

Comhairle Contae Chorcaí Cork County Council

NBI Infrastructure DAC,
c/o Lungelo Nkosi,
Entrust Ltd.,
Unit 1D Deerpark Business Centre,
Oranmore,
Co. Galway.
H91 X599.

Pleanáil agus Forbairt,
Halla an Chontae,
Bóthar Charraig Ruacháin,
Corcaigh T12 R2NC.
Fón: (021) 4276891
R-phost: planninginfo@corkcoco.ie
Suíomh Gréasáin: www.corkcoco.ie
Planning & Development,
County Hall,
Carrigrohane Road, Cork T12 R2NC.
Tel (021) 4276891
Email: planninginfo@corkcoco.ie
Web: www.corkcoco.ie



23rd November 2023

REF: D/286/23
LOCATION: Grenagh GAA, Grenagh North, Grenagh, Co. Cork

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Sirs,

On the basis of the information submitted by you on 2nd October and 6th November 2023 the Planning Authority, having considered the question whether or not the installation of electronic communications apparatus that is described as:

- A cabin to be painted green to be located within the Grenagh GAA on the western side of the southernmost pitch accessed off local road between Clonard Avenue to the east and Waterloo Road to the west.
- The cabin measures 3 m (length) x 3 m (width) x 3 m (height) on 3,6 m x 3,6 m concrete plinth.
- Proposed concrete steps to be constructed to allow pedestrian access to proposed NBI compound.
- Ducting, cabling, earth pits, cabinets, chambers, mini pillar and all ancillary development thereto. Access to the site is gained from an existing access over property with Folio No. CK10257F and the site compound is on property with Folio No. CK149033F and consent for the proposal has been sought from both owners

at **Grenagh GAA, Grenagh North, Grenagh, Co. Cork** is or is not development and is or is not exempted development has declared that it **is development and is exempted development.**

Reason for Decision

The Planning Authority in considering this referral had particular regard to:

- Schedule 2 Part 1 Class 31 of the Planning and Development Regulations 2001 (as amended)
- Schedule 2 Part 1 Class 11 of the Planning and Development Regulations 2001 (as amended)
- Section 4 (1) of the Planning and Development Act 2000 (as amended) and
- The particulars received by the Planning Authority on 2nd October and 6th November 2023

And Whereas Cork County Council has concluded that –

The works, as outlined above, constitute 'works' that are 'development' and the works **are development and are exempted development.**

This exemption does NOT itself empower a person to carry out a development unless that person is legally entitled to do so.

Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.

Yours faithfully,



**KEVIN O' REGAN,
SENIOR EXECUTIVE OFFICER,
PLANNING DEPARTMENT.**

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

- I. Application Type – Section 5 Declaration – **Response to Further Information**
- II. Description - Whether or not the installation of electronic communications apparatus is or is not development and is nor is not exempted development, that is described as
 - *A cabin to be painted green to be located within the Grenagh GAA on the western side of the southernmost pitch accessed off local road between Clonard Avenue to the east and Waterloo Road to the west.*
 - *The cabin measures 3 m (length) x 3 m (width) x 3 m (height) on 3,6 m x 3,6 m concrete plinth.*
 - *Proposed concrete steps to be constructed to allow pedestrian access to proposed NBI compound.*
 - *Ducting, cabling, earth pits, cabinets, chambers, mini pillar and all ancillary development thereto. Access to the site is gained from an existing access over property with Folio No. CK10257F and the site compound is on property with Folio No. CK149033F and consent for the proposal has been sought from both owners.*
- III. Location – Grenagh GAA, Grenagh North, Grenagh, County Cork
- IV. Applicant – NBI Infrastructure DAC T/A National Broadband Ireland (NBI)

1.0 Introduction

The subject application was deferred for Further Information on the 26.10.2023. The applicant was requested to submit the following further information:

The height of the cabinet at the front of a the NBI compound (RFE) is not shown on the submitted drawings therefore the volume of the cabinet cannot be determined. Plans and Elevations of this structure are therefore required to ensure that the development meets the conditions and limitations of Schedule 2 Part 1 Class 31 (f).

The applicant formally responded on 08/11/2023.

2.0 Planning Assessment

Schedule 2 Part 1 Class 31 (f) of the Planning and Development Regulations 2001 (as amended) state '*cabinets forming part of a telecommunications system*' subject to:

The volume above the ground-level of any such cabinet shall not exceed 2 cubic metres measured externally.

Plans and elevations of the NBI compound (RFE) have been provided. The structure is 0.525 m (width) x 0.225 m (depth) x 1.60 m (height) = 0.189 cubic metres

It is considered that the conditions and limitations of Schedule 2 Part 1 Class 31 (f) of the Planning and Development Regulations 2001 (as amended) have been met and the **works are exempted.**

3.0 Recommendation

In considering this referral, regard has been had to:

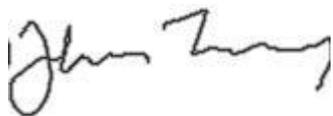
- (a) Schedule 2 Part 1 Class 31 of the Planning and Development Regulations 2001 (as amended)
- (b) Schedule 2 Part 1 Class 11 of the Planning and Development Regulations 2001 (as amended)
- (c) Section 4 (1) of the Planning and Development Act 2000 (as amended)

And whereas, the Planning Authority has concluded that,

- (a) The works constitute 'works' that are 'development'.
- (b) The works **is development and is exempted development.**

Ciara Cosgrave
Assistant Planner
22/11/2023

Endorse Recommendation



John Tierney
A/Senior Executive Planner
23/11/2023

National Broadband Ireland
c/o Entrust Planning & Environmental
Unit 1D Deerpark Business Centre
Oranmore
Co. Galway
H91 X599

Cork County Council
Planning Department
County Hall
Carrigrohane Road
County Cork
T12 R2NC

Our Ref: NBI 81293, Grenagh
Cork County Council Ref: D/286/23

REGISTERED POST

03/11/2023

RESPONSE TO REQUEST FOR FURTHER INFORMATION (D/286/23) IN RELATION TO AN APPLICATION FOR A DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 AT: GRENAGH GAA, GRENAGH NORTH, GRENAGH, COUNTY CORK (ITM 557888, 584411).

Dear Sir or Madam,

I refer to the Request for Further Information (RFI) and will respond in the same sequence as per the point in the RFI dated 26/10/2023.

1. Please find amended drawings of the proposal which show the Plans and Elevations of the RFE cabinet which the Applicant hopes the Planning Authority will be completely satisfied with as it complies with the conditions and limitations of Schedule 2 Part 1 Class 31 (f)

I trust the above meets with the satisfaction of the Planning Authority, however if I can be of any further assistance, please do not hesitate to contact me.

Yours Sincerely,



Lungelo Nkosi BTech, MCRP
Entrust Limited for Obelisk Limited
On behalf of NBI
Email: lungelo@entrust-services.com
Tel: 091 342 517

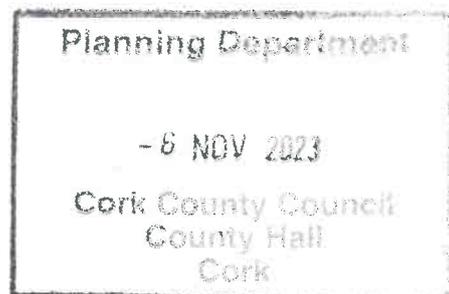
Enclosures:

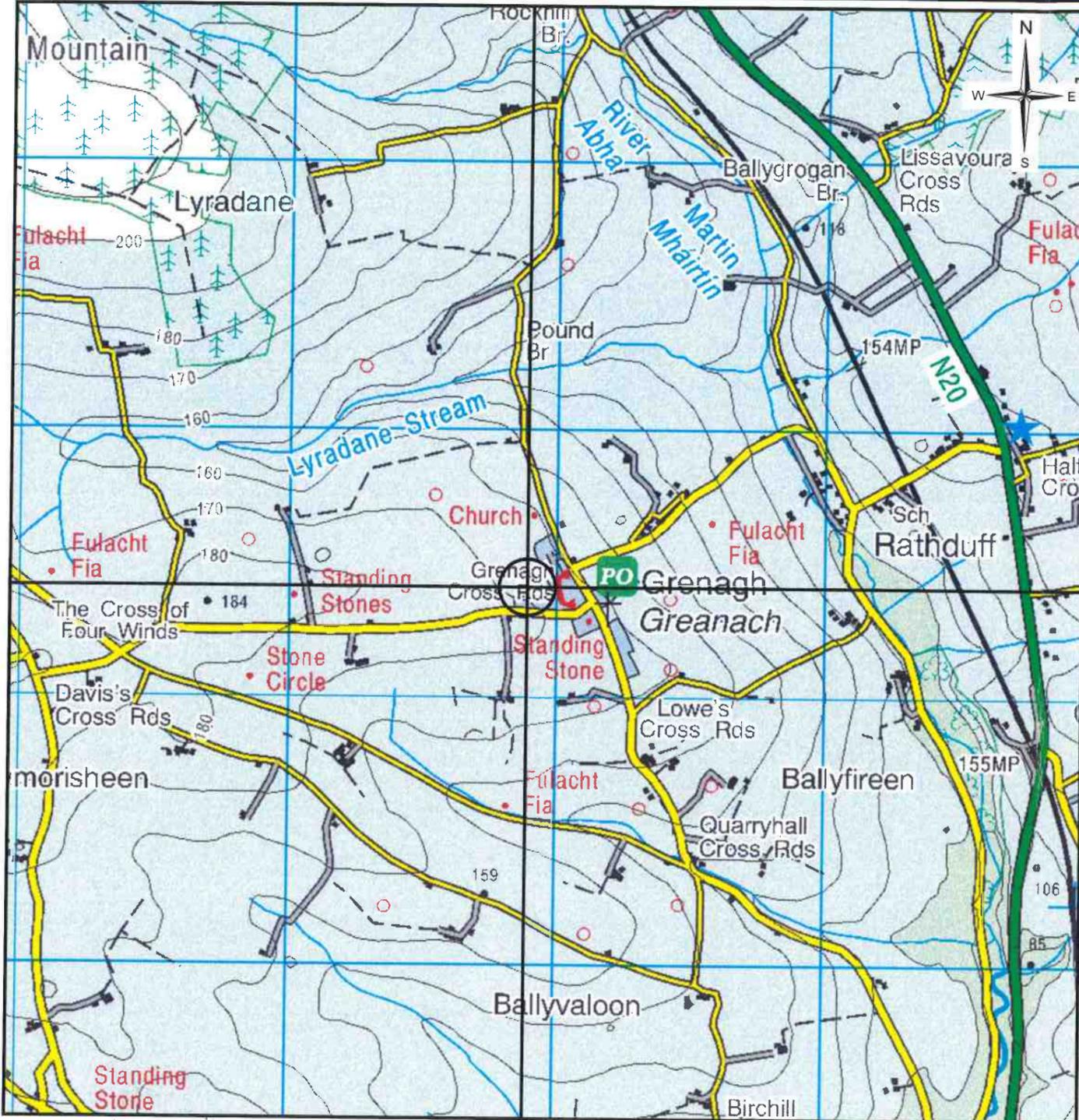
- Revised Drawings

NBI Infrastructure Designated Activity Company
3009 Lake Drive, Citywest, Dublin 24, D24 H8RR

E: contactus@nbi.ie
WWW.NBI.IE

Registered in Ireland, Company Number: 631636
Directors: D. McCourt (American), M. Adams (American), P. Heran, S. Gray, H. Akhavan (American),
M. Sönmez (German), A. McCullen, D. McCauley, W.D. Scott (American).





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Drawing No.	Drawing Title
81293/001/00	Location Map & Photos
81293/001/01	Site Location Map
81293/001/02	Site Location Map 1:350
81293/001/03	Site Layout Plan 1:250
81293/001/04	Site Layout Plan 1:100
81293/001/05	Proposed Elevation
81293/001/06	Prop. Cabin Setting Out
81293/001/07	Proposed Earthing Layout

Site Photographs



FIG. 1: ELEVATION



PROPOSED NBI COMPOUND LOCATION

FIG. 2: PROPOSED SITE LOCATION



PROPOSED NBI RFE CABINET LOCATION

FIG. 3: PROPOSED NBI RFE CABINET LOCATION

Planning
6 NOV 2023
Cork County Council
County Hall

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ISS	Description	By	Date
C	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

Cabinet/Cabinet Details	
Cabinet Type:-	NBI CABIN
Dimensions:	3m x 3m x 3m
Colour:	-

Site Coordinates	
Latitude:	52.010122
Longitude:	-8.613426

Grid Reference	
Easting:	557,888
Northing:	584,411

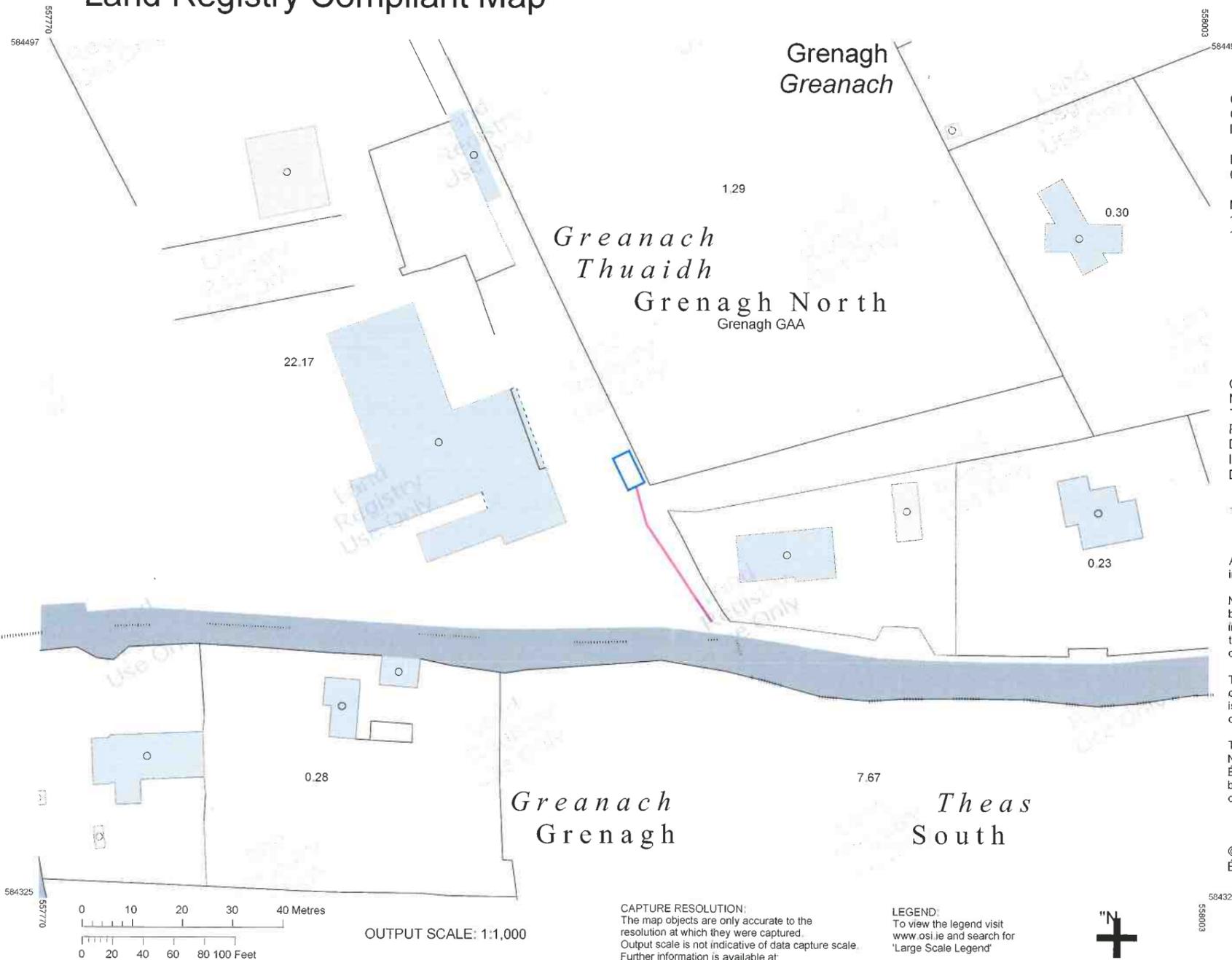
Purpose			
LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
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Scale	Drawn By	Checked By	VM
As Shown	GOR	VM	
Date Drawn	05.07.23	Date Checked	05.07.23

Title	
Location Map & Photographs	
Project	Grenagh Grenagh GAA Grenagh North Co Cork
Drawing No	81293/001/00
REVISION	B

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Land Registry Compliant Map



CENTRE COORDINATES:
ITM 557887,584411

PUBLISHED: 03/07/2023
ORDER NO.: 50343758_1

MAP SERIES: 1:2,500
MAP SHEETS: 6192-A, 6192-B

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LEGEND

PROPOSED SITE —

PROPOSED RIGHT OF WAY —

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LEGEND:
To view the legend visit www.osi.ie and search for 'Large Scale Legend'



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SITE LOCATION MAP PLAN
SCALE 1:1000

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Cork County Council
 County Hall
 Cork

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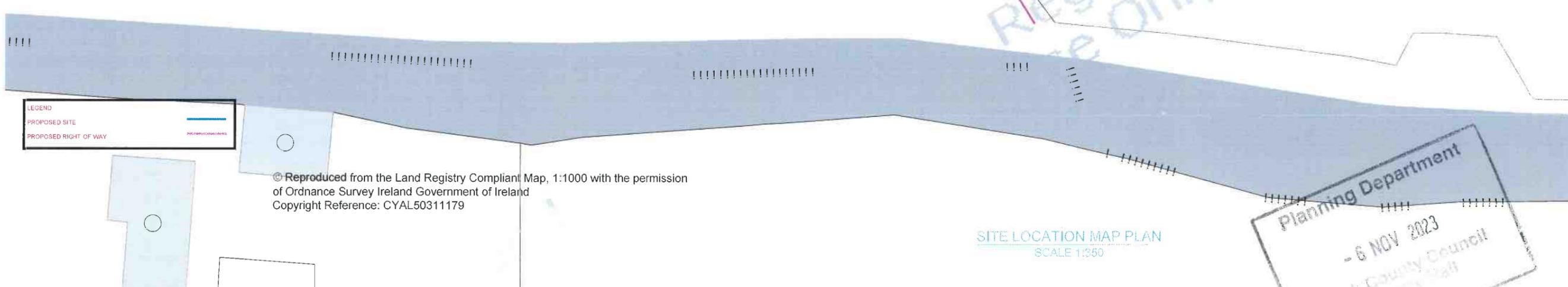
Grenagh North

Grenagh GAA



22.17

PLOT A
COMPOUND AREA 25.2 M²
0.00252 HECTARE
ITM CO-ORDS
E557,888
N584,411



LEGEND
 PROPOSED SITE
 PROPOSED RIGHT OF WAY

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SITE LOCATION MAP PLAN
 SCALE 1:350

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NOTES

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Iss	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

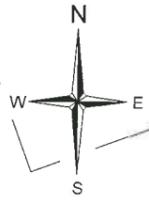
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Cabinet Type:	NBI CABIN
Dimensions:	3m x 3m x 3m
Colour:	-

Site Coordinates	
Latitude:	52.010122
Longitude:	-8.613428

Purpose			
LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
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	Date Drawn	Date Checked	05.07.23

Title:		Project:	
Proposed Site Location Map 1:350		Grenagh Grenagh GAA Grenagh North Co Cork	
Drawing No	81293/001/02	REVISION	B

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EXISTING FARM BUILDINGS

GRENAGH GAA PITCH

EXISTING CONCRETE WALL AT PITCH SIDE TO BE RAISED BY 400mm & 8 METRES LONG TO ENSURE FLAT GROUND FOR PROPOSED NBI COMPOUND AREA

PROPOSED NBI CABIN (3.0m x 3.0m) ON CONCRETE PLINTH

PROPOSED COMPOUND FINISH SURFACE TO BE 20mm CLEAN STONE LAID ON TERRAM HEAVY DUTY WOVEN ANTI-WEED FABRIC

EXISTING CONCRETE WALL BOUNDARY

PROPOSED LOCATION OF NBI RFE CABINET AT FRONT OF PROPOSED NBI COMPOUND

PROPOSED CONCRETE STEPS TO BE CAST ON-SITE AND CONCRETE WALL CUT TO ALLOW ACCESS TO PROPOSED NBI COMPOUND

PROPOSED RIGHT OF WAY FOR NBI FIBRE UNDERGROUND DUCTING TO ROADWAY

PROPOSED 2 No. FIBRE SUPPLY DUCT

EXISTING BOUNDARY

EXISTING ENTRANCE TO FARMER'S YARD TO BE USED FOR ACCESS TO PROPOSED NBI COMPOUND

PROPOSED SITE LAYOUT PLAN
SCALE 1:250



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ISS.	Description	By	Date
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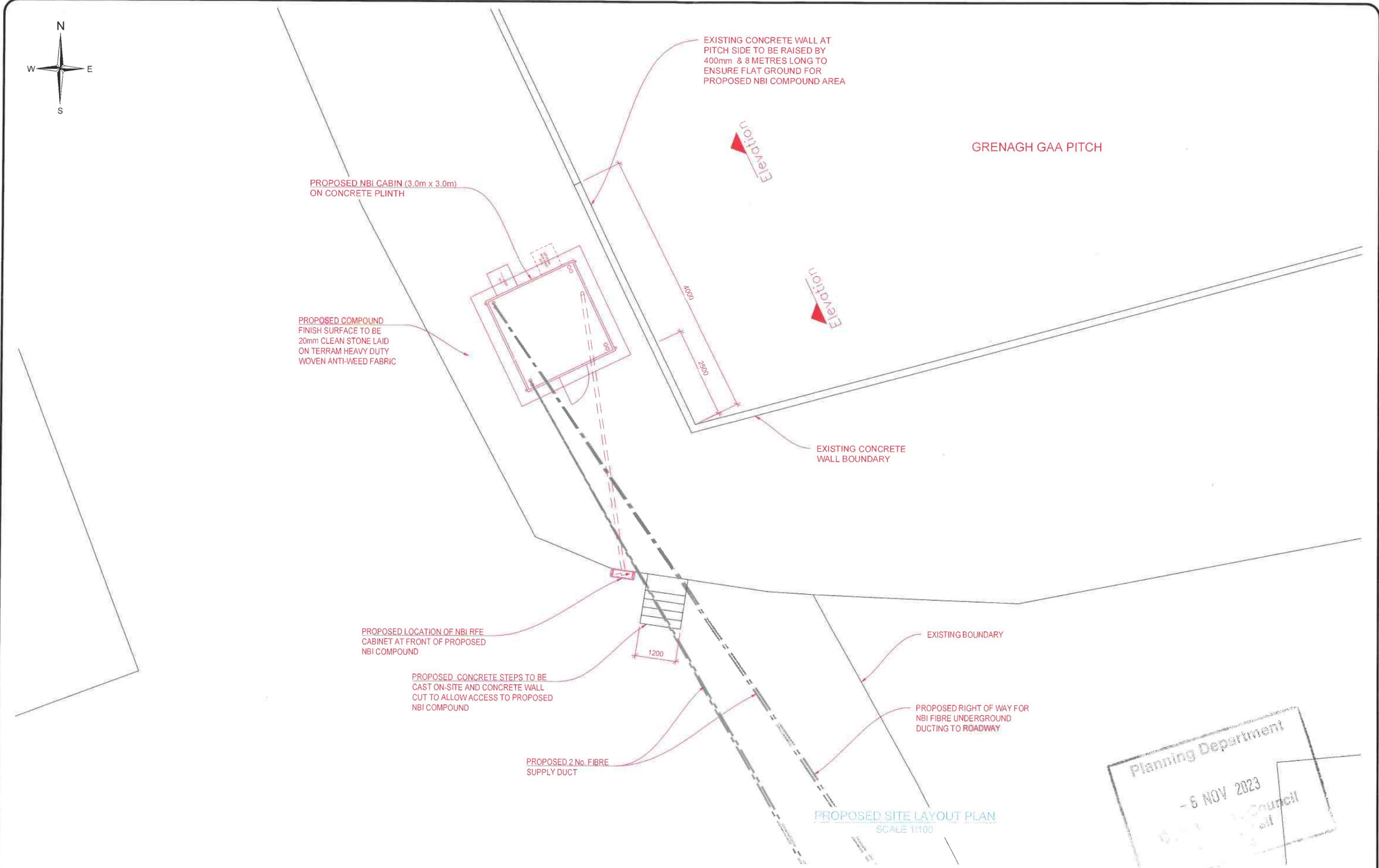
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Scale	Drawn By	Checked By	VM
As Shown	GOR	VM	
Date Drawn	05.07.23	Date Checked	05.07.23

Title:	
Proposed Site Layout Plan 1:250	
Project:	
Grenagh Grenagh GAA Grenagh North Co.Cork	
Drawing No	
81293/001/03	
REVISION	
B	

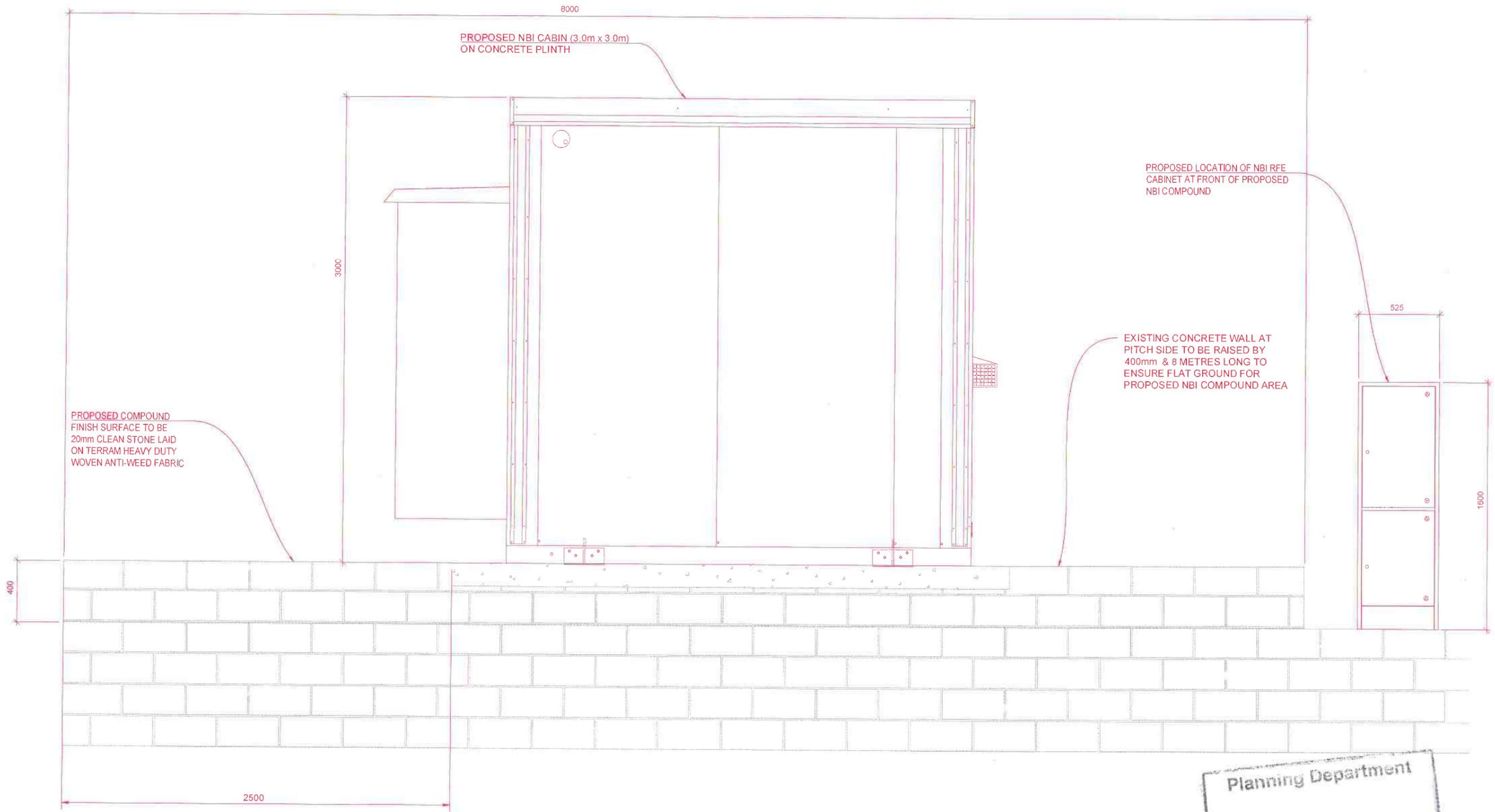
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<p>ENTERPRISE CENTRE, DUBLIN ROAD, CAVAN, IRELAND. TEL: +353 (0) 494371044 FAX: +353 (0) 494371045 EMAIL: info@obelisk.com WEB: www.obelisk.com</p>	<p>NATIONAL BROADBAND IRELAND, 3009 LAKE DRIVE, CITYWEST, DUBLIN 24 D24 H9RR TEL: +353 (0) 1616 624624</p>	NOTES 1.1 Do not scale. 1.2 All dimensions are in mm unless otherwise specified. 1.3 Assume all site details are existing unless otherwise specified.		Cabinet/Cabinet Details Cabinet Type: NBI CABIN Dimensions: 3m x 3m x 3m Colour:	Site Coordinates Latitude: 52.010122 Longitude: -8.613426	Purpose LOW LEVEL DESIGN				Title: Proposed Site Layout Plan 1:100											
		Revision Table <table border="1"> <thead> <tr> <th>Iss.</th> <th>Description</th> <th>By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>Compound Area Revised</td> <td>GOR</td> <td>25.08.23</td> </tr> <tr> <td>A</td> <td>Initial Issue</td> <td>GOR</td> <td>05.07.23</td> </tr> </tbody> </table>		Iss.	Description	By	Date	B	Compound Area Revised	GOR	25.08.23	A	Initial Issue	GOR	05.07.23	Grid Reference Existing: 557,888 Northing: 584,411	Site code -	Survey date 03.07.23	Sheet Size A3	Project: Grenagh Grenagh GAA Grenagh North Co.Cork	NOT FOR CONSTRUCTION SUBJECT TO CHANGES
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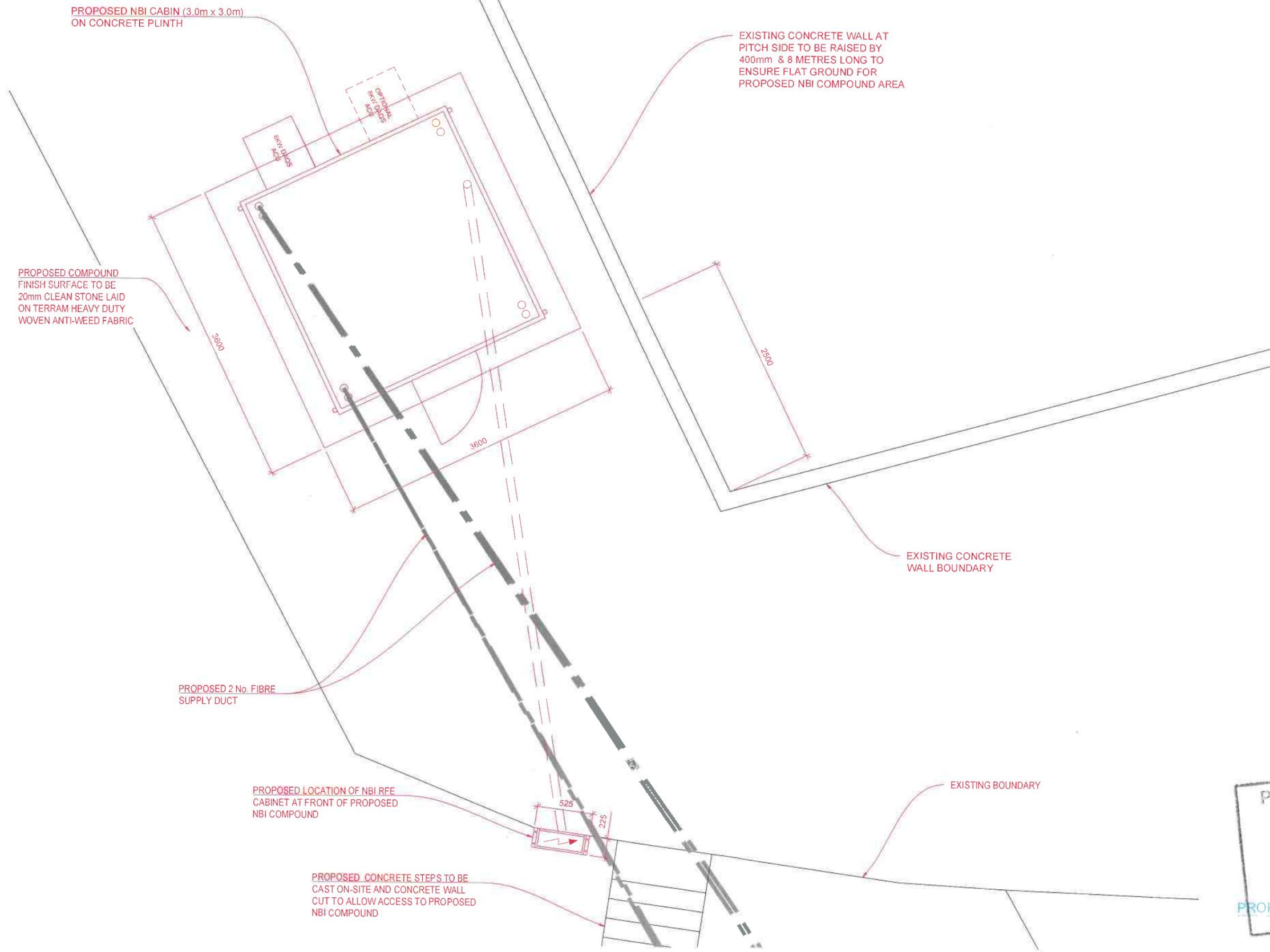


PROPOSED SITE ELEVATION A-A
SCALE 1:25

Planning Department
- 6 NOV 2023
Cork County Council
County Hall
Cork

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<p>ENTERPRISE CENTRE, DUBLIN ROAD, CAVAN, IRELAND. TEL: +353 (0) 494371044 FAX: +353 (0) 494371045 EMAIL: info@obelisk.com WEB: www.obelisk.com</p>	<p>NATIONAL BROADBAND IRELAND, 3009 LAKE DRIVE, CITYWEST, DUBLIN 24 D24 H8R9 TEL: +353 (0) 81 61 624624</p>	<p>NOTES</p> <p>1.1 Do not scale.</p> <p>1.2 All dimensions are in mm unless otherwise specified.</p> <p>1.3 Assume all site details are existing unless otherwise specified.</p>	<table border="1"> <tr><th>Iss</th><th>Description</th><th>By</th><th>Date</th></tr> <tr><td>B</td><td>Compound Area Revised</td><td>GOR</td><td>25.08.23</td></tr> <tr><td>A</td><td>Initial Issue</td><td>GOR</td><td>05.07.23</td></tr> </table>	Iss	Description	By	Date	B	Compound Area Revised	GOR	25.08.23	A	Initial Issue	GOR	05.07.23	<p>Cabinet/Cabinet Details</p> <p>Cabinet Type: NBI CABIN Dimensions: 3m x 3m x 3m Colour:</p>	<p>Site Coordinates</p> <p>Latitude: 52.010122 Longitude: -8.613428</p>	<p>Purpose</p> <p>LOW LEVEL DESIGN</p>	<p>Title: Proposed Site Elevation 1:25</p>	<p>Project: Grenagh Grenagh GAA Grenagh North Co.Cork</p>	<p>NOT FOR CONSTRUCTION SUBJECT TO CHANGES</p>
				Iss	Description	By	Date														
B	Compound Area Revised	GOR	25.08.23																		
A	Initial Issue	GOR	05.07.23																		
<p>Scale: As Shown</p>	<table border="1"> <tr><th>Drawn By</th><th>Checked By</th></tr> <tr><td>GOR</td><td>VM</td></tr> </table>	Drawn By	Checked By	GOR	VM	<table border="1"> <tr><th>Survey date</th><th>Sheet Size</th></tr> <tr><td>03.07.23</td><td>A3</td></tr> </table>	Survey date	Sheet Size	03.07.23	A3	<p>Drawing No: 81293/001/05</p>	<p>REVISION: B</p>									
Drawn By	Checked By																				
GOR	VM																				
Survey date	Sheet Size																				
03.07.23	A3																				



PROPOSED NBI CABIN (3.0m x 3.0m)
ON CONCRETE PLINTH

EXISTING CONCRETE WALL AT
PITCH SIDE TO BE RAISED BY
400mm & 8 METRES LONG TO
ENSURE FLAT GROUND FOR
PROPOSED NBI COMPOUND AREA

PROPOSED COMPOUND
FINISH SURFACE TO BE
20mm CLEAN STONE LAID
ON TERRAM HEAVY DUTY
WOVEN ANTI-WEED FABRIC

EXISTING CONCRETE
WALL BOUNDARY

PROPOSED 2 No. FIBRE
SUPPLY DUCT

EXISTING BOUNDARY

PROPOSED LOCATION OF NBI RFE
CABINET AT FRONT OF PROPOSED
NBI COMPOUND

PROPOSED CONCRETE STEPS TO BE
CAST ON-SITE AND CONCRETE WALL
CUT TO ALLOW ACCESS TO PROPOSED
NBI COMPOUND

Planning Department
- 6 NOV 2023
Cork County Council
County Hall
PROPOSED CABIN SETTING OUT
SCALE 1:50

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NATIONAL BROADBAND IRELAND,
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D24 H6R9
TEL: +353 (0)816 624624

NOTES

- 1.1 Do not scale.
- 1.2 All dimensions are in mm unless otherwise specified.
- 1.3 Assume all site details are existing unless otherwise specified.

Iss	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

Cabin/Cabinet Details	
Cabinet Type:-	NBI CABIN
Dimensions:	3m x 3m x 3m
Colour:	

Site Coordinates	
Latitude:	52.010122
Longitude:	-8.613428

Purpose			
LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
	03.07.23	A3	
Scale	Drawn By	Checked By	VM
As Shown	GOR	GOR	
	Date Drawn	Date Checked	05.07.23
	05.07.23		

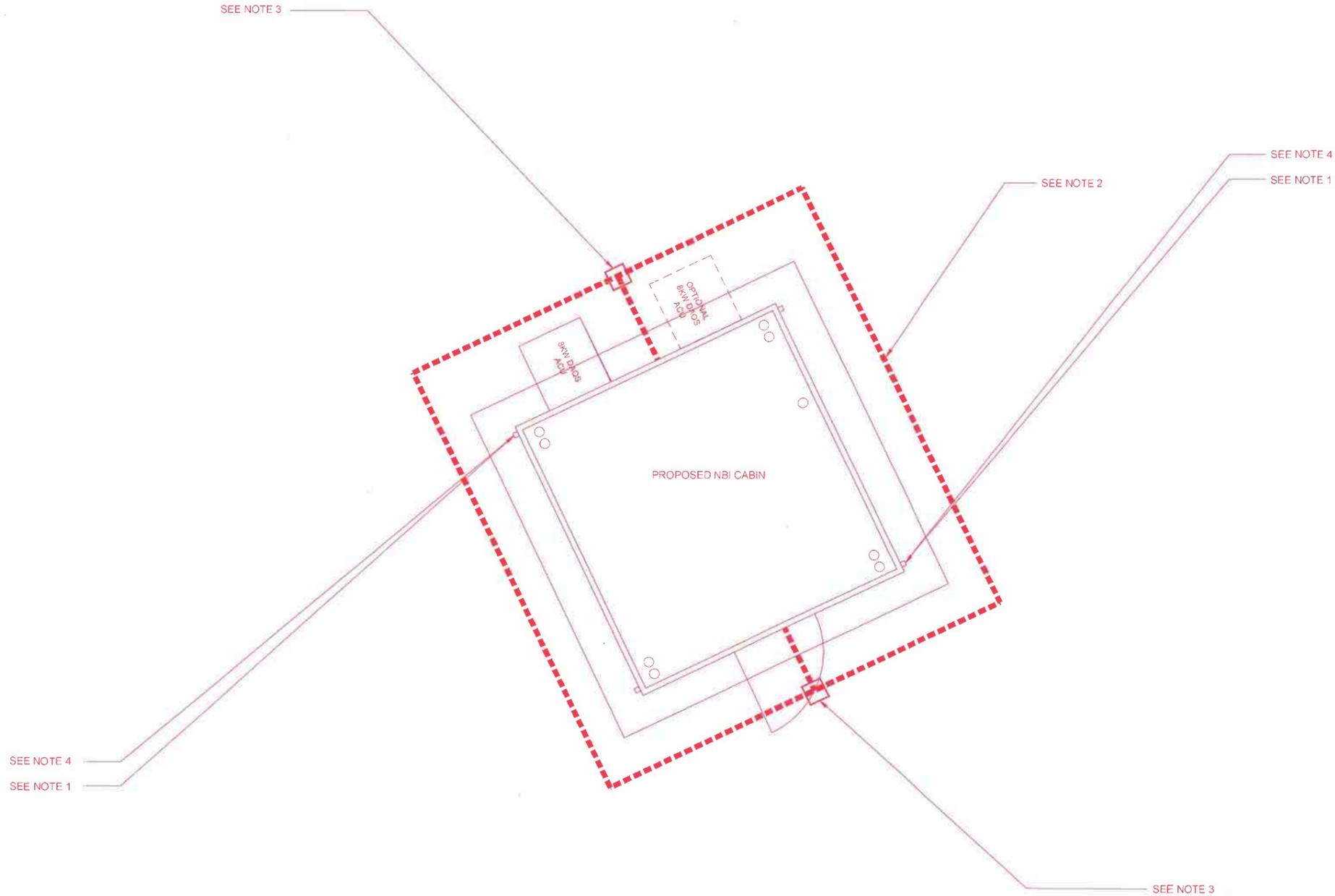
Title:	
Proposed Cabin Setting Out	
Project:	Grenagh Grenagh GAA Grenagh North Co. Cork
Drawing No	81293/001/06
REVISION	B

NOT FOR
CONSTRUCTION
SUBJECT TO
CHANGES



NOTES:

1. PROPOSED CABIN CONNECTED TO INNER EARTH RING AT DESIGNATED POINTS ON CABINS, (INDICATED BY CIRCLE), FOR DETAILS THE CABIN EARTH POINTS PLEASE REFER TO MANUFACTURERS SPECIFICATION. ALUMINIUM TAPE OR CABLE TAIL TO BE LEFT FOR CONNECTION TO CABIN. OVERGROUND EARTH CONNECTION TO BE INSULATED.
2. LINE OF EARTH RING. EARTH SYSTEM TO CONSIST OF CABLE OR BARE COPPER TAPE 50 SQ LAID INTO TRENCH.
3. POSITION OF EARTH PIT AND EARTH RODS. BI-METALLIC CONNECTORS TO BE LOCATED IN EARTH PITS. GROUND TO BE CLEAR OF ANY UNDERGROUND CABLES IN VICINITY OF EARTH PITS AND BI-METALLIC CONNECTORS. No. OF CONNECTORS RELATES TO GROUND CONDITIONS. CONDITION OF GROUND TO BE CHECKED ON SITE BEFORE COMMENCEMENT.
4. 50mm DUCT IN BASE SLAB FOR EARTH TO CONNECT TO CABIN EARTH POINT TO BE SEALED WITH EXPANDING FOAM



Planning Department
 - 6 NOV 2023
 Cork County Council
 County Hall
 Cork

PROPOSED EARTHING LAYOUT
 SCALE 1:50

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	ENTERPRISE CENTRE, DUBLIN ROAD, CAVAN, IRELAND TEL: +353 (0) 494371044 FAX: +353 (0) 494371045 EMAIL: info@obelisk.com WEB: www.obelisk.com		NATIONAL BROADBAND IRELAND, 3000 LAKE DRIVE, CITYWEST, DUBLIN 24 D24 H8RR TEL: +353 (0) 816 624624	NOTES 1.1 Do not scale. 1.2 All dimensions are in mm unless otherwise specified. 1.3 Assume all site details are existing unless otherwise specified.	I H G F E D C B Compound Area Revised GOR 25.08.23 A Initial Issue GOR 05.07.23 Iss: Description By Date	Cabin/Cabinet Details Cabinet Type: NBI CABIN Dimensions: 3m x 3m x 3m Colour:	Site Coordinates Latitude: 52.010122 Longitude: -8.613428 Grid Reference Easting: 557,888 Northing: 564,411	LOW LEVEL DESIGN	Purpose Site code: - Survey date: 03.07.23 Sheet Size: A3 Scale: As Shown Drawn By: GOR Date Drawn: 05.07.23 Checked By: VM Date Checked: 05.07.23	Title: Proposed Earthing Layout Project: Grenagh Grenagh GAA Grenagh North Co.Cork Drawing No: 81293/001/07 REVISION: B	NOT FOR CONSTRUCTION SUBJECT TO CHANGES
				THE OWNERSHIP AND COPYRIGHT OF THIS DRAWING REMAINS WITH OBELISK AT ALL TIMES. THE DRAWING MAY NOT BE COPIED, DUPLICATED OR PASSED TO THIRD PARTIES WITHOUT THE WRITTEN PERMISSION OF OBELISK.							

NBI Infrastructure DAC,
c/o Lungelo Nkosi,
Entrust Ltd.,
Unit 1D Deerpark Business Centre,
Oranmore,
Co. Galway.
H91 X599.

26th October 2023

REF: D/286/23
LOCATION: Grenagh GAA, Grenagh North, Grenagh, Co. Cork.

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Sir,

I refer to your application for a Declaration of Exemption in relation to the above.

The Planning Authority has concluded that, **with the exception of the Installation of cabinet at the front of a the NBI compound (RFE):**

- (a) The works constitute 'works' that are 'development'.
- (b) The works are development and are exempted development.

It is considered that the Installation of cabinet at the front of a the NBI compound (RFE) **constitute 'works' that is 'development'**. The conditions and limitations of Schedule 2 Part 1 Class 31 (f) cannot be assessed based on the information submitted. The following **further information in respect of this aspect of the proposal is recommended:**

The height of the cabinet at the front of a the NBI compound (RFE) is not shown on the submitted drawings therefore the volume of the cabinet cannot be determined. Plans and Elevations of this structure are therefore required to ensure that the development meets the conditions and limitations of Schedule 2 Part 1 Class 31 (f).

Yours faithfully,

Tracy O' Callaghan,
SO Planning Department.

In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>

- I. Application Type – Section 5 Declaration
- II. Description - Whether or not the installation of electronic communications apparatus is or is not development and is nor is not exempted development, that is described as
 - *A cabin to be painted green to be located within the Grenagh GAA on the western side of the southernmost pitch accessed off local road between Clonard Avenue to the east and Waterloo Road to the west.*
 - *The cabin measures 3 m (length) x 3 m (width) x 3 m (height) on 3,6 m x 3,6 m concrete plinth.*
 - *Proposed concrete steps to be constructed to allow pedestrian access to proposed NBI compound.*
 - *Ducting, cabling, earth pits, cabinets, chambers, mini pillar and all ancillary development thereto. Access to the site is gained from an existing access over property with Folio No. CK10257F and the site compound is on property with Folio No. CK149033F and consent for the proposal has been sought from both owners.*
- III. Location – Grenagh GAA, Grenagh North, Grenagh, County Cork
- IV. Applicant – NBI Infrastructure DAC T/A National Broadband Ireland (NBI)

1.0 Requirements for a Section 5 Declaration Application

Section 5(1) of the Planning and Development Act as amended states:

5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

2.0 The Question Before The Planning Authority

Whether or not the installation of electronic communications apparatus is or is not development and is nor is not exempted development is or is not development and is nor is not exempted development.

3.0 Site Location

The subject site is located in Grenagh GAA, Grenagh North, Grenagh, County Cork.

4.0 Relevant Planning History

235804 - Grenagh Parish Field Limited are seeking permission for the re-grading of the existing playing surface to a sand based playing pitch, including an adjoining training area. Upgrading the existing ball retention netting, erection of 4 no. 20m high floodlights to serve the playing pitch and erection of 4 no. 12m high floodlights to serve the adjoining training area. Construction of perimeter footpath and 1.2m high perimeter fence to the playing pitch and associated site works.

204198 - Grenagh Parish Field Ltd was granted permission for the construction of a concrete hurling ball wall and playing surface with chainlink fencing surround and all associated siteworks at the existing sports complex grounds.

154531 - Grenagh Parish Field Ltd was granted permission for the construction of a synthetic all-weather training pitch with 4 no. 10m high floodlight masts, relocation and reconstruction of existing boundary walls and all associated site works (change of pitch area to that permitted under planning ref. no. 14/4232).

144232 - Grenagh Parish Field Ltd was granted permission for construction of a synthetic all-weather training pitch with 4 no. 10m high floodlight masts and all associated site works.

034730 - Grenagh Child Care Group was granted permission for Child care centre.

5.0 Relevant Planning Legislation and Regulations

Planning and Development Act 2000, (as amended)

Section 2(1) of the Act defines “works” as follows:

*“works” includes **any act or operation of construction**, excavation, demolition, **extension**, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure. [Emphasis Added].*

Section 3 (1) of the Act defines “development” as follows:

“In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Planning and Development Regulations 2001 (as amended)

Schedule 2 Part 1 Class 31 of the regulations state *‘The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of—*

(a) underground telecommunications structures or other underground telecommunications works (including the laying of mains and cables and the installation underground of any apparatus or equipment),

(e) permanent telecommunications exchange and radio station containers, including containers for electronic equipment required for transmitting, receiving and processing telecoms data for both wireless or wired networks,

(f) cabinets forming part of a telecommunications system

6.0 Environmental Screening and Appropriate Assessment

The application site is not located with the screening zone of any Natura 2000 sites therefore the requirement for Appropriate Assessment has been screened out for this proposed development having regard to the lack of ecological or hydrological connection between the development site and any European Site.

Having regard to the nature, scale and location of the proposed development there is no real likelihood of significant effects on the environment arising from the proposed development and EIA is not required having regard to the provisions for mandatory and sub-threshold EIA as set out under Schedule 5 and 7 of the Planning and Development Regulations (2001, as amended).

7.0 Planning Assessment

Works is defined in the Act as *'the carrying out of works on, in, under or works and includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal'*.

Having regard to the above, it can be reasonably determined that the installation of the NBI cabin on a concrete plinth, raising the existing pitch side concrete wall, installation of cabinet at the front of a the NBI compound, construction of concrete steps and wall for access and laying of underground NBI fibre underground ducting **is development**.

The question before the Planning Authority is to determine, whether or not the construction of the installation of the NBI cabin, raising the existing pitch side concrete wall, installation of cabinet at the front of a the NBI compound, construction of concrete steps and wall for access and laying of underground NBI fibre underground ducting is or is not exempted development. I refer to Schedule 2 Part 1 Class 31 of the Planning and Development Regulations 2001 (as amended).

- **Installation of the NBI cabin**

Schedule 2 Part 1 Class 31 of the Planning and Development Regulations 2001 (as amended) state *'The carrying out by a **statutory undertaker** authorised to provide a telecommunications service of development consisting of the provision of—(e) **permanent telecommunications exchange and radio station containers, including containers for electronic equipment required for transmitting, receiving and processing telecoms data for both wireless or wired networks,***

The works are proposed by National Broadband Ireland for a permanent development.

1. *The equipment housed in the container shall be used exclusively for the purposes of concentrating and re-routing calls or for transmitting, receiving and processing telecoms data for both wireless or wired networks and the container shall not have attached to it or within it, whether visible or not, any antennae for the direct transmission or reception of mobile telephony or other telecommunications signals in such a way that the container would act as an antennae support structure.*

The development comprises electronic communication apparatus. There are no antennae attached to the development.

- 2. No such container shall exceed 10 metres in length, 3 metres in width or 3 metres in height.*

The container measures 3 m (length) x 3 m (width) x 3 m (height).

- 3. No such container shall be situated within 10 metres of the curtilage of a house save with the consent in writing of the owner or occupier thereof, or within 10 metres of the window of a workroom of any other structure.*

The container is not situated within 10 metres of the curtilage of a house or within 10 metres of the window of a workroom of any other structure.

- 4. The field strength of the non-ionising radiation emissions from the radio station container shall not exceed the limits specified by the Director of Telecommunications Regulation.*

The development does not comprise a radio station container.

It is considered that the conditions and limitations of Schedule 2 Part 1 Class 31 (e) of the Planning and Development Regulations 2001 (as amended) have been met and the **works are exempted.**

- **Raising the existing pitch side concrete wall**

Drawing No. 81293/001/05 indicates that the existing pitch side wall (800 mm) is proposed to be increased by 400 mm 'to ensure flat ground for proposed NBI compound area'. Schedule 2 Part 1 Class 11 of the Planning and Development Regulations 2001 (as amended) state:

'The construction, erection, lowering, repair or replacement, other than within or bounding the curtilage of a house, of—

- 1. The height of any new structure shall not exceed 1.2 metres or the height of the structure being replaced, whichever is 355 (a) any fence (not being a hoarding or sheet metal fence), or (b) any wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete. the greater, and in any event shall not exceed 2 metres.*
- 2. Every wall, other than a dry or natural stone wall, constructed or erected bounding a road shall be capped and the face of any wall of concrete or concrete blocks (other than blocks of a decorative finish) which will be visible from any road, path or public area, including a public open space, shall be rendered or plastered.'*

The wall in question is not located within the curtilage of a dwelling house and would not exceed 1.2 m in height. The drawing indicate the wall to match the existing. The wall will not be visible form any road, path or public area, including a public open space (noting GAA grounds are private lands).

It is considered that the conditions and limitations of Schedule 2 Part 1 Class 11 of the Planning and Development Regulations 2001 (as amended) have been met and the **works are exempted**.

- **Installation of cabinet at the front of a the NBI compound (RFE)**

Schedule 2 Part 1 Class 31 (f) of the Planning and Development Regulations 2001 (as amended) state *'cabinets forming part of a telecommunications system'* subject to:

The volume above the ground-level of any such cabinet shall not exceed 2 cubic metres measured externally.

The height of the cabinet is not shown on the submitted drawings therefore the volume of the cabinet cannot be determined.

It is considered that the conditions and limitations of Schedule 2 Part 1 Class 31 (f) cannot be assessed based on the information submitted.

- **Construction of concrete steps for access**

Section 4 (1) of the Planning and Development Act 2000 (as amended) states that *'The following shall be exempted developments for the purposes of this Act—g) development consisting of the carrying out by any local authority or statutory undertaker of **any works for the purpose of inspecting, repairing, renewing, altering or removing any sewers, mains, pipes, cables, overhead wires, or other apparatus, including the excavation of any street or other land for that purpose;**'* [Emphasis Added].

Concrete steps are proposed to allow access to the NBI compound.

It is considered that the conditions and limitations of Section 4 (1) of the Planning and Development Act 2000 (as amended) have been met and the **works are exempted**.

- **Laying of underground NBI fibre underground ducting**

Class 31 (a) of the Regs. state *'The carrying out by a statutory undertaker authorised to provide a telecommunications service of development consisting of the provision of— (a) underground telecommunications structures or other underground telecommunications works (including **the laying of mains and cables and the installation underground of any apparatus or equipment,**'* [Emphasis Added].

It is proposed to install NBI Fibre underground ducting from the NBI compound to the roadway.

It is considered that the conditions and limitations of Class 31 (a) of the Planning and Development Regulations 2001 (as amended) have been met and the **works are exempted.**

8.0 Recommendation

In considering this referral, regard has been had to:

- (a) Schedule 2 Part 1 Class 31 of the Planning and Development Regulations 2001 (as amended)
- (b) Schedule 2 Part 1 Class 11 of the Planning and Development Regulations 2001 (as amended)
- (c) Section 4 (1) of the Planning and Development Act 2000 (as amended)

And whereas, the Planning Authority has concluded that, **with the exception of the Installation of cabinet at the front of a the NBI compound (RFE)**

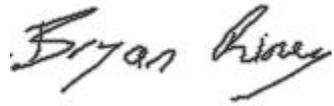
- (a) The works constitute 'works' that are 'development'.
- (b) The works **is development and is exempted development.**

It is considered that the Installation of cabinet at the front of a the NBI compound (RFE) constitute 'works' that is 'development'. The conditions and limitations of Schedule 2 Part 1 Class 31 (f) cannot be assessed based on the information submitted. The following **further information in respect of this aspect of the proposal is recommended:**

The height of the cabinet at the front of a the NBI compound (RFE) is not shown on the submitted drawings therefore the volume of the cabinet cannot be determined. Plans and Elevations of this structure are therefore required to ensure that the development meets the conditions and limitations of Schedule 2 Part 1 Class 31 (f).

Ciara Cosgrave
Assistant Planner
26.10.2023

I endorse the above recommendation. The majority of the works are 'exempted development' however further information is required in relation to the installation of cabinet at the front of a the NBI compound to ensure that the development meets the conditions and limitations of Schedule 2 Part 1 Class 31 (f).

A handwritten signature in black ink that reads "Bryan Riney". The signature is written in a cursive style with a prominent flourish at the end.

Bryan Riney
Senior Planner
26/10/2023

National Broadband Ireland
c/o Entrust Planning & Environmental
Unit 1D Deerpark Business Centre
Oranmore
Co. Galway
H91 X599

Cork County Council
Planning Department
County Hall
Carrigrohane Road
County Cork
T12 R2NC



Our Ref: NBI 81293, Grenagh

REGISTERED POST

29/09/2023

Dear Sir or Madam,

APPLICATION FOR DECLARATION OF EXEMPT DEVELOPMENT – NATIONAL BROADBAND IRELAND

APPLICATION BY THE STATUTORY UNDERTAKER OF A PROPOSED DEVELOPMENT IN ACCORDANCE WITH THE PLANNING AND DEVELOPMENT REGULATIONS 2001 (AS AMENDED) TO UTILISE EXEMPT DEVELOPMENT RIGHTS.

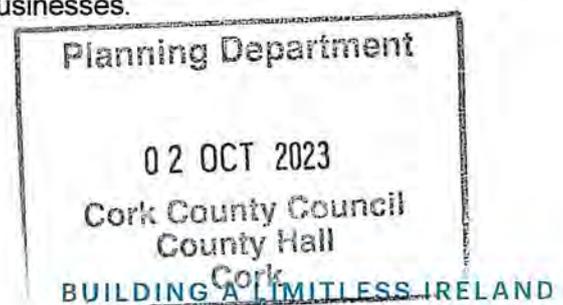
INSTALLATION AT: GRENAGH GAA, GRENAGH NORTH, GRENAGH, COUNTY CORK (ITM E: 557888, N: 584411).

We write in connection with a proposal to carry out exempt development by NBI Infrastructure DAC T/A National Broadband Ireland (NBI) at the above-named location, for use by NBI. This letter forms part of the request for a Declaration of Exempt Development by NBI Infrastructure DAC T/A National Broadband Ireland (NBI) to utilise exempt development rights to install electronic communications apparatus at this site, which has been chosen as a suitable network point in the design of its fibre broadband network for the area.

National Broadband Ireland

The National Broadband Plan (NBP) is the largest ever telecommunications project undertaken by the Irish State. It aims to radically transform the country's broadband landscape through the delivery of quality, affordable high-speed broadband to all parts of Ireland where such services are not available commercially.

The NBP will ensure that all people and businesses have access to high-speed broadband, no matter where they live or work. Once completed, all parts of Ireland will have access to a modern and reliable broadband network, capable of supporting the communications, information, education and entertainment requirements of current and future generations. It will make its services available to 23% of the population in about approximately 544,000 homes, farms, schools and businesses.



NBI Infrastructure Designated Activity Company
3609 Lake Drive, Citywest, Dublin 24. D24 H6RR

E: contactus@nbi.ie
WWW.NBI.IE

Registered in Ireland. Company Number: 631656
Directors: D. McCourt (American), M. Adams (American), P. Haron, S. Gray, H. Akhavan (American),
M. Sónmez (German), A. McCullon, D. McCauley, W.D. Scott (American)

Proposal

The proposal is to install electronic communications apparatus/development on behalf of National Broadband Ireland as follows:

Description of Development:

- A cabin to be painted green to be located within the Grenagh GAA on the western side of the southernmost pitch accessed off local road between Clonard Avenue to the east and Waterloo Road to the west.
- The cabin measures 3 m (Length) x 3 m (Width) x 3 m (Height) on 3,6 m x 3,6 m concrete plinth.
- Proposed concrete steps to be constructed to allow pedestrian access to proposed NBI compound.
- Ducting, cabling, earth pits, cabinets, chambers, mini pillar and all ancillary development thereto.
- Access to the site is gained from an existing access over property with Folio No. CK10257F and the site compound is on property with Folio No. CK149033F and consent for the proposal has been sought from both owners.

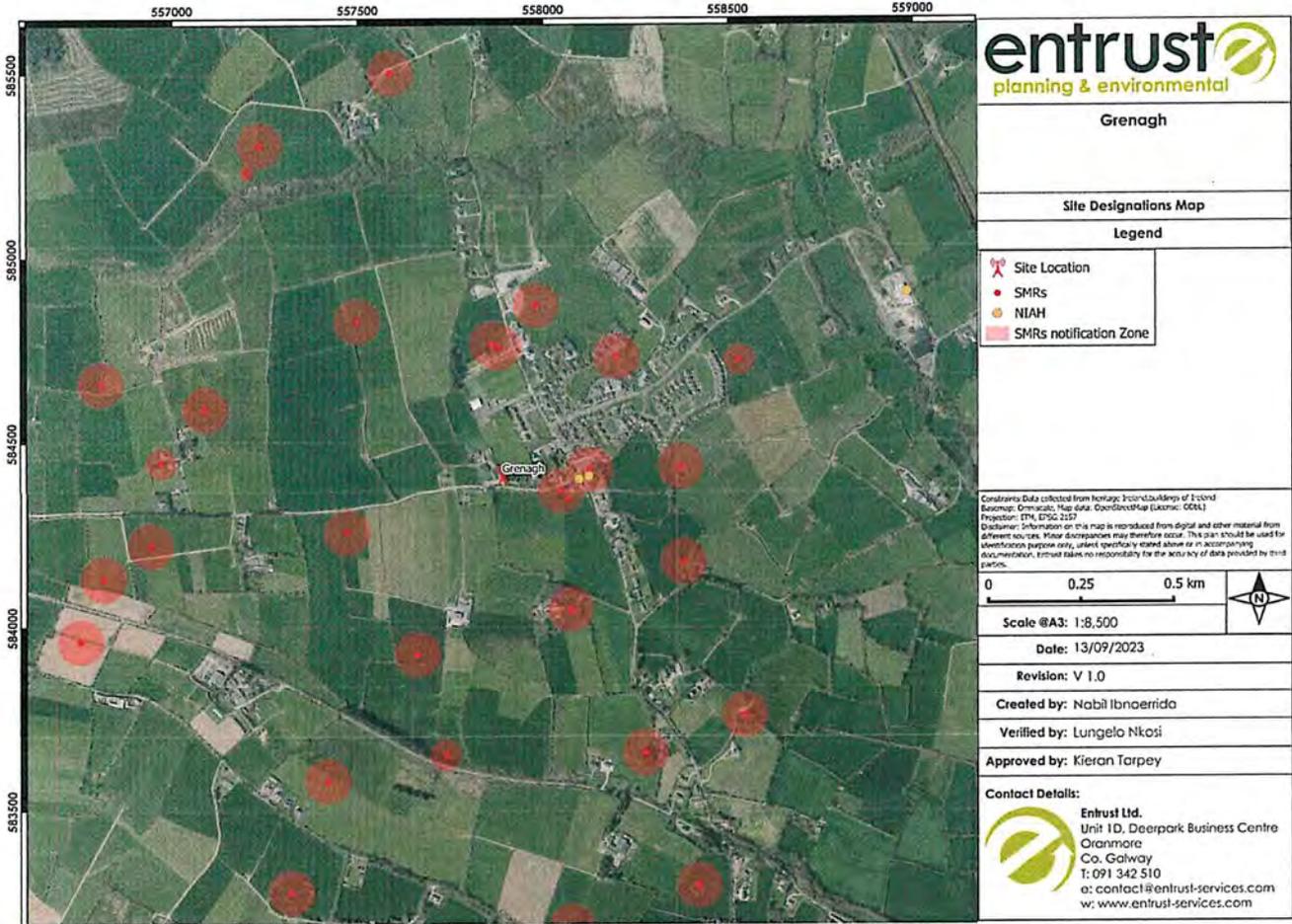
Planning Designations:

The proposal is located approximately 208 m from the closest NIAH (Freestanding cast-iron water pump, erected c.1870, Reg No: 20905105), in the E direction. The proposal is also located approximately 236 m to the next nearest NIAH (Freestanding T-plan double-height gable-fronted church, built c.1820, Reg No: 20905106) site in the E direction. The proposal is located approximately 166 m from the closest scheduled monument (SMR No: CO051 111001) Classification: RATH, which is located in the SE direction. The next closest scheduled monuments are located 192 m (SMR No: CO051 111002) Classification: Standing Stone, and 242 m (SMR No: CO051 111003) Classification: Church, in the SE and E direction respectively.

Given the small-scale nature of the proposal in terms of its footprint at 3 m x 3 m and its height at 3 m, its green colour and the location of the proposal, benefits from existing gradient, built form and natural screening from the closest Protected Structures to the E direction by way of a large semi-mature trees which effectively blocks visibility of the proposed small-scale development. Given the significant distance away from the Scheduled Monuments to the west and similarly to the east along with the intervening vegetation and building form screening, means there will be no visual impact on these heritage assets. Given the existing urban built form and vegetation screening from the aforementioned heritage assets means there will be no visibility of the proposal from these heritage assets and therefore no visual or other impact resulting from the proposal on the heritage assets. As such it is considered the proposal will have no impact on the Protected Structures and Scheduled Monument in proximity to the proposal whatsoever.

The proposal will not have any impact whatsoever on any heritage, ecological or landscape designations as shown in the map overleaf as it is not within or close to any designated areas.





Exempt Development

Please accept this submission as a formal application for a Declaration for Exempt Development under Section 5 (1) of the Planning and Development Act 2000 (as amended).

It is considered that this proposal is exempt development in accordance with the Planning & Development Regulations 2001 (as amended). The table below demonstrates the proposed development's compliance with SI No. 600, 2001, Schedule 2, Part 1, Class 31 (E) for development consisting of permanent telecommunications exchange and radio station containers, including containers for electronic equipment required for transmitting, receiving and processing telecoms data for both wireless or wired network.



NBI Infrastructure Designated Activity Company
3009 Lake Drive, Citywest, Dublin 24, D24 H6RR

E: contactus@nbi.ie
WWW.NBI.IE

Registered in Ireland. Company Number: 631656
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CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION

APPLICANT CHECKLIST

(Please tick ✓)

- 4 No. Copies of Application Form:**
- 1 No. Copy of Contact Details:**
- 4 No. Copies 6" O.S. Maps:**
- 4 No. Copies 25" O.S. Maps:**
- 4 No. Copies of Site Layout Plan:**
- 4 No. Copies Scaled Drawings of Development:**
- €80 Application Fee:**

<input checked="" type="checkbox"/>



FOR OFFICE USE ONLY

Receipt No.	PL2-0002302
Cash/Cheque/ Credit Card	Cheque
Date	02/10/2023
Declaration Ref. No.	D/2023/23

DATE STAMP HERE

You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3rd parties to view.

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

DATA PROTECTION

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at <http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to dpo@corkcoco.ie or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.

1. NAME OF APPLICANT: (ADDRESS TO BE SUPPLIED AT QUESTION A – CONTACT DETAILS)

NBI Infrastructure DAC T/A National Broadband Ireland

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION OF EXEMPTION IS SOUGHT:

Grenagh GAA, Grenagh North, Grenagh, Co. Cork

3. QUESTION/DECLARATION DETAILS:

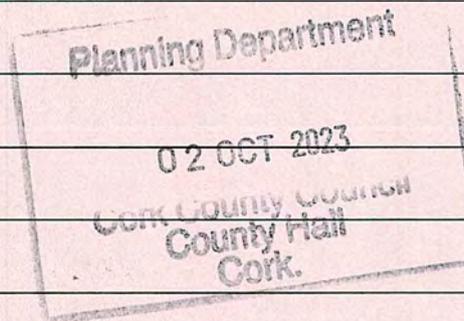
Please state the specific question for which a Declaration of Exemption is sought

Note: Only works listed and described under this section will be assessed under the Section 5 Declaration of Exemption

Fibre Broadband Cabin and ancillary development

The proposal is to install electronic communications apparatus/development on behalf of National Broadband Ireland

Please see attached cover letter for description of development



4. APPLICATION DETAILS:

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m²)

(a) Floor area of existing/proposed structure(s):	25.2 m ²
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 st October, 1964 (including those for which planning permission has been obtained):	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas (m ²) and previous planning reference(s) where applicable:
(c) If a change of use of land and/or building(s) is proposed, please state the following: Existing/previous use Sports Ground Proposed use Fibre Broadband Cabin and Ancillary Development	
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please state relevant reference number(s):

5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE:

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input type="checkbox"/>	B. Other <input checked="" type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:	Leasehold	
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):	Grenagh Parish Field Limited	

6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please state relevant reference No. <u>N/A</u>
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

7. APPROPRIATE ASSESSMENT:

Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes No

8. DATA PROTECTION DECLARATION:

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Processing of your Declaration of Exemption application by the Planning Authority

I give permission for my personal information to be processed for the purpose stated above

Signed (By Applicant Only)	
Date	29/09/2023

GDPR Special Categories of data / Sensitive Personal data - Explicit Consent

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.

Special Categories of data / Sensitive Personal data include:

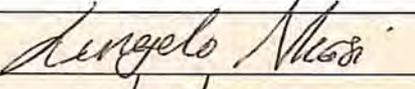
- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation



In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

Sensitive personal data being submitted in support of Declaration of Exemption Application

I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.

Signed	
Date	29/09/2023

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: planninginfo@corkcoco.ie or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: westcorkplanninginfo@corkcoco.ie However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.

ADVISORY NOTES:

The application must be accompanied by the required fee of €80
 The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.
 Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.
 The application should be sent to the following address:
 The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

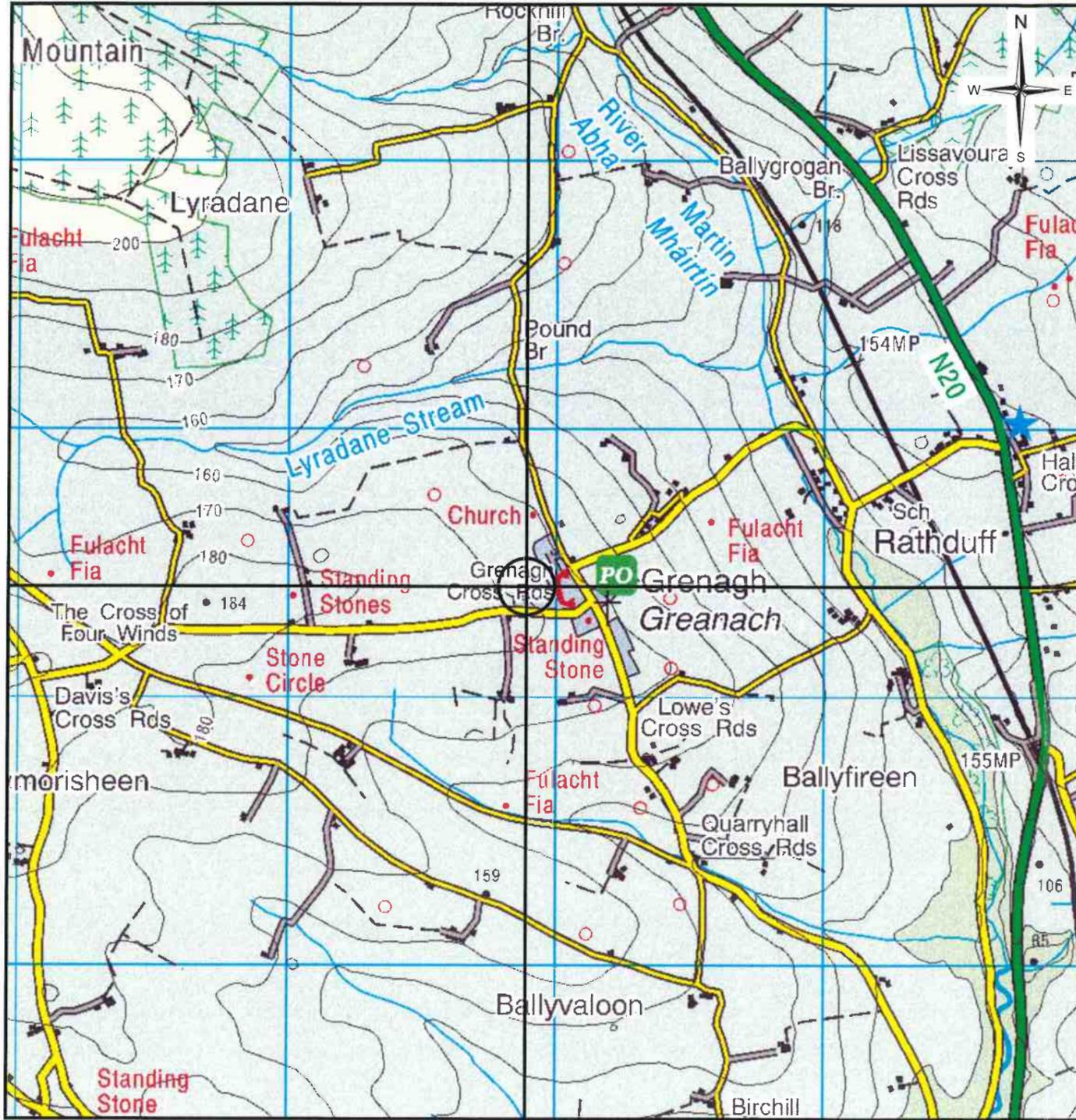
- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.

9. I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:

Signed (Applicant or Agent as appropriate)	
Date	29/09/2023





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Drawing No.	Drawing Title
81293/001/00	Location Map & Photos
81293/001/01	Site Location Map
81293/001/02	Site Location Map 1:350
81293/001/03	Site Layout Plan 1:250
81293/001/04	Site Layout Plan 1:100
81293/001/05	Proposed Elevation
81293/001/06	Prop. Cabin Setting Out
81293/001/07	Proposed Earthing Layout

Site Photographs



FIG. 1: ELEVATION



FIG. 2: PROPOSED SITE LOCATION



FIG. 3: PROPOSED RFE CABINET LOCATION

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NOTES

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Iss	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

Cabin/Cabinet Details

Cabinet Type: NBI CABIN
Dimensions: 3m x 3m x 3m
Colour:

Site Coordinates

Latitude: 52.010122
Longitude: -8.613428

Grid Reference

Easting: 557,888
Northing: 584,411

Purpose

LOW LEVEL DESIGN

Site code

Survey date

03.07.23

Sheet Size

A3

Scale

As Shown

Drawn By

GOR

Checked By

VM

Date Drawn

05.07.23

Date Checked

05.07.23

Title: Location Map & Photographs

Project: Grenagh
Grenagh GAA
Grenagh North
Co.Cork

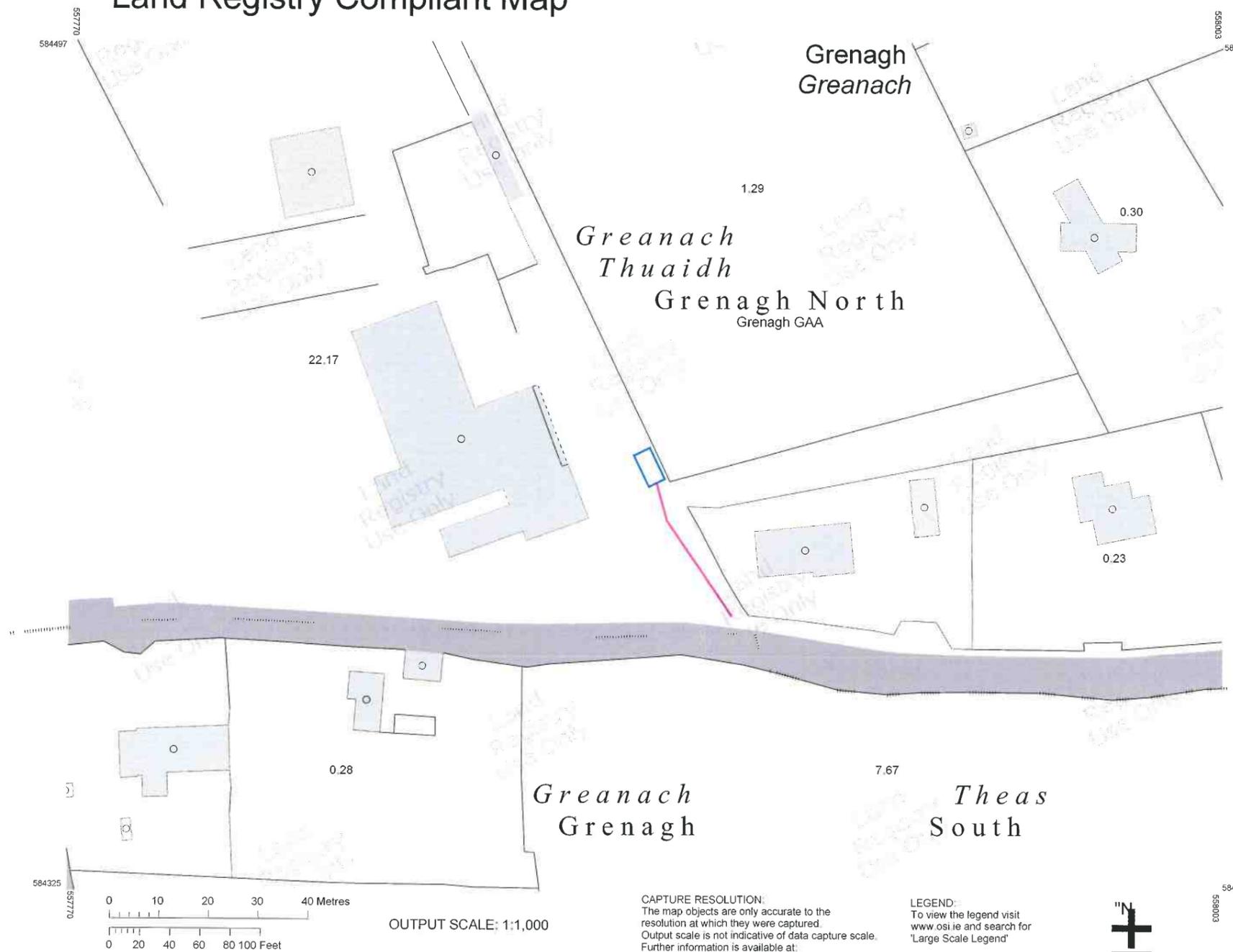
Drawing No 81293/001/00

NOT FOR CONSTRUCTION SUBJECT TO CHANGES

REVISION B



Land Registry Compliant Map



LEGEND

PROPOSED SITE ———

PROPOSED RIGHT OF WAY ———

CENTRE COORDINATES:
ITM 557887,584411

PUBLISHED: 03/07/2023 **ORDER NO.:** 50343758_1

MAP SERIES: 1:2,500 **MAP SHEETS:** 6192-A, 6192-B

COMPILED AND PUBLISHED BY:
National Mapping Division of
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Further information is available at:
www.osi.ie; search 'Capture Resolution'

LEGEND:
To view the legend visit www.osi.ie and search for 'Large Scale Legend'



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SITE LOCATION MAP PLAN
SCALE 1:1000

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NBI
NATIONAL BROADBAND IRELAND.
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D04 HERR.
TEL: +353 (0) 818 624624

NOTES

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1.3 Assume all site details are existing unless otherwise specified.

Iss	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

Cabinet/Cabinet Details

Cabinet Type: NBI CABIN
Dimensions: 3m x 3m x 3m
Colour: ■

Site Coordinates

Latitude: 52.010122
Longitude: -8.613428

Grid Reference

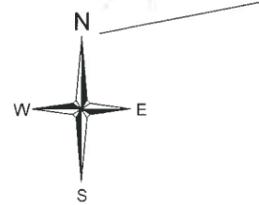
Easting: 557,888
Northing: 584,411

Purpose LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
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Scale	Drawn By	Checked By	VM
As Shown	GOR	VM	
Date Drawn	05.07.23	Date Checked	05.07.23

Title: Proposed Site Location Map 1:1000	NOT FOR CONSTRUCTION SUBJECT TO CHANGES
Project: Grenagh, Grenagh GAA, Grenagh North, Co.Cork	
Drawing No: 81293/001/01	REVISION: B

Grenagh North

Grenagh GAA



22.17

PLOT A
COMPOUND AREA 25.2 M²
0.00252 HECTARE
ITM CO-ORDS
E557,888
N584,411

Land Registry
Use Only

Land Registry
Use Only

Land Registry
Use Only

LEGEND
 PROPOSED SITE
 PROPOSED RIGHT OF WAY

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SITE LOCATION MAP PLAN
 SCALE 1:350

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Iss.	Description	By	Date
A	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

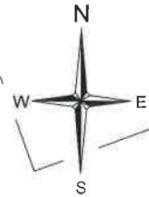
Cabinet/Cabinet Details
 Cabinet Type: NBI CABIN
 Dimensions: 3m x 3m x 3m
 Colour:

Site Coordinates
 Latitude: 52.010122
 Longitude: -8.613428

Grid Reference
 Easting: 557,888
 Northing: 584,411

Purpose LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
-	03.07.23	A3	
Scale	Drawn By	Checked By	VM
As Shown	GOR	GOR	VM
Date Drawn	05.07.23	Date Checked	05.07.23

Title: Proposed Site Location Map 1:350	NOT FOR CONSTRUCTION SUBJECT TO CHANGES
Project: Grenagh Grenagh GAA Grenagh North Co Cork	
Drawing No: 81293/001/02	REVISION: B



EXISTING FARM BUILDINGS

GRENAGH GAA PITCH

EXISTING CONCRETE WALL AT PITCH SIDE TO BE RAISED BY 400mm & 8 METRES LONG TO ENSURE FLAT GROUND FOR PROPOSED NBI COMPOUND AREA

PROPOSED NBI CABIN (3.0m x 3.0m) ON CONCRETE PLINTH

PROPOSED COMPOUND FINISH SURFACE TO BE 20mm CLEAN STONE LAID ON TERRAM HEAVY DUTY WOVEN ANTI-WEED FABRIC

EXISTING CONCRETE WALL BOUNDARY

PROPOSED LOCATION OF NBI RFE CABINET AT FRONT OF PROPOSED NBI COMPOUND

PROPOSED CONCRETE STEPS TO BE CAST ON-SITE AND CONCRETE WALL CUT TO ALLOW ACCESS TO PROPOSED NBI COMPOUND

PROPOSED RIGHT OF WAY FOR NBI FIBRE UNDERGROUND DUCTING TO ROADWAY

PROPOSED 2 No. FIBRE SUPPLY DUCT

EXISTING BOUNDARY

EXISTING ENTRANCE TO FARMER'S YARD TO BE USED FOR ACCESS TO PROPOSED NBI COMPOUND

PROPOSED SITE LAYOUT PLAN
SCALE 1:250

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Iss	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

Cabin/Cabinet Details
Cabinet Type: NBI CABIN
Dimensions: 3m x 3m x 3m
Colour: -

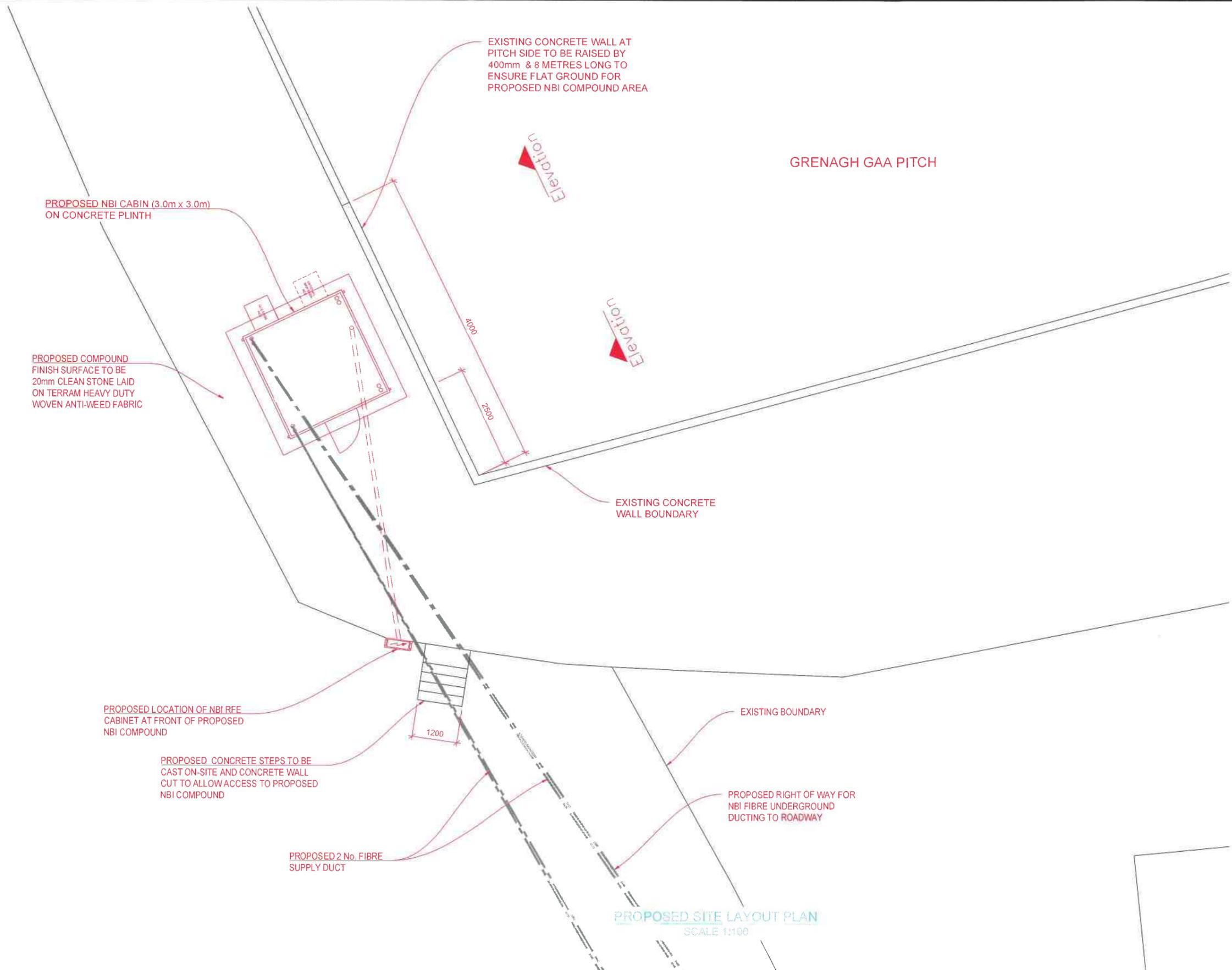
Site Coordinates
Latitude: 52.010122
Longitude: -8.613428

Grid Reference
Easting: 557,888
Nothing: 584,411

Purpose			
LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
-	03.07.23	A3	
Scale	Drawn By	Checked By	VM
As Shown	GOR	VM	
Date Drawn	05.07.23	Date Checked	05.07.23

Title: Proposed Site Layout Plan 1:250	
Project:	Grenagh Grenagh GAA Grenagh North Co.Cork
Drawing No	81293/001/03
REVISION	B

NOT FOR CONSTRUCTION
SUBJECT TO CHANGES



EXISTING CONCRETE WALL AT PITCH SIDE TO BE RAISED BY 400mm & 8 METRES LONG TO ENSURE FLAT GROUND FOR PROPOSED NBI COMPOUND AREA

GRENAGH GAA PITCH

PROPOSED NBI CABIN (3.0m x 3.0m) ON CONCRETE PLINTH

PROPOSED COMPOUND FINISH SURFACE TO BE 20mm CLEAN STONE LAID ON TERRAM HEAVY DUTY WOVEN ANTI-WEED FABRIC

EXISTING CONCRETE WALL BOUNDARY

PROPOSED LOCATION OF NBI RFE CABINET AT FRONT OF PROPOSED NBI COMPOUND

PROPOSED CONCRETE STEPS TO BE CAST ON-SITE AND CONCRETE WALL CUT TO ALLOW ACCESS TO PROPOSED NBI COMPOUND

EXISTING BOUNDARY

PROPOSED RIGHT OF WAY FOR NBI FIBRE UNDERGROUND DUCTING TO ROADWAY

PROPOSED 2 No. FIBRE SUPPLY DUCT

PROPOSED SITE LAYOUT PLAN SCALE 1:100

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Iss.	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

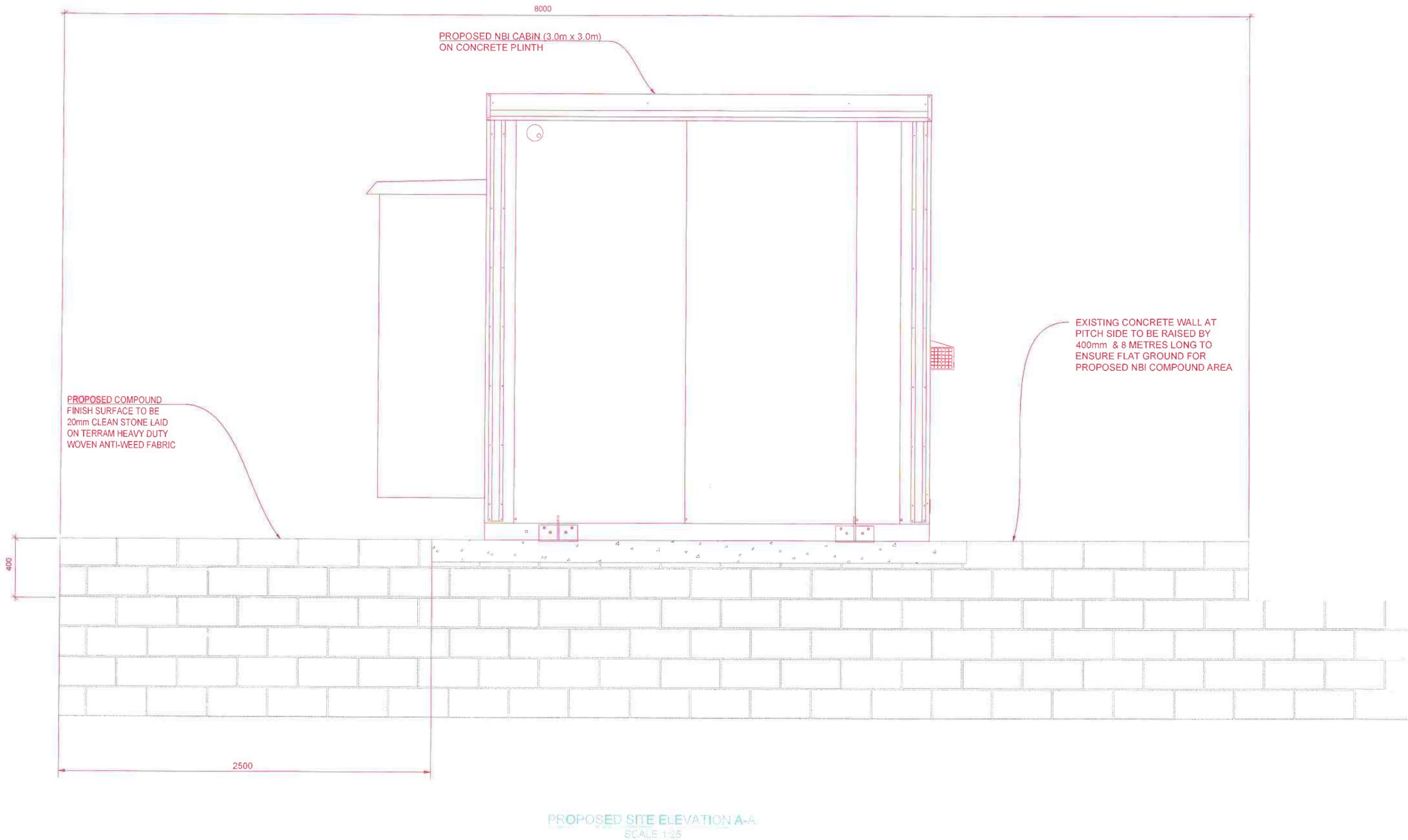
Cabin/Cabinet Details
Cabinet Type:- NBI CABIN
Dimensions: 3m x 3m x 3m
Colour: -

Site Coordinates
Latitude: 52.010122
Longitude: -8.613428

Grid Reference
Easting: 557,888
Northing: 584,411

Purpose LOW LEVEL DESIGN			
Site code	Survey date 03.07.23	Sheet Size A3	
Scale As Shown	Drawn By GOR	Checked By VM	Date Checked 05.07.23

Title: Proposed Site Layout Plan 1:100	Project: Grenagh Grenagh GAA Grenagh North Co.Cork	NOT FOR CONSTRUCTION SUBJECT TO CHANGES
Drawing No 81293/001/04		



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Cabinet Type: NBI CABIN
Dimensions: 3m x 3m x 3m
Colour:

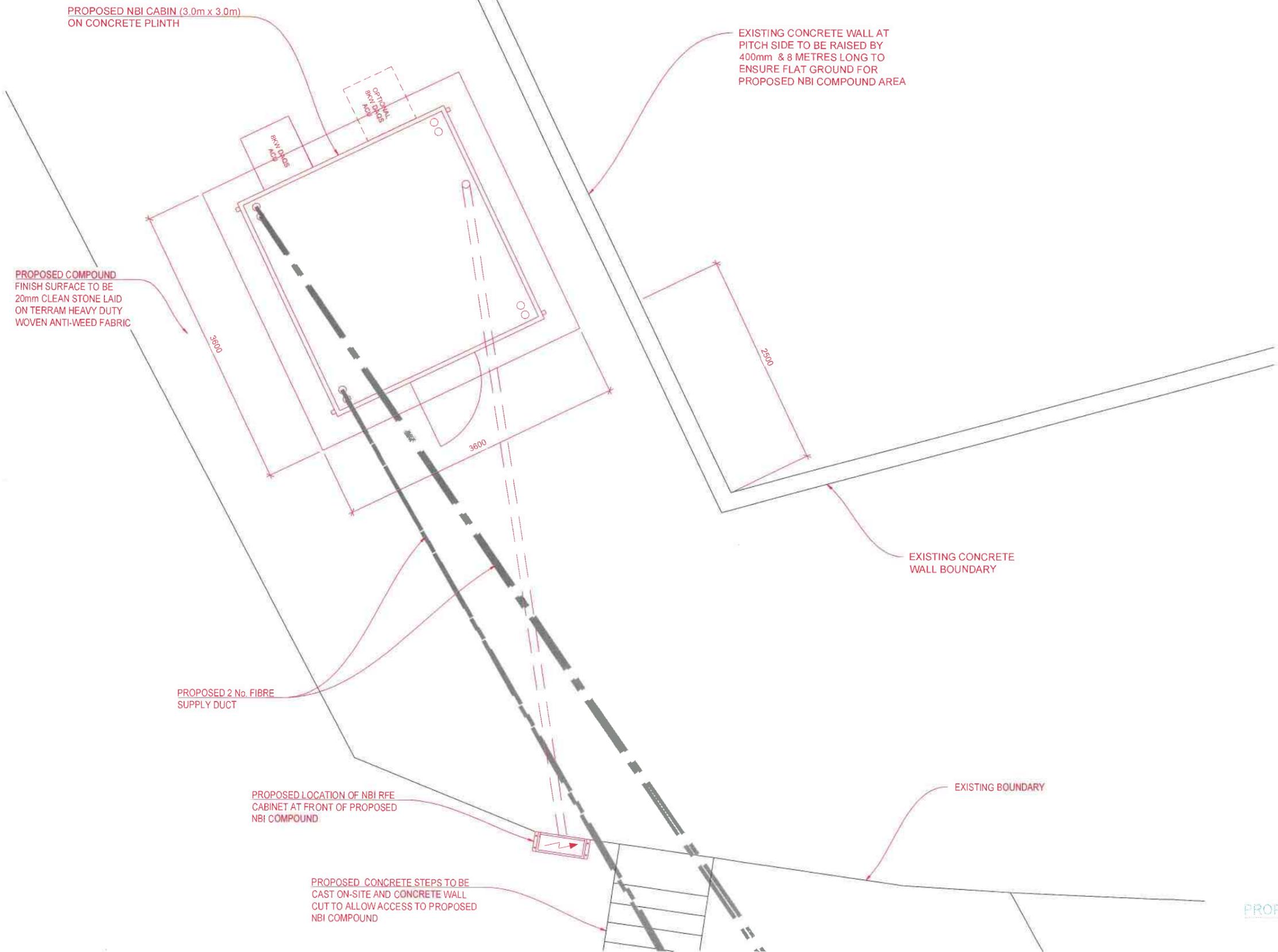
Site Coordinates
Latitude: 52.010122
Longitude: -8.613428

Grid Reference
Easting: 557,888
Nothing: 584,411

Purpose			
LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
-	03.07.23	A3	
Scale	Drawn By	Checked By	VM
As Shown	GOR	GOR	VM
Date Drawn	05.07.23	Date Checked	05.07.23

Title:	
Proposed Site Elevation 1:25	
Project:	Grenagh Grenagh GAA Grenagh North Co.Cork
Drawing No	81293/001/05
REVISION	B

**NOT FOR
CONSTRUCTION
SUBJECT TO
CHANGES**



PROPOSED CABIN SETTING OUT
SCALE 1:50

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Cabinet/Cabinet Details
Cabinet Type:- NBI CABIN
Dimensions: 3m x 3m x 3m
Colour: -

Site Coordinates
Latitude: 52.010122
Longitude: -8.613428

Grid Reference
Easting: 557,888
Northing: 584,411

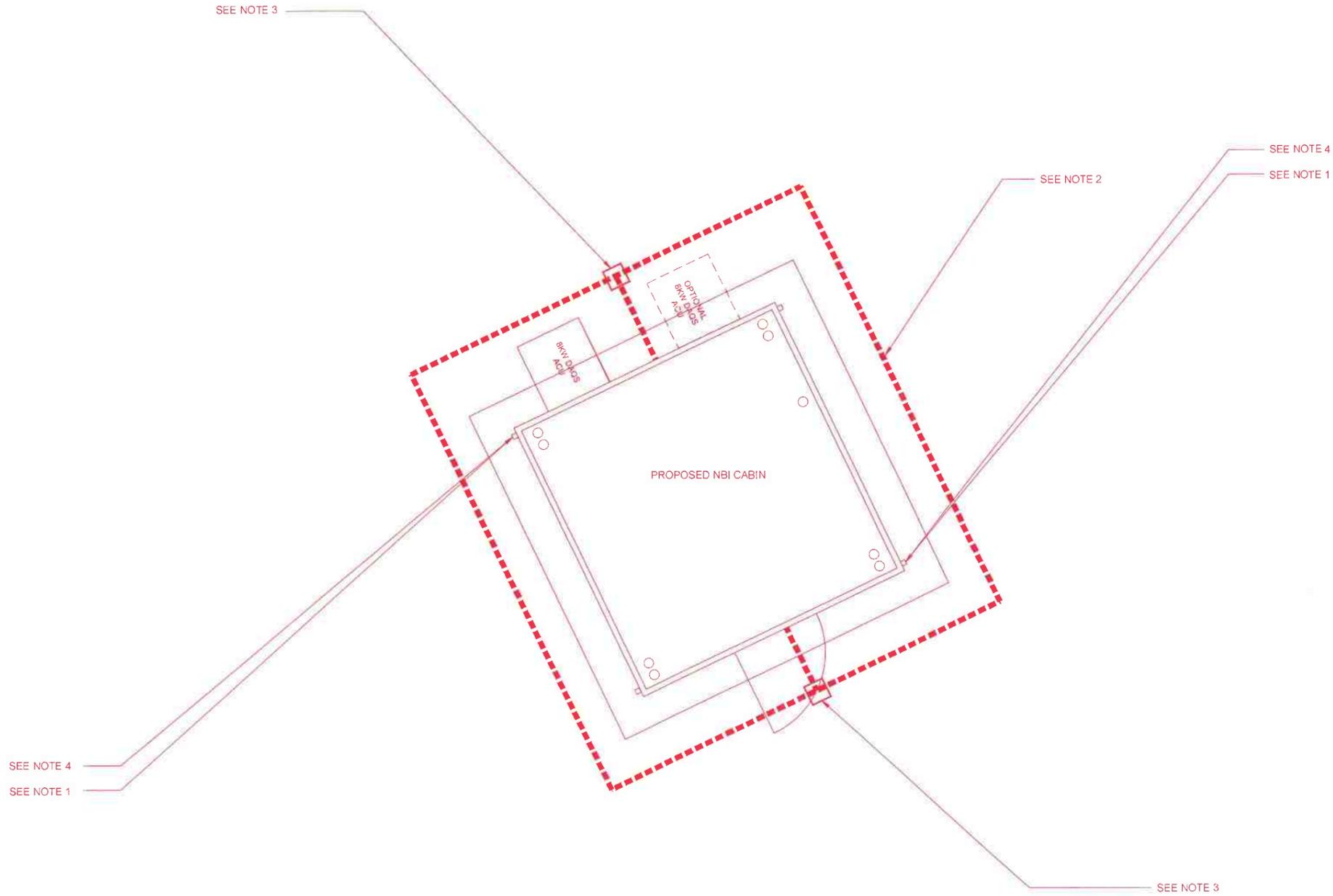
Purpose LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
-	03.07.23	A3	
Scale	Drawn By	Checked By	VM
As Shown	GOR	GOR	VM
Date Drawn	05.07.23	Date Checked	05.07.23

Title: Proposed Cabin Setting Out		NOT FOR CONSTRUCTION SUBJECT TO CHANGES
Project: Grenagh Grenagh GAA Grenagh North Co.Cork		
Drawing No	81293/001/06	REVISION B



NOTES:

1. PROPOSED CABIN CONNECTED TO INNER EARTH RING AT DESIGNATED POINTS ON CABINS, (INDICATED BY CIRCLE), FOR DETAILS THE CABIN EARTH POINTS PLEASE REFER TO MANUFACTURERS SPECIFICATION. ALUMINIUM TAPE OR CABLE TAIL TO BE LEFT FOR CONNECTION TO CABIN. OVERGROUND EARTH CONNECTION TO BE INSULATED.
2. LINE OF EARTH RING. EARTH SYSTEM TO CONSIST OF CABLE OR BARE COPPER TAPE 50 SQ LAID INTO TRENCH.
3. POSITION OF EARTH PIT AND EARTH RODS. BI-METALLIC CONNECTORS TO BE LOCATED IN EARTH PITS. GROUND TO BE CLEAR OF ANY UNDERGROUND CABLES IN VICINITY OF EARTH PITS AND BI-METALLIC CONNECTORS. No. OF CONNECTORS RELATES TO GROUND CONDITIONS. CONDITION OF GROUND TO BE CHECKED ON SITE BEFORE COMMENCEMENT.
4. 50mm DUCT IN BASE SLAB FOR EARTH TO CONNECT TO CABIN EARTH POINT TO BE SEALED WITH EXPANDING FOAM



PROPOSED EARTHING LAYOUT
SCALE 1:50

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NOTES

- 1.1 Do not scale.
- 1.2 All dimensions are in mm unless otherwise specified.
- 1.3 Assume all site details are existing unless otherwise specified.

Iss.	Description	By	Date
B	Compound Area Revised	GOR	25.08.23
A	Initial Issue	GOR	05.07.23

Cabin/Cabinet Details
Cabinet Type:- NBI CABIN
Dimensions: 3m x 3m x 3m
Colour: -

Site Coordinates
Latitude: 52.010122
Longitude: -8.613428

Grid Reference
Easting: 557,888
Northing: 584,411

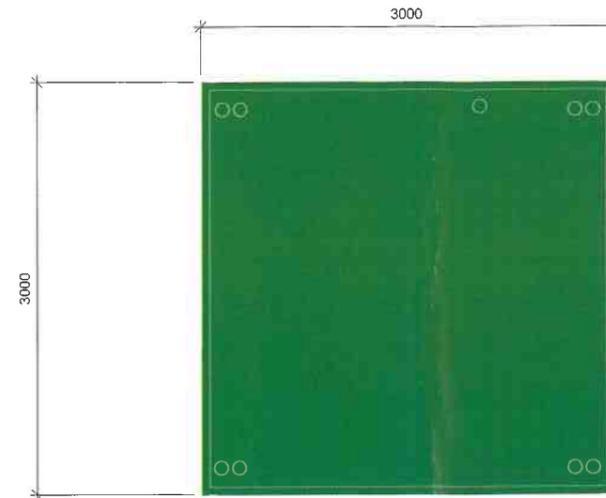
Purpose LOW LEVEL DESIGN			
Site code	Survey date	Sheet Size	
-	03.07.23	A3	
Scale	Drawn By	Checked By	VM
As Shown	GOR	VM	
Date Drawn	Date Checked		
05.07.23	05.07.23		

Title: Proposed Earthing Layout	
Project:	Grenagh Grenagh GAA Grenagh North Co. Cork
Drawing No	81293/001/07
REVISION	B

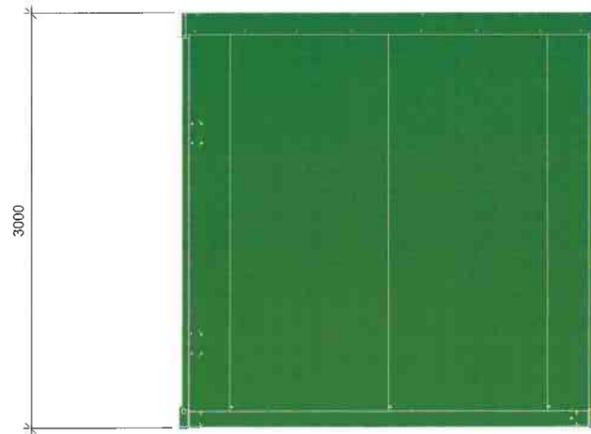
**NOT FOR CONSTRUCTION
SUBJECT TO CHANGES**

NOTES:

- CABIN IS ENTIRELY DOUBLE SKINNED
- INSULATED WITH EXTRA FIRE RETARDANT POLYSTYRENE
- CABIN IS IP55 RATED
- INTERNAL DIMENSIONS: 2787mm LONG x 2787mm WIDE x 2700mm HIGH



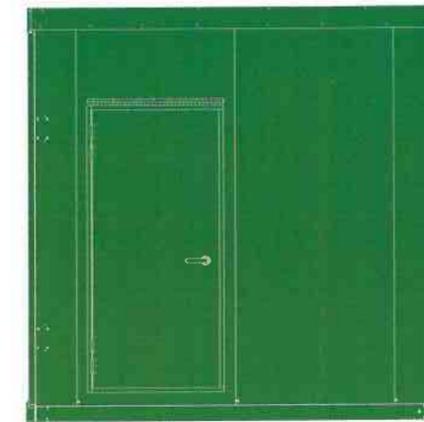
PLAN VIEW



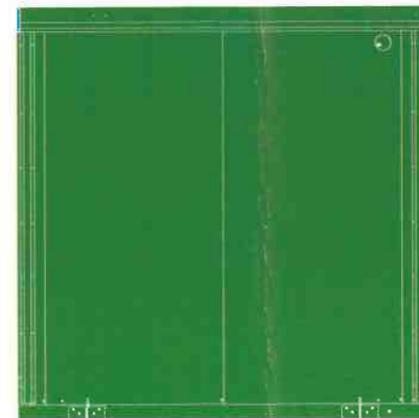
REAR VIEW



LEFT VIEW



FRONT VIEW



RIGHT VIEW

PROPOSED NBI CABIN DETAILS
SCALE 1:50

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NOTES

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Iss.	Description	By	Date
A	Initial Issue	GOR	01.06.21

Cabin/Cabinet Details	
Cabinet Type:	NBI
Dimensions:	3m x 3m x 3m
Colour:	-

Site Coordinates	
Latitude:	-
Longitude:	-

Grid Reference	
Easting:	-
Northing:	-

Purpose				
PLANNING				
Site code	Survey date	Sheet Size		
N/A	xx.xx.xx	A3		
Scale	Drawn By	Checked By	VM	
As Shown	Date Drawn	Date Checked	01.06.21	

Title:	
Proposed NBI Cabin Layout	
Project:	NBI ROLLOUT
Drawing No	70000/002/01
REVISION	A

NOT FOR
CONSTRUCTION
SUBJECT TO
CHANGES