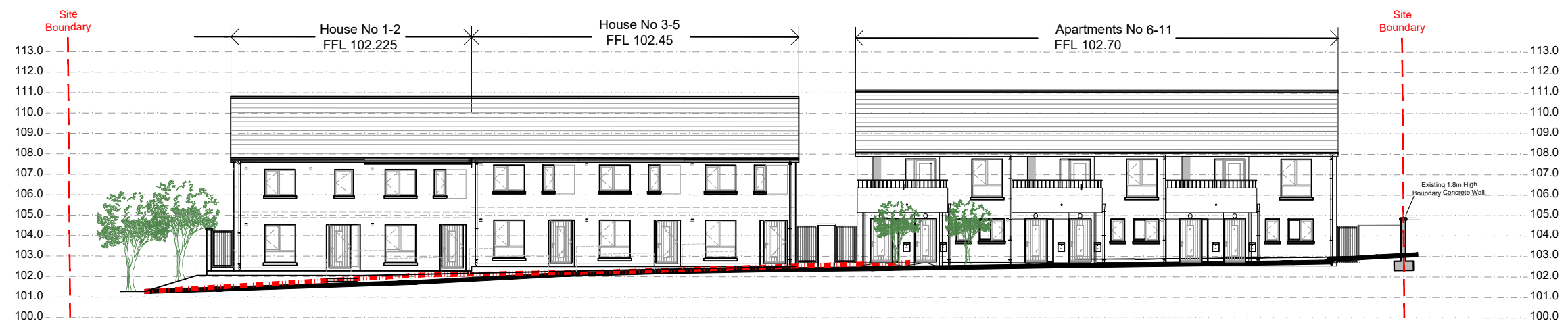


Rev. No.	Revision Description	Date
Project Stage:	STAGE II - PLANNING	
Project Title:	13 Housing Units at Mill Road, Kanturk, Co. Cork.	
Drawing Title:	Site Layout Plan-Landscaping	
<p>Conhairle Contae Chorcaí Ailtirí Stiúthóiríocht Títhíochta</p> <p>Cork County Council Architects Housing Directorate</p> <p>County Hall, Cork Tel: (021) 4285433 e-mail: architects.housing@corkcoco.ie</p>		
Job Reference:	Sheet:	Design Team:
N2020003	A1	Architect: M.M. Technician: K.W. Surveyor: R.B. Sr. Architect: R. Henry
Dwg. No.:	Issue for:	
DR-CCC-A-WD-123	Planning	
Date:	Scale:	
July '23	1:25	

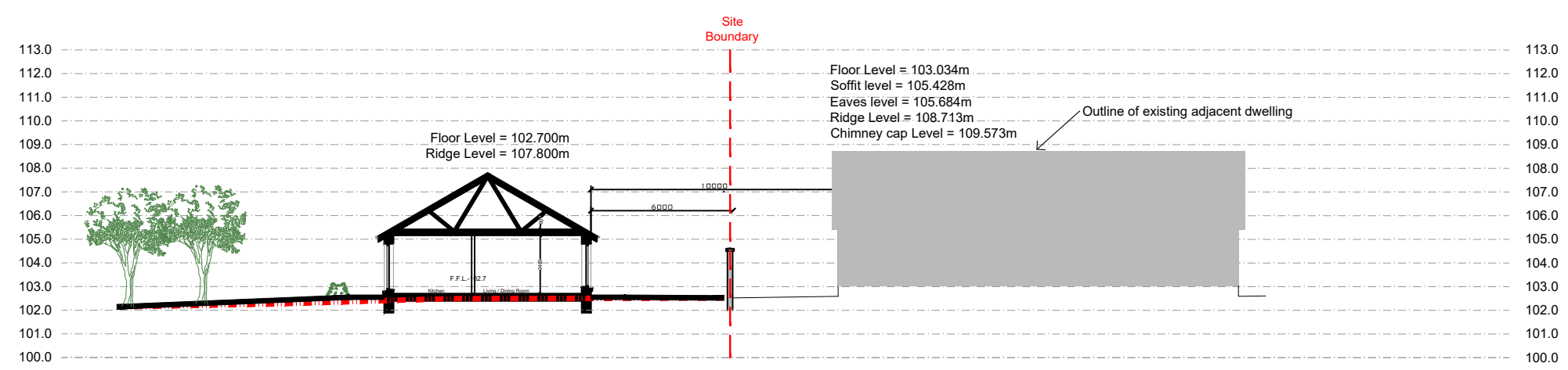
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Section AA





Section BB - Street Elevation

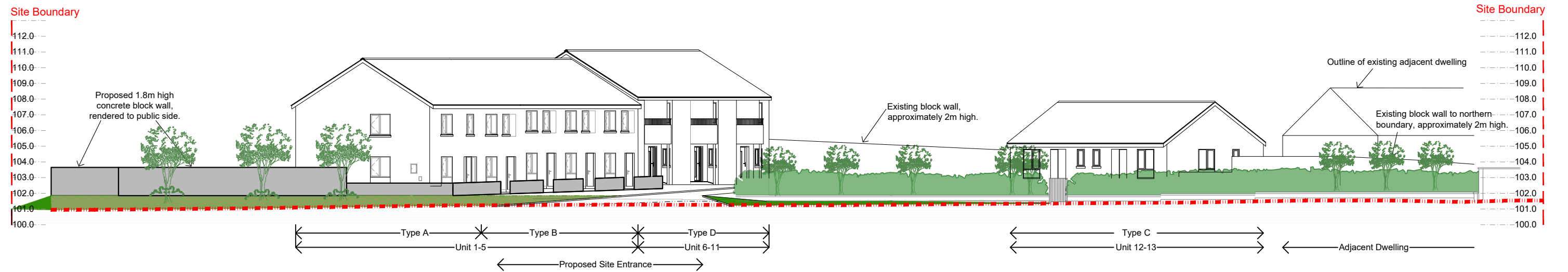


Section EE - Thru' House No.13

Rev. No.	Revision Description	Date
Project Stage: STAGE II - PLANNING		
Project Title: Proposed Housing Development Mill Road, Kanturk		
Drawing Title: Section AA - Through Mill Road Section BB - Through Mill Road		
 Conhairle Contae Chorcaí Alltírí Stúirthóireacht Tithíochta Cork County Council Architects Housing Directorate County Hall, Cork Tel: (021) 4285433 e-mail: architects.housing@corkcoco.ie		

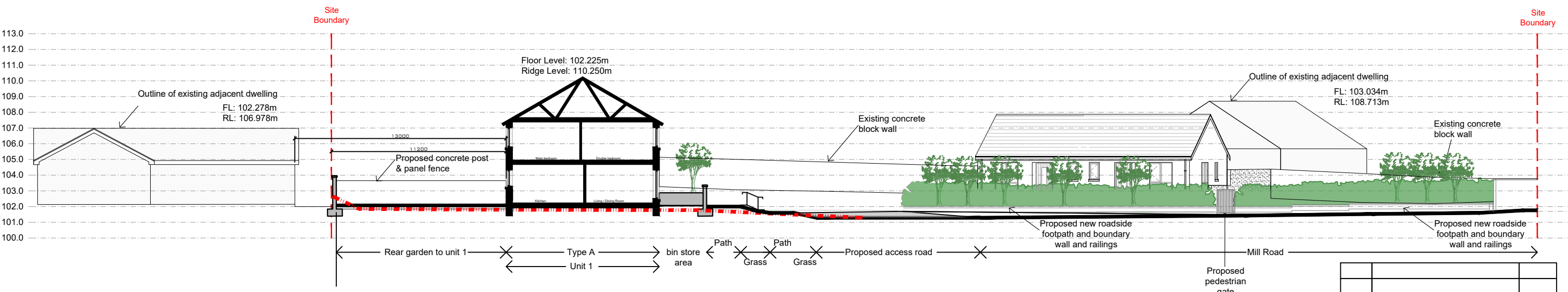
Job Reference: N2020003	Sheet: A3	Design Team: Architect: MM Technician: KW Surveyor: RB Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-PL-140	Date: July 23	Scale: 1:250
Issue for: Planning		 

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Section CC - Section through Mill Road

Existing road line to front of site.



Section DD

Existing ground line
 Proposed ground line

Rev. No.	Revision Description	Date

Project Stage: STAGE II - PLANNING

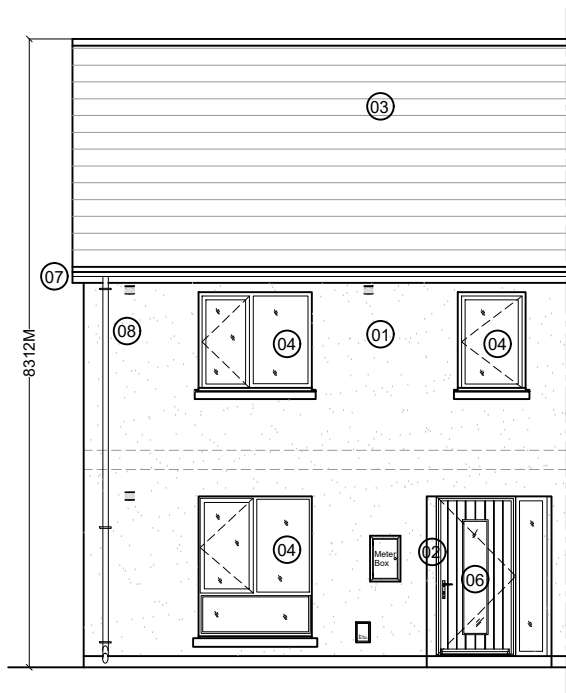
Project Title: Proposed Housing Development
 Mill Road, Kanturk

Drawing Title: Section CC - Through Mill Road
 Section DD - Through Mill Road

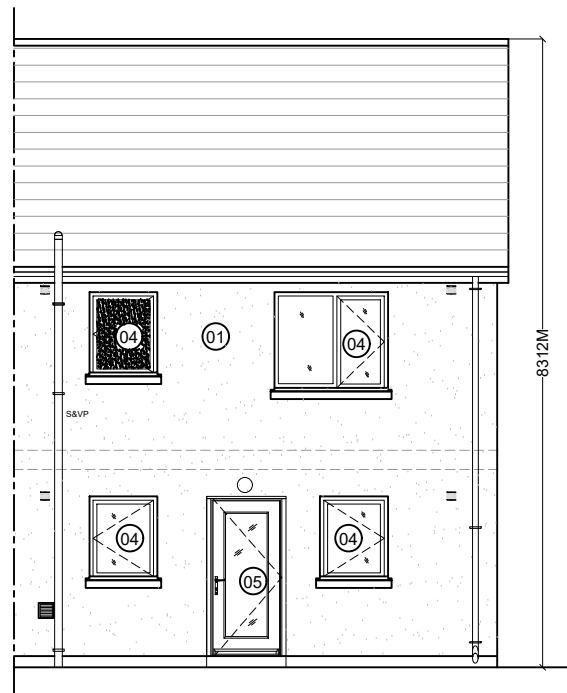
Conhairle Contae Chorcaí
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Cork County Council
 Architects | Housing Directorate
 County Hall, Cork
 Tel: (021) 4285433
 e-mail: architects.housing@corkcoco.ie

Job Reference: N2020003	Sheet: A3	Design Team: Architect: MM Technician: KW Surveyor: RB Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-PL-141	Date: July 23	Scale: 1:250
Issue for: Planning		

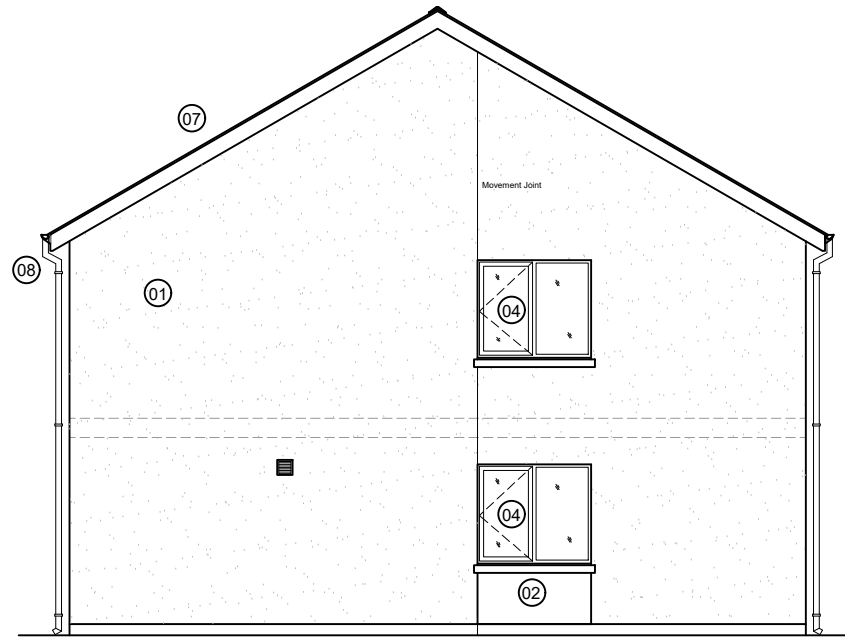
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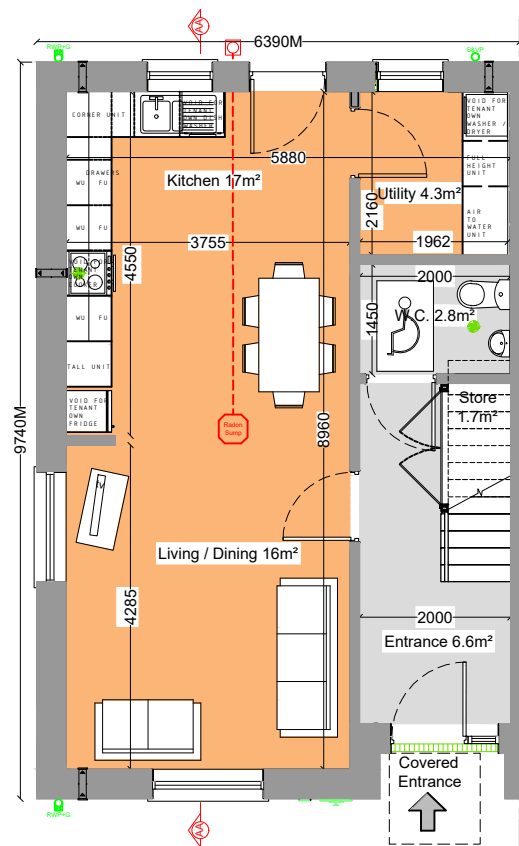
Front Elevation



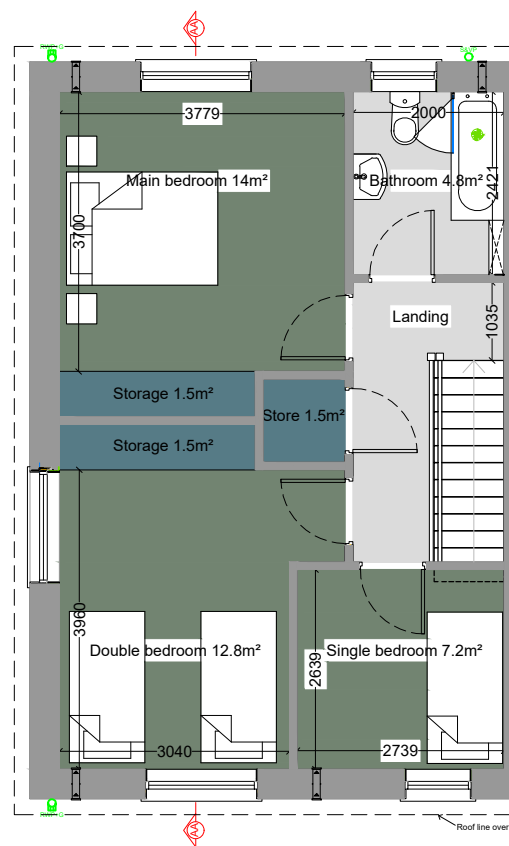
Rear Elevation



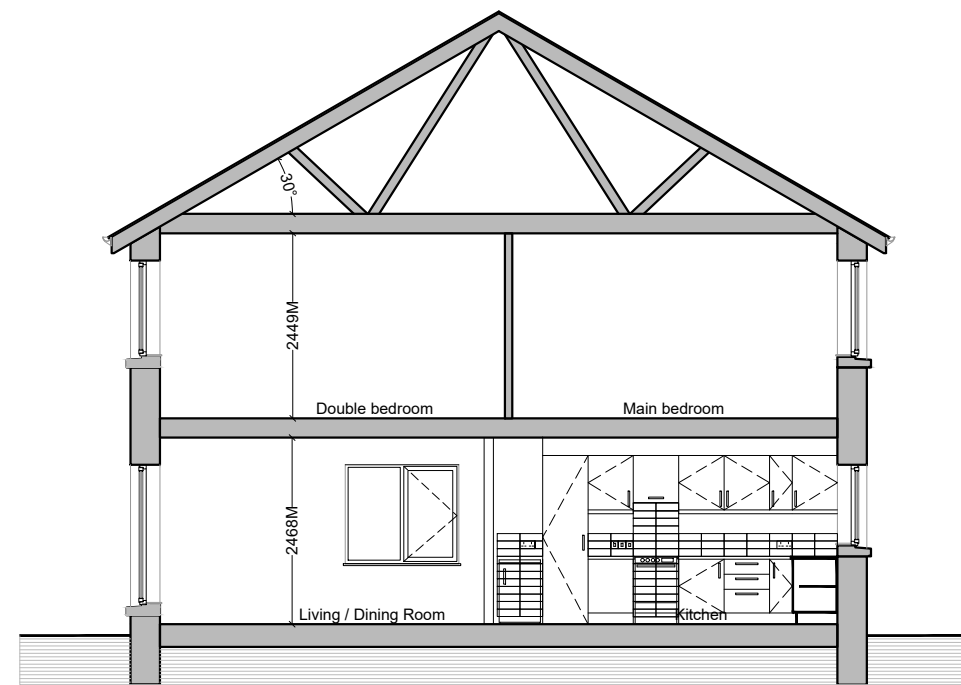
Side Elevation - End of Terrace - No.1



Ground Floor Plan - 51.4m²
 House Type A
 3 Bed End of Terrace (No.1)



First Floor Plan - 50.2m²



Section AA

LEGEND:

- 01: Wet-dash render finish to selected colour
- 02: Smooth render finish to selected colour
- 03: Fibre cement slate, blue-black in colour
- 04: Dark uPVC windows to selected colour
- 05: Dark uPVC door/ window set to selected colour
- 06: Composite engineered door with a hardwood finish to selected colour
- 07: Dark uPVC fascia to selected colour
- 08: Dark uPVC rainwater goods to selected colour

Rev. No.	Revision Description	Date

Project Stage: STAGE II - PLANNING

Project Title: Proposed Housing Development
 Mill Road, Kanturk

Drawing Title: House Type A - 3 Bed End of Terrace
 Plans, Elevations & Section

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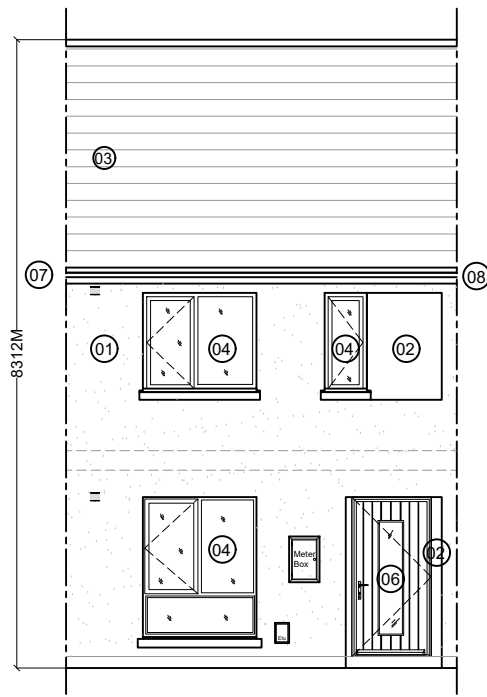
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3 BED/ 5P HOUSE (2 STOREY)	92.0	13	34	32	5
Proposed 3 BED (Type A)	101.6	16	37.3	34	6.2

Job Reference: N2020003
 Sheet: A3
 Design Team: Architect: MM, Technician: KW, Surveyor: RB, Snr. Architect: R. Henry

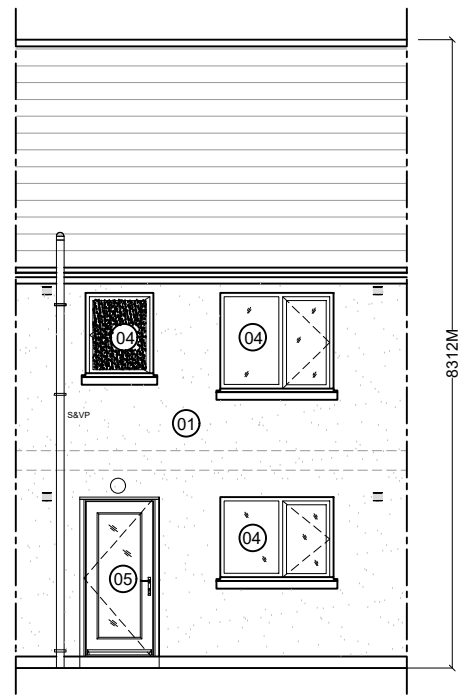
Dwg. No.: DR-CCC-A-PL-200

Date: July 23
 Scale: 1:100
 Issue for: Planning

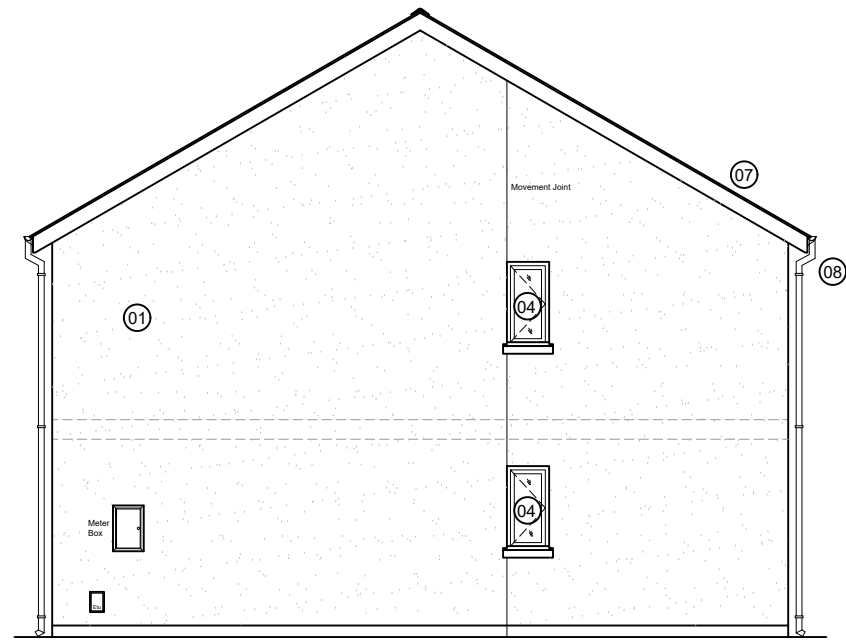
2040



Front Elevation



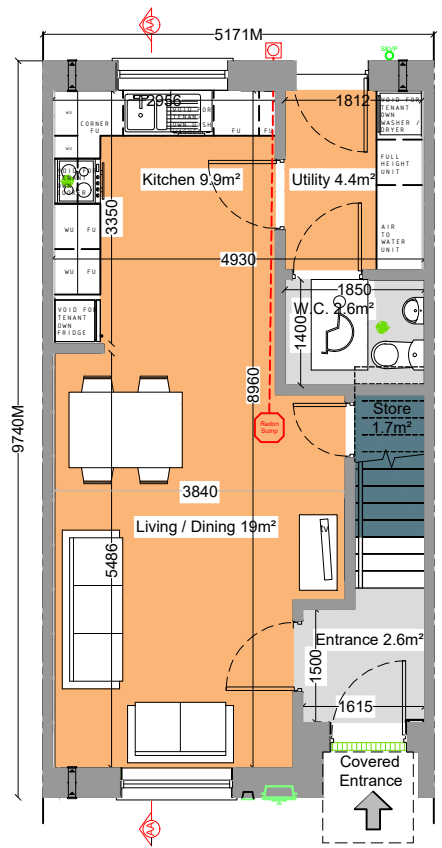
Rear Elevation



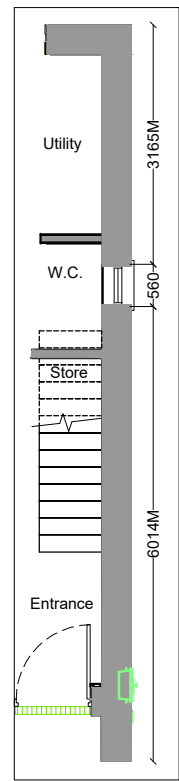
Side Elevation - End of Terrace - No.5

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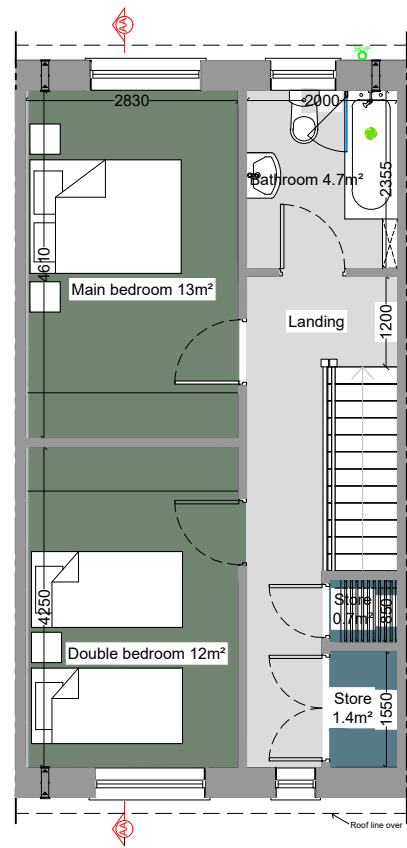
House Type B - 87m²
 2 Bed Terrace Mid Terrace (No.2 to 5)



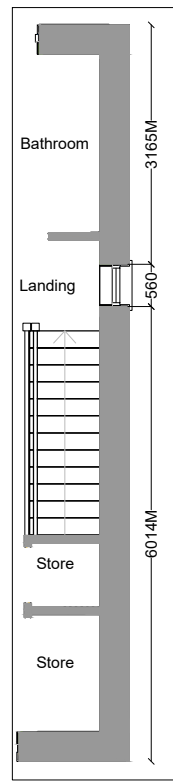
Typical Ground Floor Plan - 43m²



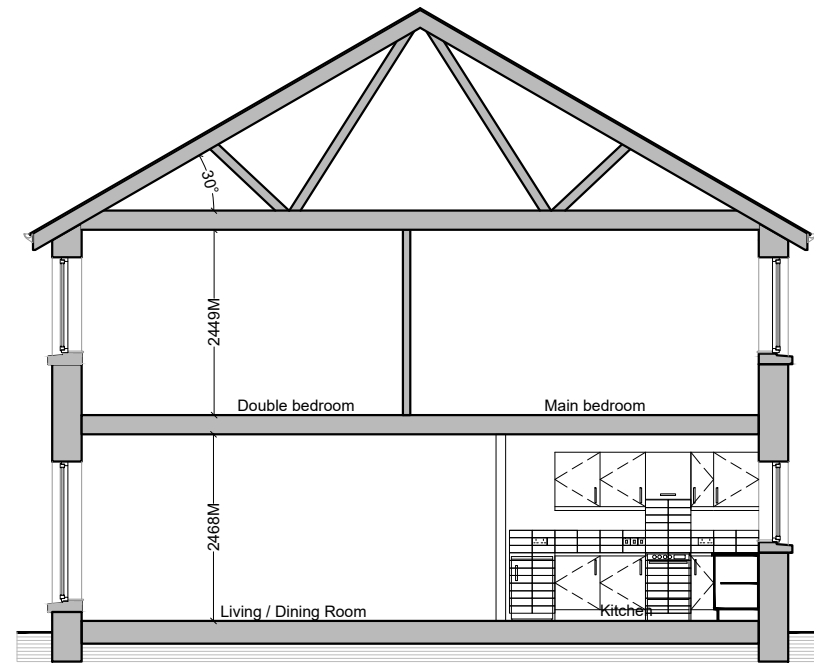
Gable Wall Detail
 Ground Floor Plan
 No. 5 - End of Terrace



Typical First Floor Plan - 44m²



Gable Wall Detail
 First Floor Plan
 No. 5 - End of Terrace



Section AA

LEGEND:

- 01: Wet-dash render finish to selected colour
- 02: Smooth render finish to selected colour
- 03: Fibre cement slate, blue-black in colour
- 04: Dark uPVC windows to selected colour
- 05: Dark uPVC door/ window set to selected colour
- 06: Composite engineered door with a hardwood finish to selected colour
- 07: Dark uPVC fascia to selected colour
- 08: Dark uPVC rainwater goods to selected colour

House Type B - 87m²
 2 Bed Terrace Mid Terrace (No.2 to 5)

	TARGET GROSS FLOOR AREA (M ²)	MINIMUM MAIN LIVING ROOM AREA (M ²)	AGGREGATE LIVING AREA (M ²)	AGGREGATE BEDROOM AREA (M ²)	STORAGE AREA (M ²)
2 BED/ 4P HOUSE (2 STOREY)	80.0	13	30	25	4
Proposed 2 BED (Type B)	87	19	33	25	3.8

Rev. No.	Revision Description	Date
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Project Stage: STAGE II - PLANNING

Project Title: Proposed Housing Development
 Mill Road, Kanturk

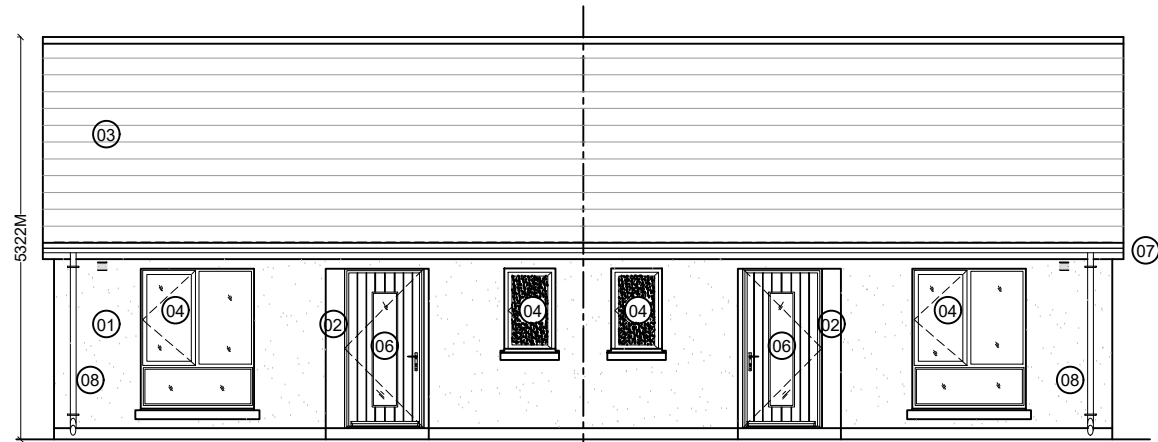
Drawing Title: House Type B - 2 Bed Terrace
 Plans, Elevations & Section

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Job Reference: N2020003	Sheet: A3	Design Team: Architect: MM, Technician: KW, Surveyor: RB, Snr. Architect: R. Henry
Dwg. No.: DR-CCC-A-PL-201	Date: July 23	Scale: 1:100
Date: July 23	Scale: 1:100	Issue for: Planning

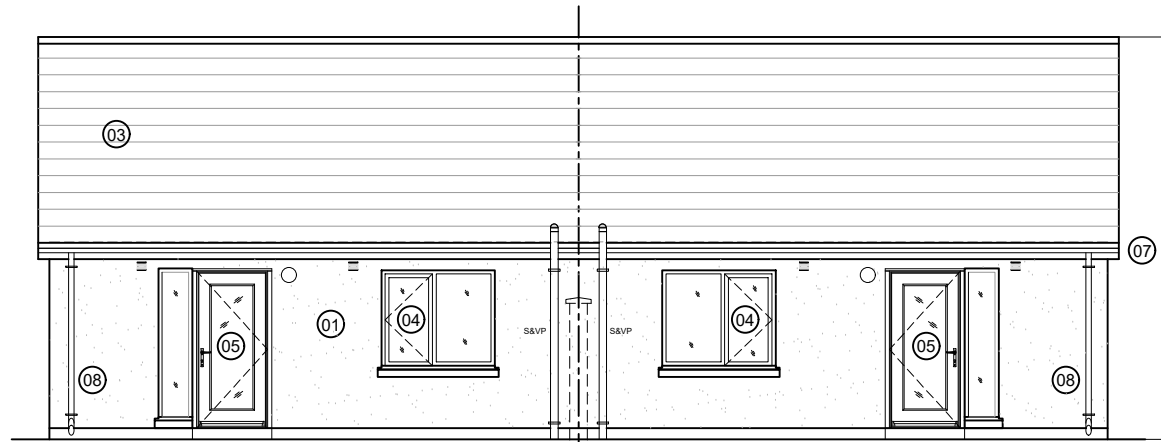


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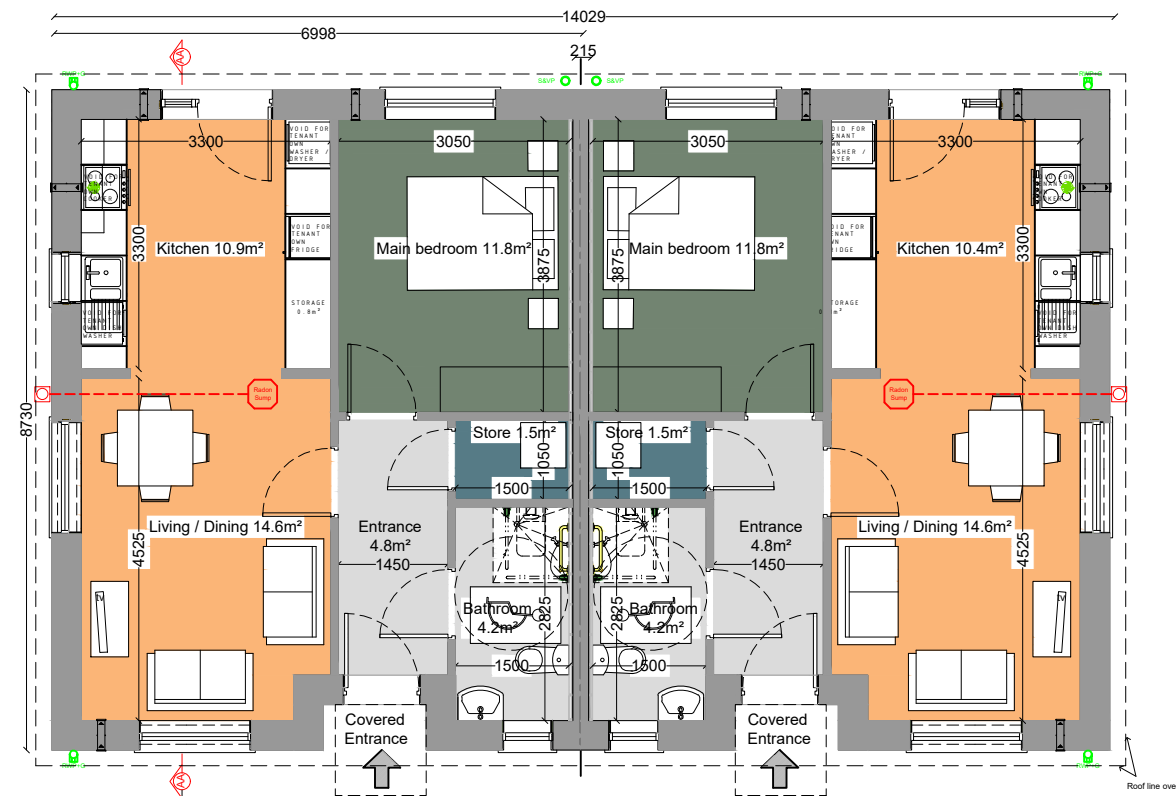
Front Elevation (No. 12)

Front Elevation (No. 13)



Rear Elevation (No. 13)

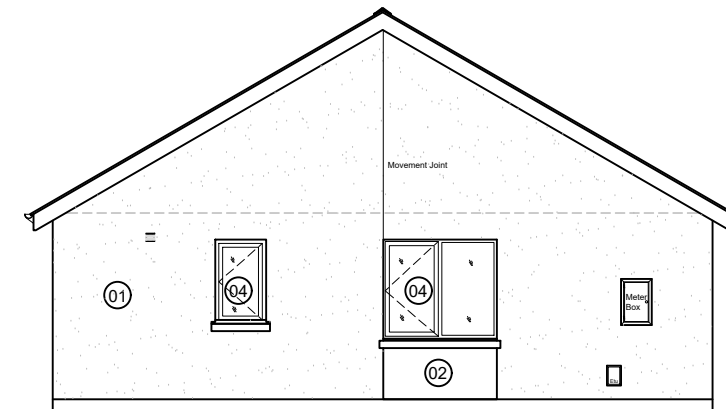
Rear Elevation (No. 12)



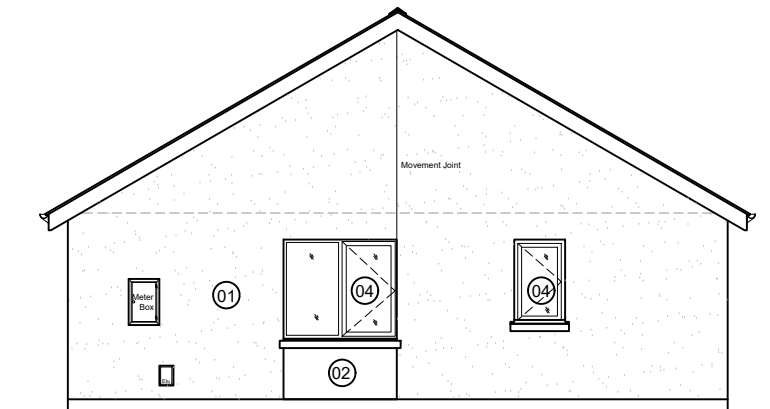
Ground Floor Plan

House Type C - 49.9m²
 1 Bed Semi Detached Bungalow (No.12 & 13)

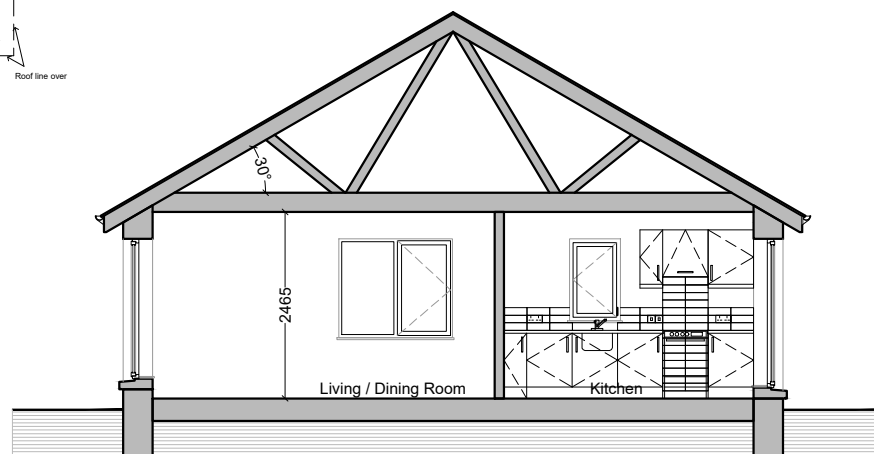
	TARGET GROSS FLOOR AREA	MINIMUM MAIN LIVING ROOM AREA	AGGREGATE LIVING AREA	AGGREGATE BEDROOM AREA	STORAGE AREA
	(M ²)	(M ²)	(M ²)	(M ²)	(M ²)
1 BED/ 2P HOUSE (1 STOREY)	44.0	11	23	11	2
1 BED (Type C) - Kanturk Proposed	49.9	14.6	25.5	11.8	2.3



Side Elevation (No. 12)



Side Elevation (No. 13)



Section AA

LEGEND:

- 01: Wet-dash render finish to selected colour
- 02: Smooth render finish to selected colour
- 03: Fibre cement slate, blue-black in colour
- 04: Dark uPVC windows to selected colour
- 05: Dark uPVC door/ window set to selected colour
- 06: Composite engineered door with a hardwood finish to selected colour
- 07: Dark uPVC fascia to selected colour
- 08: Dark uPVC rainwater goods to selected colour

Rev. No.	Revision Description	Date

Project Stage:	STAGE II - PLANNING
Project Title:	Proposed Housing Development Mill Road, Kanturk
Drawing Title:	House Type C - 1 Bed Bungalow Plans, Elevations & Sections

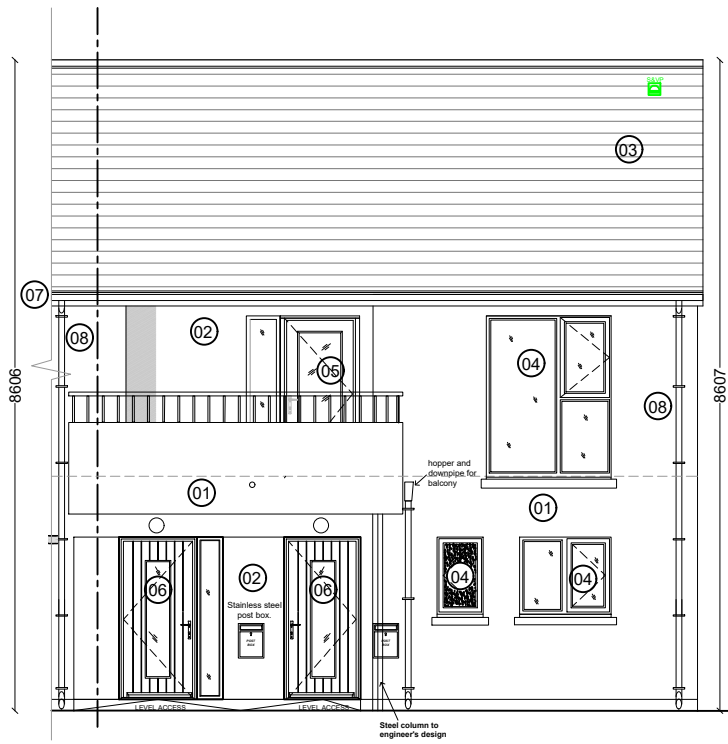
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Cork County Council
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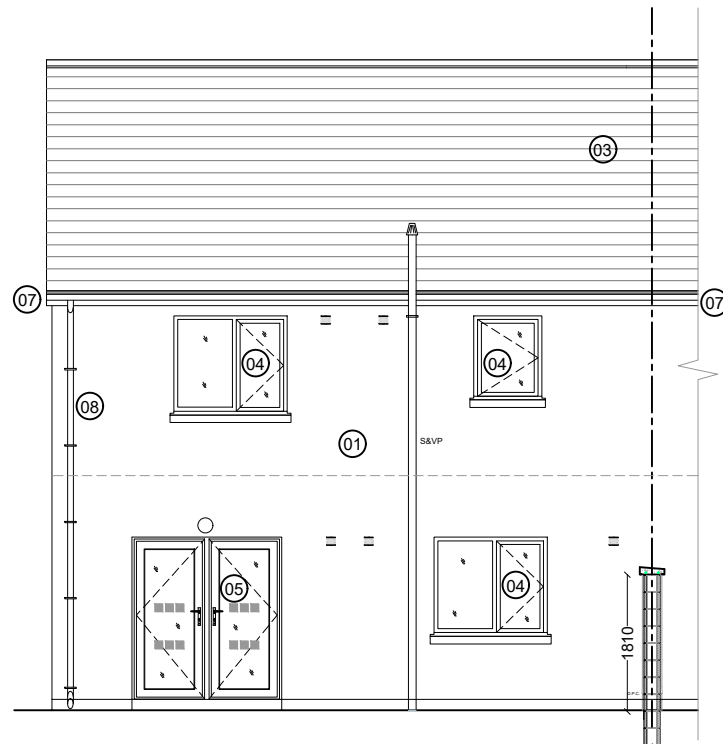
County Hall, Cork
 Tel: (021) 4285433
 e-mail: architects.housing@corkcoco.ie

Job Reference:	N2020003	Sheet:	A3	Design Team:	Architect: MM Technician: KW Surveyor: RB Snr. Architect: R. Henry
Dwg. No.:	DR-CCC-A-PL-202	Date:	July 23	Scale:	1:100
Date:	July 23	Issue for:	Planning		

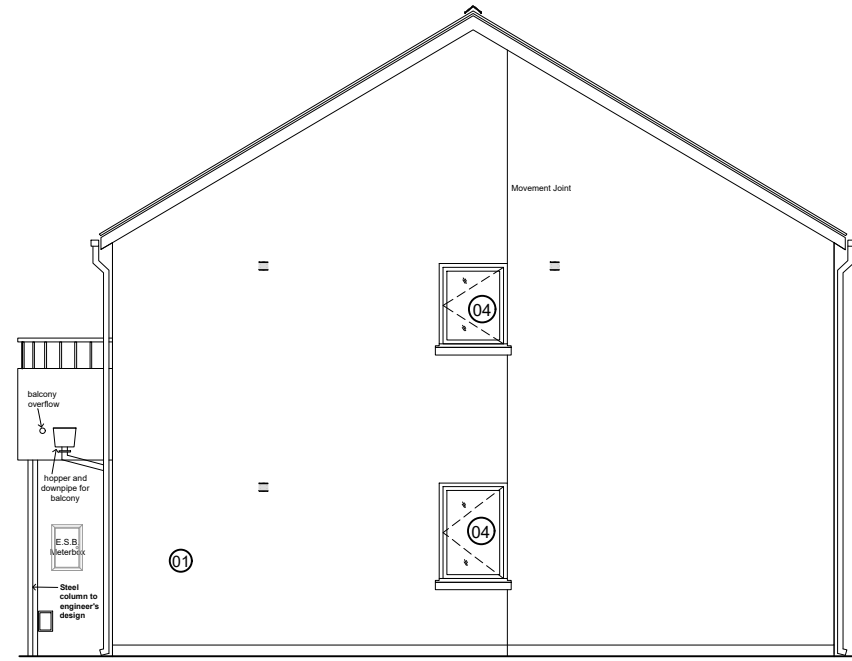
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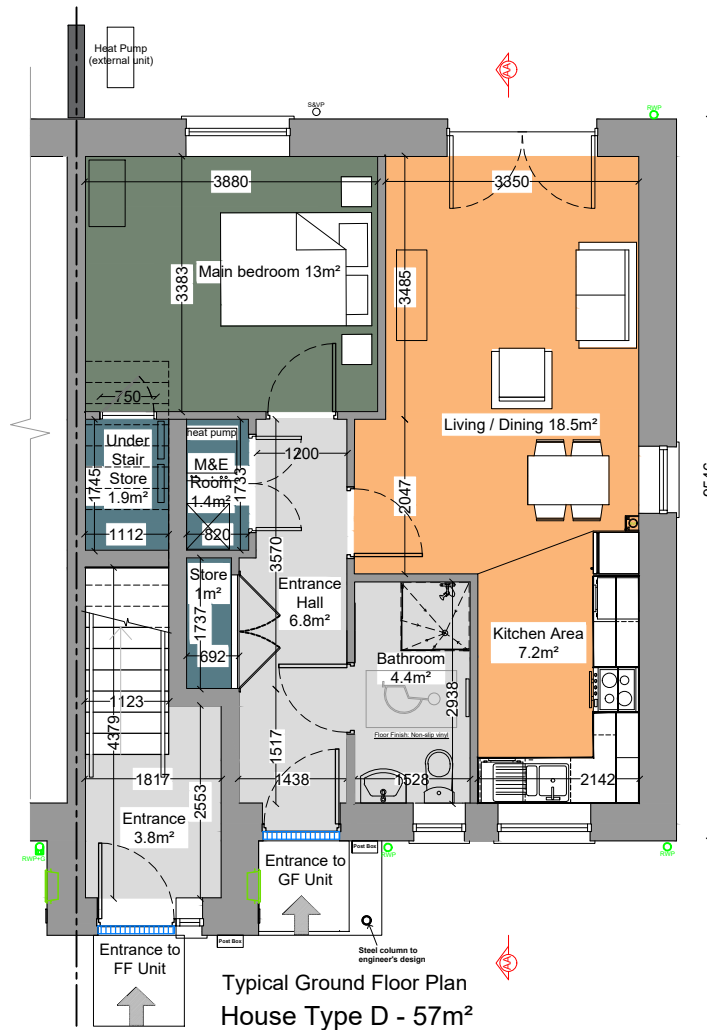
Typical Front Elevation (No.6 to 11)



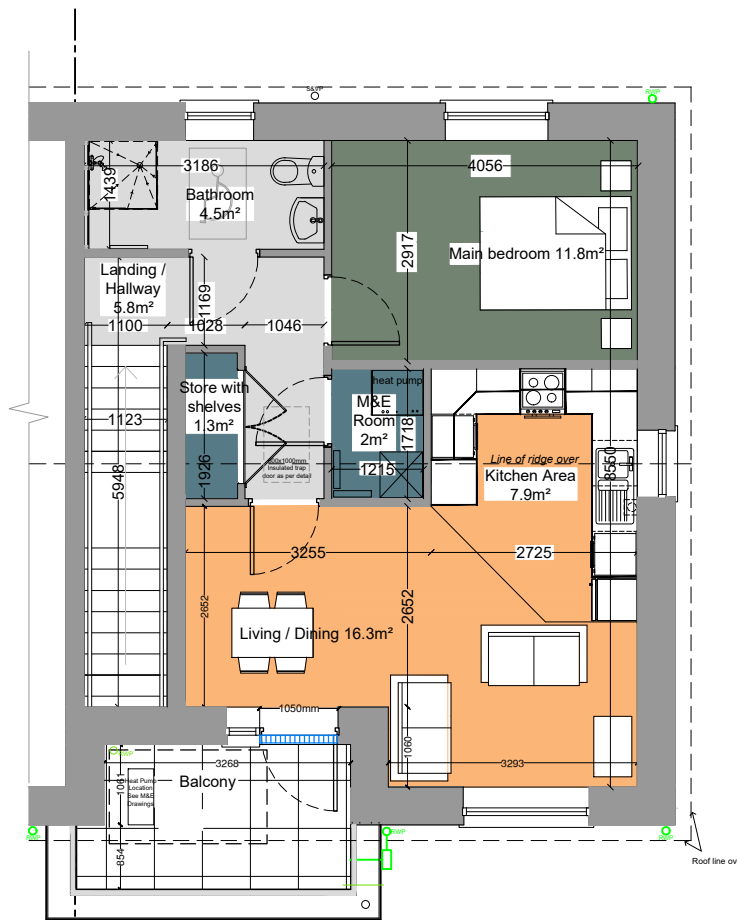
Typical Rear Elevation (No.6 to 11)



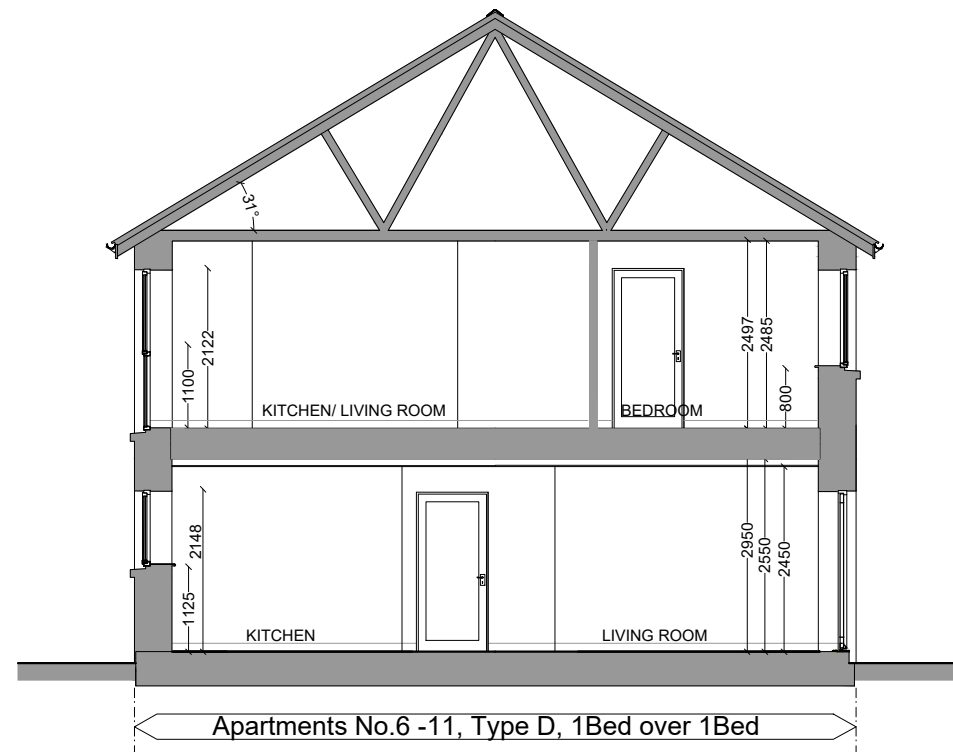
Side Elevation (No.10 & 11)



1 Bed Ground Floor Apartment (No.7, 9 & 11)



1 Bed First Floor Apartment (No.6, 8 & 10)



Section AA

- LEGEND:**
- 01: Wet-dash render finish to selected colour
 - 02: Smooth render finish to selected colour
 - 03: Fibre cement slate, blue-black in colour
 - 04: Dark uPVC windows to selected colour
 - 05: Dark uPVC door/ window set to selected colour
 - 06: Composite engineered door with a hardwood finish to selected colour
 - 07: Dark uPVC fascia to selected colour
 - 08: Dark uPVC rainwater goods to selected colour

Rev. No.	Revision Description	Date

Project Stage: STAGE II - PLANNING
 Project Title: Proposed Housing Development
 Mill Road, Kanturk
 Drawing Title: House Type D - 1 Bed over 1 Bed Apartment
 Plans, Elevations & Section

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 e-mail: architects.housing@corccoco.ie

Ground Floor Unit No's: 7, 9 & 11	TARGET GROSS FLOOR AREA (M²)	MINIMUM MAIN LIVING ROOM AREA (M²)	AGGREGATE LIVING AREA (M²)	AGGREGATE BEDROOM AREA (M²)	STORAGE AREA (M²)
1 BED/ 2P APARTMENT Guidelines	45.0	11	23	11	3
1 BED (Type D) - Kanturk Proposed	57	18.5	25.7	13.0	2.9

First Floor Unit No's: 6, 8 & 10	TARGET GROSS FLOOR AREA (M²)	MINIMUM MAIN LIVING ROOM AREA (M²)	AGGREGATE LIVING AREA (M²)	AGGREGATE BEDROOM AREA (M²)	STORAGE AREA (M²)
1 BED/ 2P APARTMENT Guidelines	45.0	11	23	11	3
1 BED (Type D) - Kanturk Proposed	52.0	16.3	24.2	11.8	3.3

Job Reference: N2020003
 Sheet: A3
 Design Team: Architect: MM, Technician: KW, Surveyor: RB, Snr. Architect: R. Henry
 Dwg. No.: DR-CCC-A-PL-203
 Date: July 23
 Scale: 1:100
 Issue for: Planning
 2040

