

# Comhairle Contae Chorcaí Cork County Council

Kathryn O' Connor,  
c/o Lucy H. Walsh B.Eng.,  
Foundation & Design Ltd.  
Consulting Engineers,  
43 New Cork Road,  
Midleton,  
Co. Cork.

Pleanáil agus Forbairt,  
Halla an Chontae,  
Bóthar Charraig Ruacháin,  
Corcaigh T12 R2NC.  
Fón: (021) 4276891  
R-phost: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie)  
Suíomh Gréasáin: [www.corkcoco.ie](http://www.corkcoco.ie)  
Planning & Development,  
County Hall,  
Carrigrohane Road, Cork T12 R2NC.  
Tel (021) 4276891  
Email: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie)  
Web: [www.corkcoco.ie](http://www.corkcoco.ie)



5<sup>th</sup> December 2023

REF: D/302/23  
LOCATION: 19 Rosehill East, Ballinacurra, Ballynacorra West, Midleton, Co. Cork.

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Madam,

On the basis of the information submitted by you on the 9<sup>th</sup> November 2023 the Planning Authority, having considered the question whether or not the proposed cosmetic modifications and rear extension (as detailed below) at **19 Rosehill East, Ballinacurra, Ballynacorra West, Midleton, Co. Cork** is or is not development and is or is not exempted development has declared that it **is development and is exempted development**.

## Reason for Decision

The Planning Authority in considering this referral had particular regard to:

- Sections 2(1), 3(1) and 4(4) of the Planning and Development Act 2000 (as amended),
- Articles 3, 6, and 10 and Class 1, Schedule 2, Part 1 of the Planning and Development Regulations 2001 (as amended) and
- The particulars received by the Planning Authority on 9<sup>th</sup> November 2023

## **And Whereas Cork County Council has concluded that –**

The proposal constitutes "development" within the meaning of S3 of the Act.

- (a) The proposed cosmetic amendments to the dwelling, namely sunroom window modifications, ground floor kitchen/ dining area window, rear infilled window and new side door are deemed to constitute "**exempted development**" under the provisions of S4(1)(h) of the Act.
- (b) The existing sunroom extension is deemed to constitute "**exempted development**" having regard to the provisions of Class 1, Schedule 2, Part 1, (Exempted Development) Regulations 2001



- (c) The proposed 9sqm rear extension is not considered to constitute "exempted development" having regard to the provisions of Class 1, Schedule 2, Part 1, (Exempted Development) Regulations 2001. Taken in conjunction with development permitted under 21/5798, allowable exemption limits would be exceeded.

Please note however if the development permitted under 21/5798 is not implemented as set out in documents lodged (i.e., the element permitted on Eastern elevation is not built), then the proposed extension would meet the provisions of Class 1, Schedule 2, Part 1, (Exempted Development) Regulations 2001

*This exemption does NOT itself empower a person to carry out a development unless that person is legally entitled to do so.*

**Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.**

Yours faithfully,

  
**KEVIN O' REGAN,  
SENIOR EXECUTIVE OFFICER,  
PLANNING DEPARTMENT.**

*In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>*

Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000

D302-23- Rear extension/ cosmetic modifications, 19 Rosehill, Ballinacurra

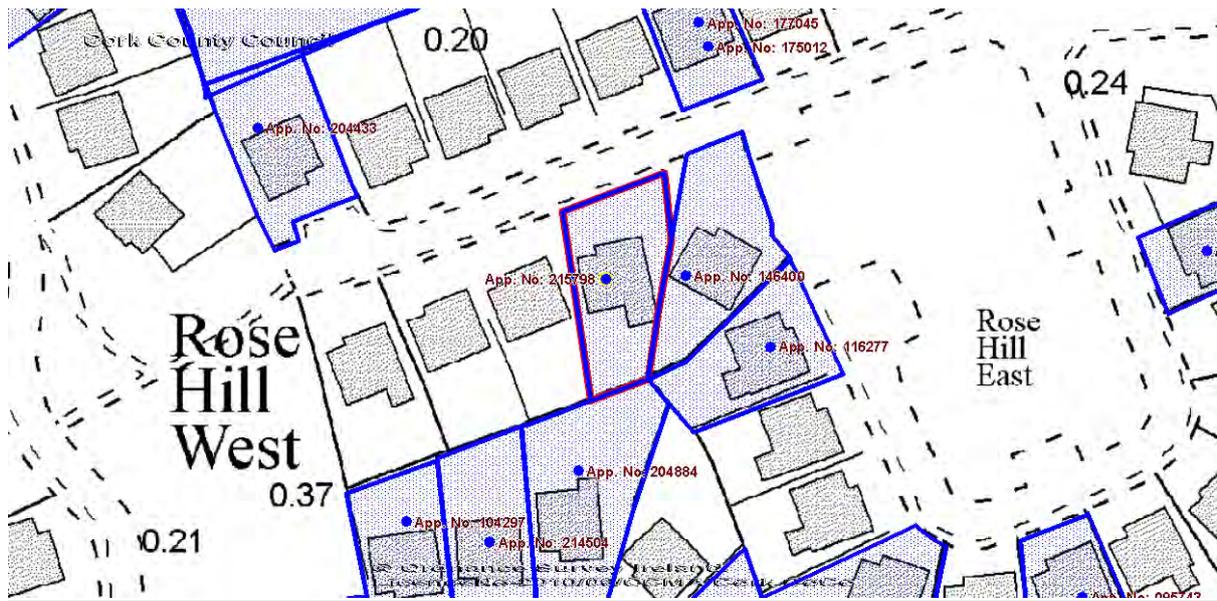
---

The Question

The applicant is querying whether the following is/ is not exempted development for the purposes of the Act

1)	ARE PROPOSED ALTERATIONS TO ELEVATIONS OUTLINED IN BLUE ON THE ATTACHED DRAWINGS EXEMPTED DEVELOPMENT?
2)	IS THE PROPOSED GROUND FLOOR EXTENSION OF 9 SQ M OUTLINED IN GREEN ON THE ATTACHED DRAWINGS EXEMPTED DEVELOPMENT?
	A PREVIOUS REAR EXTENSION OUTLINED IN MAGENTA ON (7.7 SQ M) THE ATTACHED IS CONSIDERED EXEMPTED DEVELOPMENT UNDER CLASS 1 OF PART 1 (PLANNING & DEVELOPMENT REGULATIONS)
	A FIRST FLOOR EXTENSION OF 22 SQ M IS DUE TO COMMENCE CONSTRUCTION IN SPRING 2024. THIS PLANNING REF IS 21/05798.
	THE ADDITIONAL TWO STOREY EXTENSION TO THE EAST ELEVATION PROPOSED UNDER PLANNING REF 21/05798 WILL NOT BE CONSTRUCTED.

Planning History



21/5798- Permission granted for 1) the construction of a new two storey extension to the eastern elevation; 2) the construction of a first floor extension on top of the existing single storey accommodation to the western elevation; 3) elevational alterations to the existing facades to include new Windows; 4) alterations to elevations of the existing rear single storey sunroom; and including all associated site works, all to the existing two storey detached dwelling.

### Statutory Provisions

I consider the following statutory provisions relevant to this referral case:

#### Planning and Development Act, 2000

**Section 3 (1)** states:-

“In this Act, “development” means, except where the context otherwise requires, the carrying out of works on, in over or under land, or the making of any material change of use of any structures or other land.”

*Works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal".*

Section 4(1) (h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures

Section 4 (2) of the Act provides that the Minister may, by regulations, provide for any class of development to be exempted development. The main regulations made under this provision are the Planning and Development Regulations, 2001.

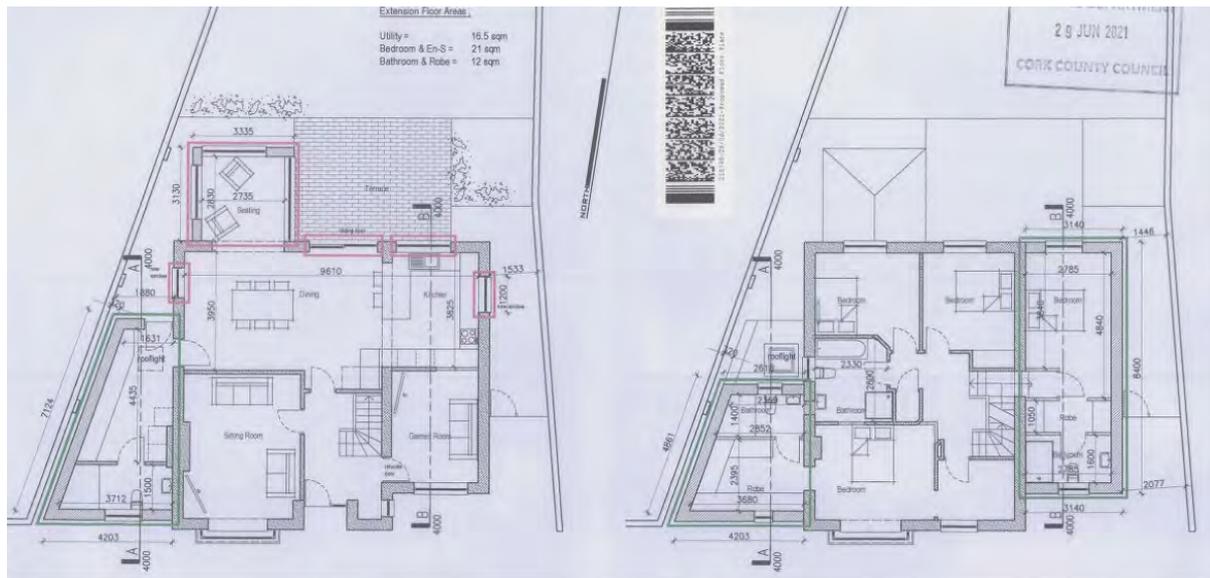
#### Planning and Development Regulations, 2001

Article 6(1) of the Regulations states as follows:- *"(a) Subject to article 9, development consisting of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1*

Article 9 (1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development.

#### **Assessment**

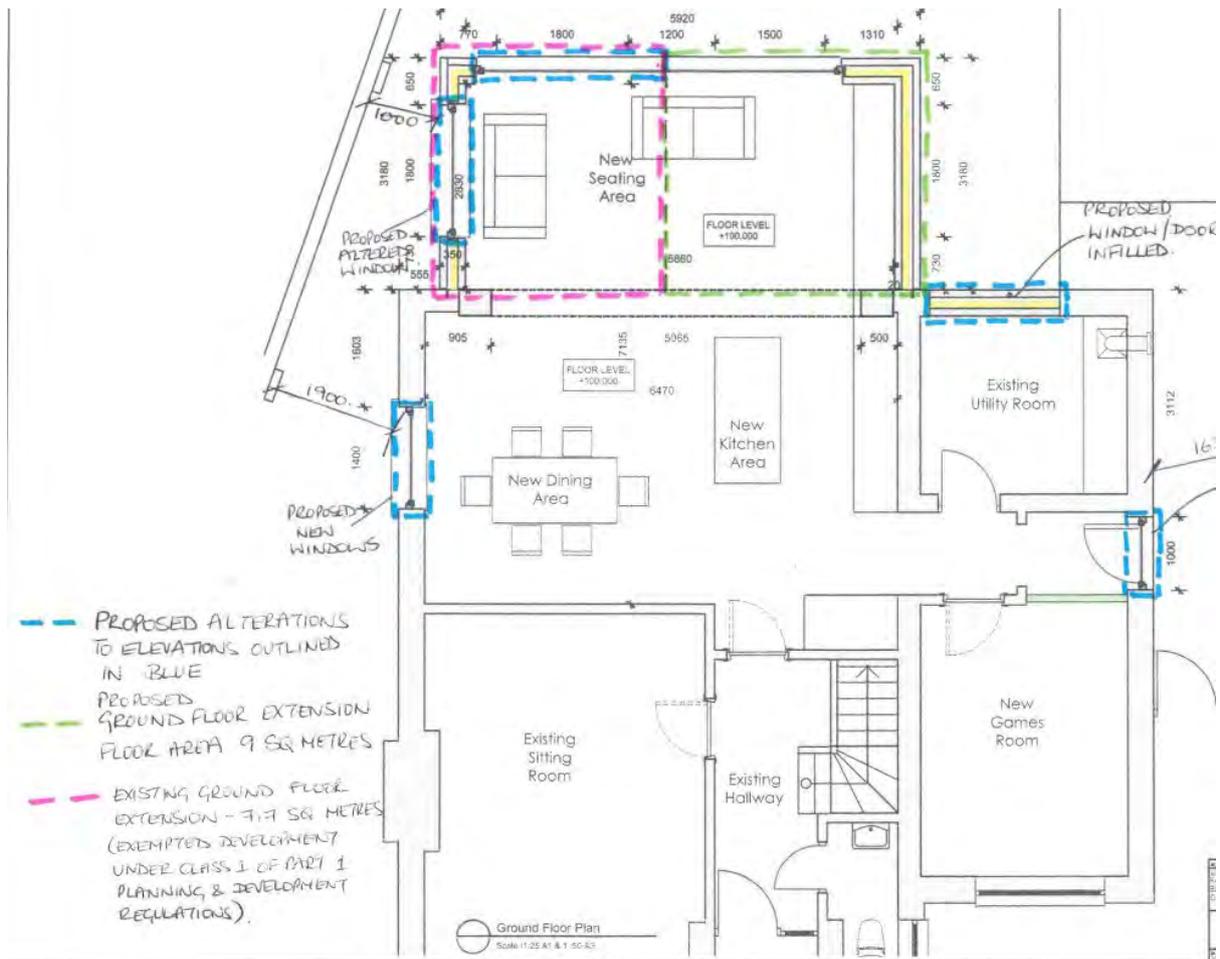
Having regard to the questions posed, the proposal constitutes "development" as set out under S3 of the Planning and Development Act 2000 in that "works" are proposed to be carried out on the site. The question therefore is whether or not these "works" constitute "exempted development" for the purposes of the Act



***Development Permitted under 21/5798***

Under 21/5798, the applicant was granted permission for a new two storey side extension (east elevation), new first floor side extension (west elevation) and modifications to existing rear sunroom (see permitted drawings above). In total, the permitted works accounted for an additional 49.5sqm floor space. The applicant has indicated that they do not intend to fully implement the permitted development. It is stated that works are due to start next year however the permitted two storey East extension (28.5sqm) will not be implemented.

The current proposal therefore seeks to test whether modifications to the permitted development could be considered under “exempted development” provisions. Some cosmetic modifications to the existing dwelling are proposed as well as a new ground floor rear extension (9sqm) to the existing sunroom.



### Proposed works

Please note there is nothing in the S5 process that could rescind a valid permission or compel the applicant not to implement same. The permitted development on this site is live until 21/9/2026. In assessment terms therefore, this proposal has to be considered in respect of the totality of the permitted development as there is no guarantee that same would not be fully implemented before end of its duration and no mechanism to prevent this occurrence.

At the outset it is noted that the submitted documents refer to a pre-existing sun-room extension (7.7sqm) on the rear elevation that is deemed to meet the provisions of Class 1, Schedule 2, Part 1 (i.e a rear extension <40sqm). Having considered this matter I would be satisfied that this existing extension meets the provisions of Class 1 and is deemed to constitute "exempted development" for the purposes of the Act. It is proposed to extend this sunroom by a further 9sqm. The proposed extension must also be considered in the context of Class 1, Schedule 2, Part 1. As noted this class allows the construction of up to 40sqm new build to be constructed to the rear of an existing dwelling subject to certain caveats. In particular, I refer to caveat 2(a):

*Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October*

*1964, including those for which planning permission has been obtained, shall not exceed 40 square metres*

Taken in conjunction with the existing sun room extension (7.7sqm) and the additional floor space permitted under 21/5798 (49.5sqm), the proposed 9sqm extended floor space does not meet this exemption class as the allowable 40sqm limit has been exceeded. If the permitted development and proposed development were implemented, the totality of the overall extended floor area would equal 66.2sqm

I would add that if the permitted extension (East elevation-28.5sqm) was not implemented as set out in documents lodged, the total floor area (proposed plus permitted) would equal 37.7sqm (i.e. would fall within the acceptable limits as set out under class 1). It may be reasonable to include a concluding point on this issue

With respect to the proposed cosmetic alterations to the dwelling (namely modifications to existing sunroom windows, ground floor dining area window, rear infilled window and new side door) I would be satisfied that these could be considered “exempt development” as per S4(1)(h) of the Act as these changes would not *materially affect the external appearance of the structure so as to render the appearance inconstant with the character of the structure or of neighbouring structures*. Furthermore, these changes could exist irrespective of the permitted development and the provisions of S4(1)(h) does not have any caveats to this effect.

#### Article 9 Restrictions

Restrictions on exemptions are listed under Article 9 of the Regulations. Having reviewed same against the subject development, none would apply

#### **AA/ EIA**

Section 4(4) of the Act essentially de-exempts any development which attracts a requirement for Environmental Impact Assessment (EIA) or Appropriate Assessment (AA).

In relation to EIA, part 2 of schedule 5 lists development which may require EIA for the purposes of part 10 of Part 10 of the Planning and Development Act.

Having considered that detail I am satisfied the proposal does not trigger any requirement for mandatory or sub-threshold EIA. Similarly, and having regard to the nature of the proposal and the distance to Natura 2000 site, I am satisfied that requirement for AA is not warranted. Both these conclusions were also reached in the assessment of 22/5798

## Conclusion

In considering this referral, and having had regard particularly to -

- (a) Section 2(1), 3(1), 4(4), of the Planning and Development Act, 2000, as amended,
- (b) Articles 3, 6 and 10 and Class 1 of Schedule 2, part 1 of the Planning and Development Regulations, 2001, as amended,

The Planning Authority has concluded that:

- (a) the proposal constitutes “development” within the meaning of S3 of the Act
  - (a) The proposed cosmetic amendments to the dwelling, namely sunroom window modifications, ground floor kitchen/ dining area window, rear infilled window and new side door are deemed to constitute “exempt development” under the provisions of S4(1)(h) of the Act
  - (b) The existing sunroom extension is deemed to constitute “exempted development” having regard to the provisions of Class 1, Schedule 2, Part 1, (Exempted Development) Regulations 2001
  - (c) The proposed 9sqm rear extension is not considered to constitute “exempted development” having regard to the provisions of Class 1, Schedule 2, Part 1, (Exempted Development) Regulations 2001. Taken in conjunction with development permitted under 21/5798, allowable exemption limits would be exceeded

Please note however if the development permitted under 21/5798 is not implemented as set out in documents lodged (i.e. the element permitted on Eastern elevation is not built), then the proposed extension would meet the provisions of Class 1, Schedule 2, Part 1, (Exempted Development) Regulations 2001

---

Enda Quinn

Executive Planner

4/12/2023



Our Ref: 22/041

Your Ref.:

Date: 7<sup>th</sup> November 2023

Cork County Council  
Planning Department  
County Hall  
Cork

**Re: Application for Section 5 Declaration of Exemption  
19 Rosehill East, Ballinacurra, Ballynacorra West, Co. Cork**

Dear Sir/Madam,

Please find enclosed Application and supporting documentation. Also attached cheque for application fee of €80 relating to same.

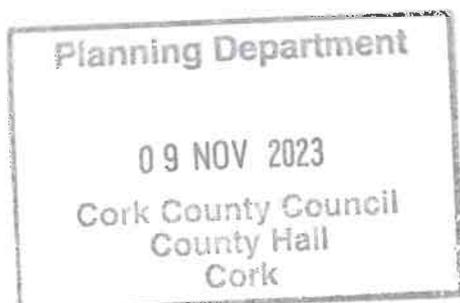
The supporting documentation is listed as follows:

1. 4 no. copies of Site Location Map at a scale of 1:10560
2. 4 no. copies of Site Location Maps at a scale of 1:2500
3. 4 no. copies of Site Layout Map
4. 4 no. copies of plans and elevations
5. 4 no. copies of application form
6. 1 no. copy of contact details

Should you have any further queries please do not hesitate to contact this office.

Yours faithfully,

Lucy H Walsh BEng.  
Encls.



45 New Cork Road, Midleton, Co. Cork.  
telephone (021) 4634833  
facsimile (021) 4634833  
e-mail [foundationdesign@eircom.net](mailto:foundationdesign@eircom.net)

Foundation & Design Limited

Directors:  
Eoin O Loingsigh, BEng MIEI  
Lucy H. Walsh, BEng.



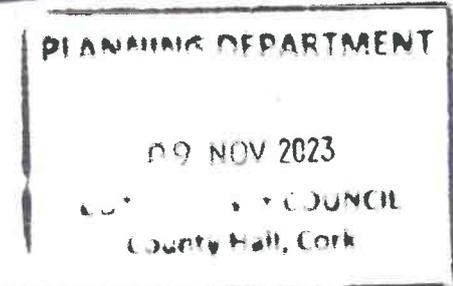
# CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION

## APPLICANT CHECKLIST

(Please tick ✓)

- 4 No. Copies of Application Form:
- 1 No. Copy of Contact Details:
- 4 No. Copies 6" O.S. Maps:
- 4 No. Copies 25" O.S. Maps:
- 4 No. Copies of Site Layout Plan:
- 4 No. Copies Scaled Drawings of Development:
- €80 Application Fee:

<input checked="" type="checkbox"/>



## FOR OFFICE USE ONLY

Receipt No.	P12-0002313
Cash/Cheque/ Credit Card	Cheque
Date	09/11/2023
Declaration Ref. No.	D/302/23

DATE STAMP HERE

**You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3<sup>rd</sup> parties to view.**

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

## **DATA PROTECTION**

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

*Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at <http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to [dpo@corkcoco.ie](mailto:dpo@corkcoco.ie) or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.*

1. NAME OF APPLICANT: (ADDRESS TO BE SUPPLIED AT QUESTION A – CONTACT DETAILS)

KATHRYN O'CONNOR

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION OF EXEMPTION IS SOUGHT:

19 ROSEHILL EAST,  
BALLINACURRA,  
BALLYNACORRA WEST,  
MIDDLETON,  
CO. CORK

3. QUESTION/DECLARATION DETAILS:

Please state the specific question for which a Declaration of Exemption is sought

Note: Only works listed and described under this section will be assessed under the Section 5 Declaration of Exemption

1) ARE PROPOSED ALTERATIONS TO ELEVATIONS OUTLINED IN BLUE ON THE ATTACHED DRAWINGS EXEMPTED DEVELOPMENT?

2) IS THE PROPOSED GROUND FLOOR EXTENSION OF 9 SQ M OUTLINED IN GREEN ON THE ATTACHED DRAWINGS EXEMPTED DEVELOPMENT?

A PREVIOUS REAR EXTENSION OUTLINED IN MAGENTA ON (7.7 SQ M) THE ATTACHED IS CONSIDERED EXEMPTED DEVELOPMENT UNDER CLASS 1 OF PART 1 (PLANNING & DEVELOPMENT REGULATIONS). A FIRST FLOOR EXTENSION OF 22 SQ M IS DUE TO COMMENCE CONSTRUCTION IN SPRING 2024. THIS PLANNING REF IS 21/05798.

THE ADDITIONAL TWO STOREY EXTENSION TO THE EAST ELEVATION PROPOSED UNDER PLANNING REF 21/05798 WILL NOT BE CONSTRUCTED.

PLANNING DEPARTMENT

08 NOV 2023 09 NOV 2023

CORK COUNTY COUNCIL

County Hall, County Hall, Cork

**4. APPLICATION DETAILS:**

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m<sup>2</sup>)

(a) Floor area of existing/proposed structure(s):	EXISTING DWELLING 144 SQ M PROPOSED STRUCTURE 9 SQ M PLANNING GRANTED FOR FIRST FLOOR EXTENSION 22 SQ M.
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964 (including those for which planning permission has been obtained):	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas (m <sup>2</sup> ) and previous planning reference(s) where applicable: REAR EXTENSION UNDER EXEMPTED DEVELOPMENT 717 SQ M.
(c) If a change of use of land and/or building(s) is proposed, please state the following:  Existing/previous use  Proposed use	  N/A  N/A
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please state relevant reference number(s):

**5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE:**

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:		
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):		

PLANNING DEPARTMENT  
08 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

**6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:**

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please state relevant reference No. _____	
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

**7. APPROPRIATE ASSESSMENT:**

Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes  No

**8. DATA PROTECTION DECLARATION:**

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

**Processing of your Declaration of Exemption application by the Planning Authority**

I give permission for my personal information to be processed for the purpose stated above

Signed (By Applicant Only)	Kathryn O'Connor
Date	18/10/23

**GDPR Special Categories of data / Sensitive Personal data - Explicit Consent**

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.

Special Categories of data / Sensitive Personal data include:

- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation

In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council's Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

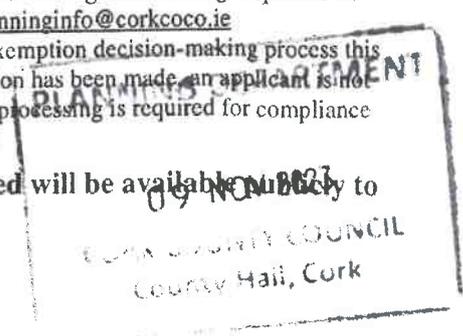
**Sensitive personal data being submitted in support of Declaration of Exemption Application**

I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.

Signed	Kathryn O'Connor	PLANNING DEPARTMENT 08 NOV 2023 CORK COUNTY COUNCIL County Hall, Cork
Date	17/10/23	

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie) or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: [westcorkplanninginfo@corkcoco.ie](mailto:westcorkplanninginfo@corkcoco.ie) However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.



**ADVISORY NOTES:**

The application must be accompanied by the required fee of €80  
 The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.  
 Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.  
 The application should be sent to the following address:  
 The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.*

**9. I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:**

Signed (Applicant or Agent as appropriate)	<i>Lucy Arnold Berg (Agent)</i>
Date	<i>07/11/23</i>

**PLANNING DEPARTMENT**

~~08 NOV 2023~~

CORK COUNTY COUNCIL  
County Hall, Cork  
PLANNING DEPARTMENT

09 NOV 2023

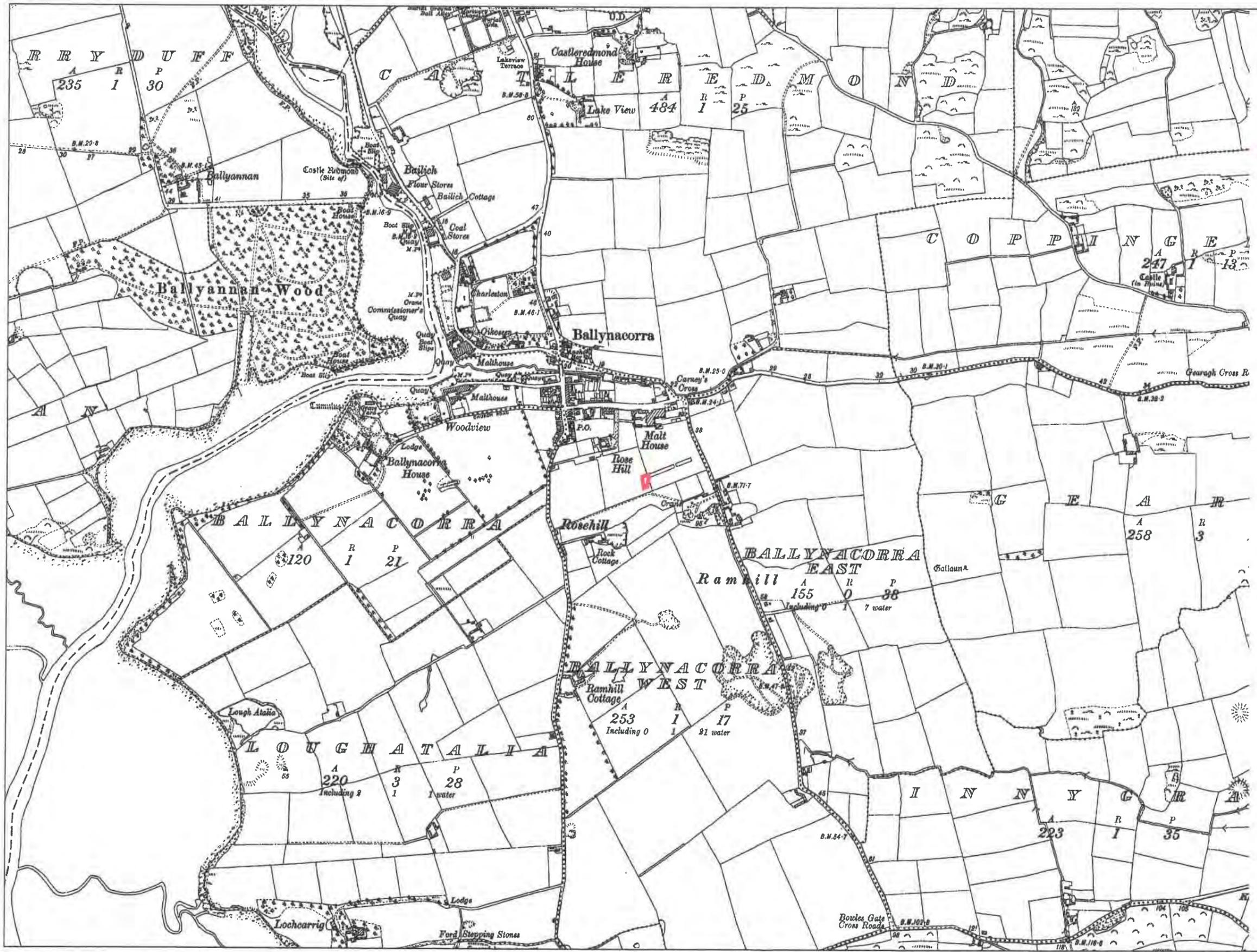
CORK COUNTY COUNCIL  
County Hall, Cork

Ordnance Survey Licence for Reproduction;

Receipt Order No: 50199980  
Date of Licence: 15.06.2021  
ITM Coordinates: 588825, 571552

LEGEND

— Site Boundary



NORTH

PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

NOTES / LEGEND:  
COPYRIGHT: The design and details shown on this drawing are applicable to their project only and may not be reproduced in whole or in part or be used for any other project or purpose without the written permission of Andrew O'Brien Architects with whom copyright resides. ©  
DO NOT SCALE from this drawing. Use figured dimensions. Contractor to check all dimensions on site prior to commencement of works. Any discrepancies are to be referred to the ARCHITECT immediately.  
PLANNING DWGS are NOT to be used as Construction Drawings.

Date:	No:	Description:	Drn:

**Andrew O'Brien Architects**  
oldtown, rostellan, midleton, co.cork.  
email: aobmna@aol.com tel: 086 0730113 web: www.aobarchitects.ie

**Project:** Alterations & Extension to an Existing Dwelling  
Rosehill East, Ballynacorra, Co.Cork

**Client:** E&KoConnor

**Drawing Title:** Ordnance Survey Map  
Rural Place Map

**Scale:** 1:10560 @A3

**Status:** PLANNING

**Drawn By:** [Name]

**Date:** June 2021

**Drawing No:** 2102-PL1000



Ordnance Survey Licence for Reproduction:

Receipt Order No: 50199980  
 Date of Licence: 15.06.2021  
 ITM Coordinates: 588825, 571552

**LEGEND**

— Site Boundary

NORTH

**PLANNING DEPARTMENT**

09 NOV 2023

**CORK COUNTY COUNCIL**  
 County Hall, Cork

**NOTES / LEGEND:**

COPYRIGHT: The design and details shown on this drawing are applicable to their project only and may not be reproduced in whole or in part or be used for any other project or purpose without the written permission of Andrew O'Brien Architects with whom copyright resides. ©

DO NOT SCALE from this drawing. Use figured dimensions. Contractor to check all dimensions on site prior to commencement of works. Any discrepancies are to be referred to the ARCHITECT immediately.

PLANNING DWGS are NOT to be used as Construction Drawings.

Date	No.	Description	Drn.

**Andrew O'Brien Architects**  
 oldtown, rostellan, midleton, co.cork  
 email: acbmv@aia@gmail.com | tel: 086 0730113 | web: www.aobarchitects.ie

**GREEN AWARDS 2015** **RIA**

Project: Alterations & Extension to an Existing Dwelling Rosehill East, Ballinacorra, Co.Cork	Client: E&KConnor
Drawing Title: Ordnance Survey Map Site Location Map	Scale: 1:2500 @A3 Drawing No: 2102-PL1001
Status: PLANNING	Drawn By: Date: June 2021

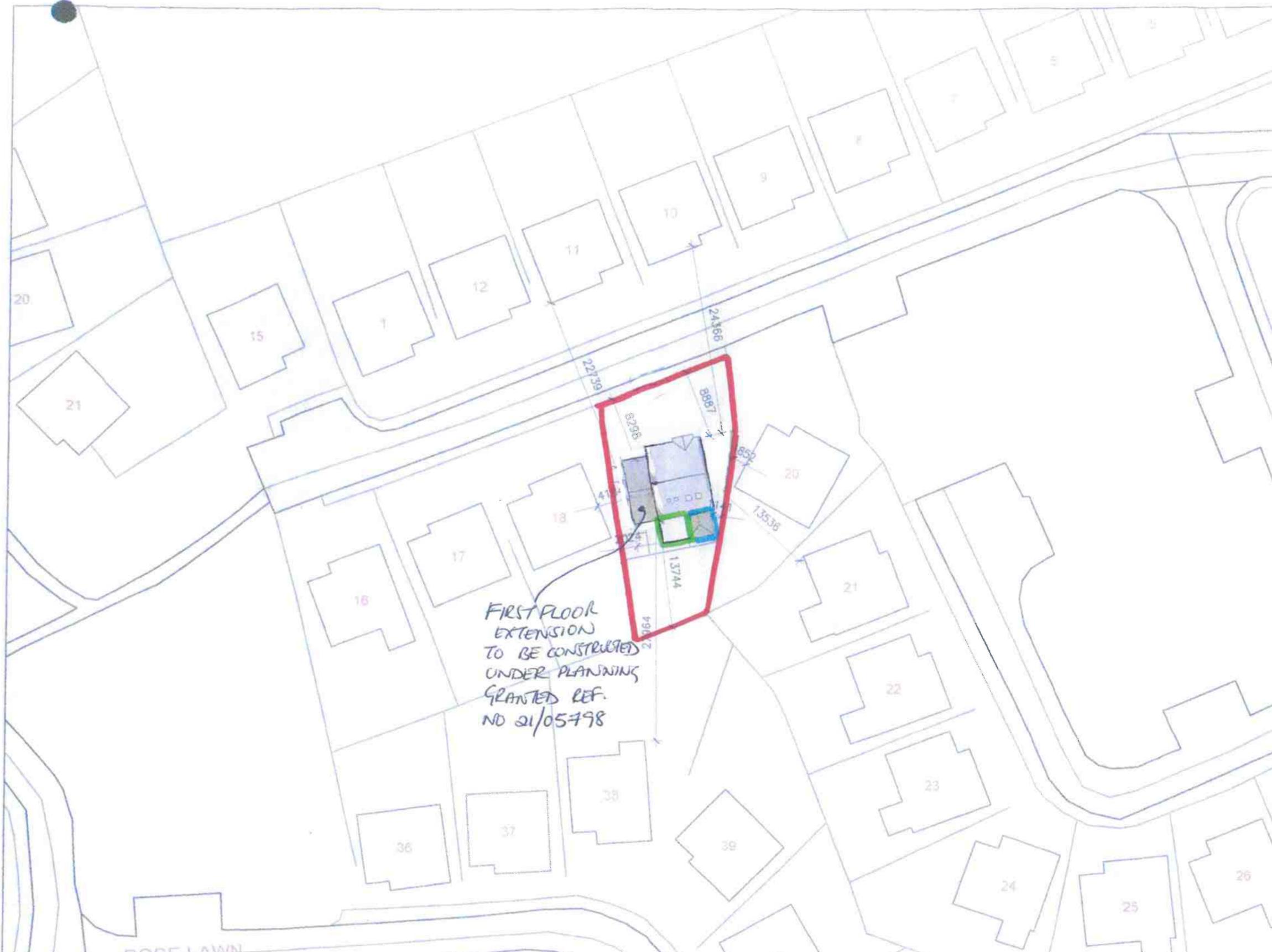
LEGEND

Site Boundary

Proposed Extension

PROPOSED ALTERATION

NORTH



FIRST FLOOR  
EXTENSION  
TO BE CONSTRUCTED  
UNDER PLANNING  
GRANTED REF.  
NO 21/05798

PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

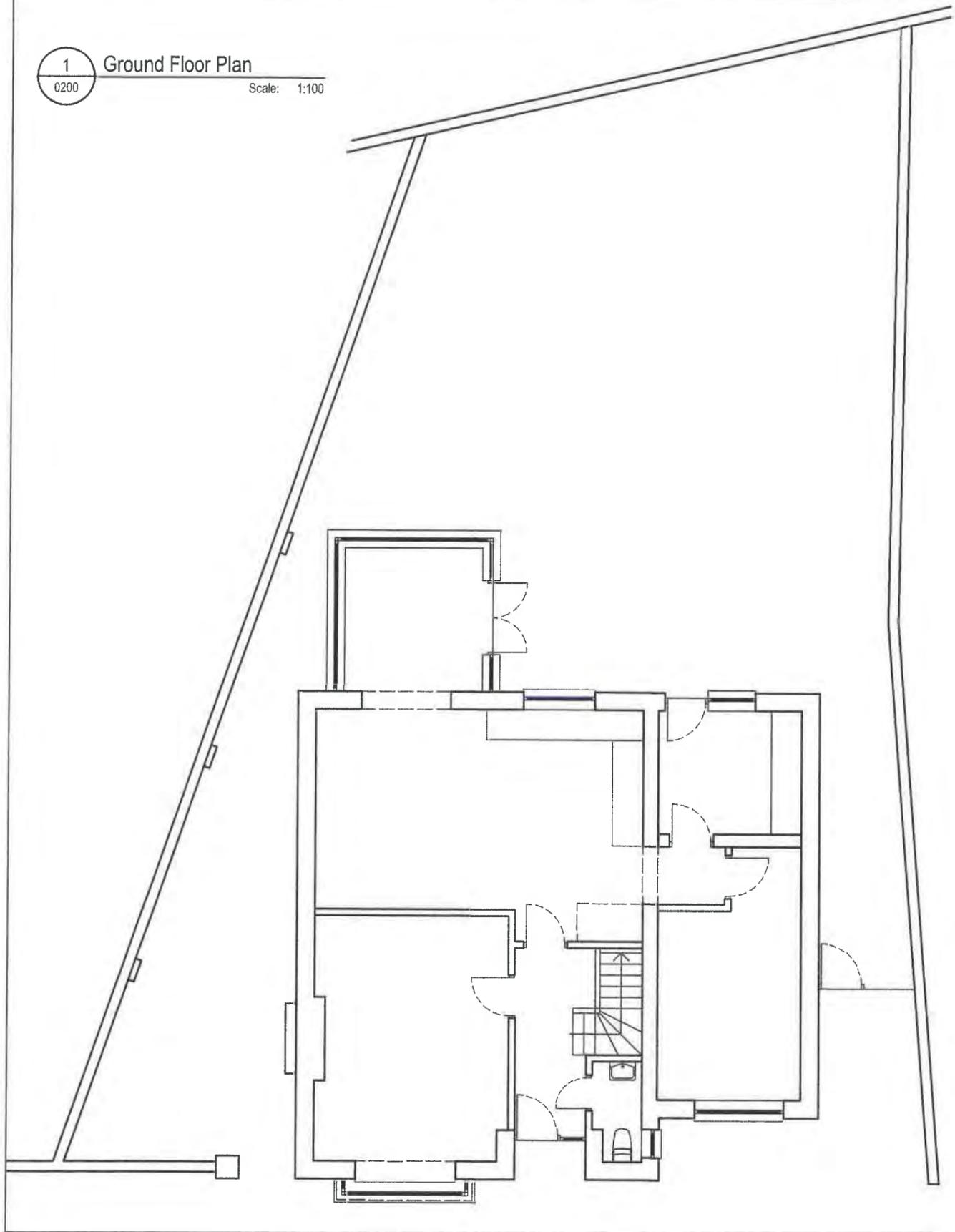
NOTES / LEGEND:  
COPYRIGHT: The design and details shown on this drawing are applicable to this project only and may not be reproduced in whole or in part or be used for any other project or purpose without the written permission of Andrew O'Brien Architects with whom copyright resides. ©  
DO NOT SCALE from this drawing. Use figured dimensions. Contractor to check all dimensions on site prior to commencement of works. Any discrepancies are to be referred to the ARCHITECT immediately.  
PLANNING DWG'S are NOT to be used as Construction Drawings.

Date	No.	Description	Drn.

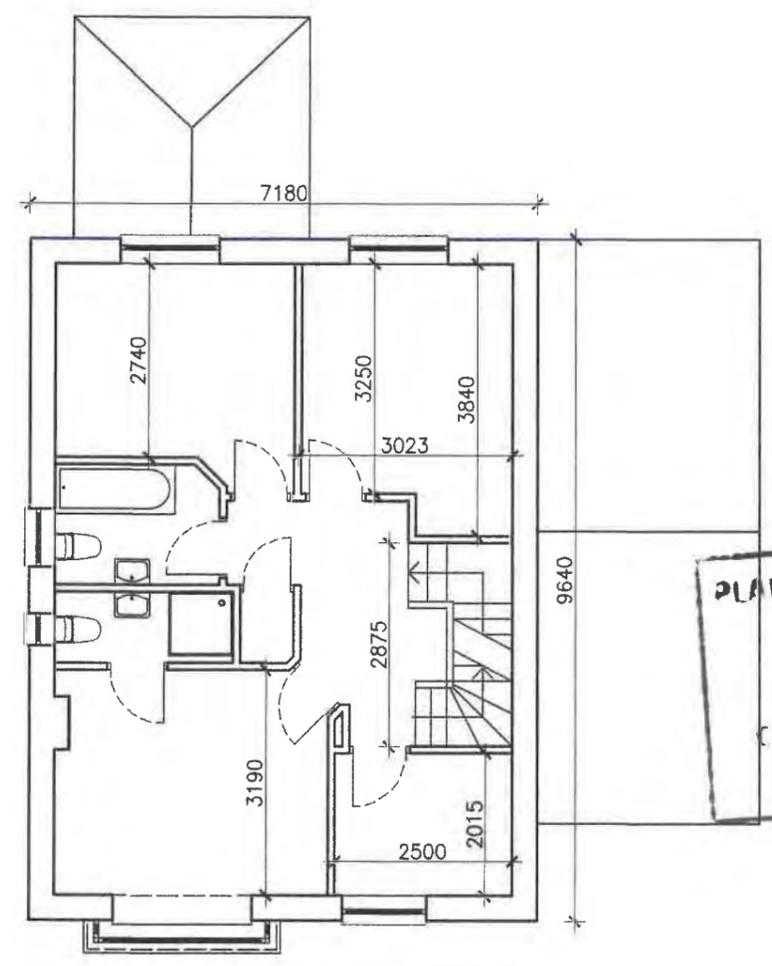
**Andrew O'Brien Architects**  
 obrien, rostellan, o'brien, co cork.  
 email: andbrie@gmail.com tel: 086 6730113 web: www.obarchitects.ie

Project: Alterations & Extension to an Existing Dwelling Rosehill East, Ballinacorra, Co Cork.	Client: E&K Connor
Drawing Title: Site Layout Plan / Roof Plan	Scale: 1:50 @ A3
Status: PLANNING	Drawn By: Date: June 2021
Drawing No: 2102-PL1100	

1 Ground Floor Plan  
0200 Scale: 1:100



2 First Floor Plan  
0200 Scale: 1:100



PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

NOTES / LEGEND:  
COPYRIGHT: The design and details shown on this drawing are applicable to their project only and may not be reproduced in whole or in part or be used for any other project or purpose without the written permission of Andrew O'Brien Architects with whom copyright resides. ©  
DO NOT SCALE from this drawing. Use figured dimensions. Contractor to check all dimensions on site prior to commencement of works. Any discrepancies are to be referred to the ARCHITECT immediately.  
PLANNING DWGS are NOT to be used as Construction Drawings.

Date:	No:	Description:	Drm:

**Andrew O'Brien Architects**  
oldtown, rostellan, midleton, co.cork.  
email: aobmriai@gmail.com tel: 086 0730113 web: www.aobarchitects.ie

**GREEN AWARDS 2015** **RIA**

Project: Alterations & Extension to an Existing House RoseHill East, Ballinacurra, Co.Cork	Client: E&KConnor
Drawing Title: Existing Floor Plans	Scale: 1:100 @A3
Status: SURVEY	Drawn By: Date: March 2021
Drawing No: 2102-S0200	

1 North Elevation  
0300

Scale: 1:100



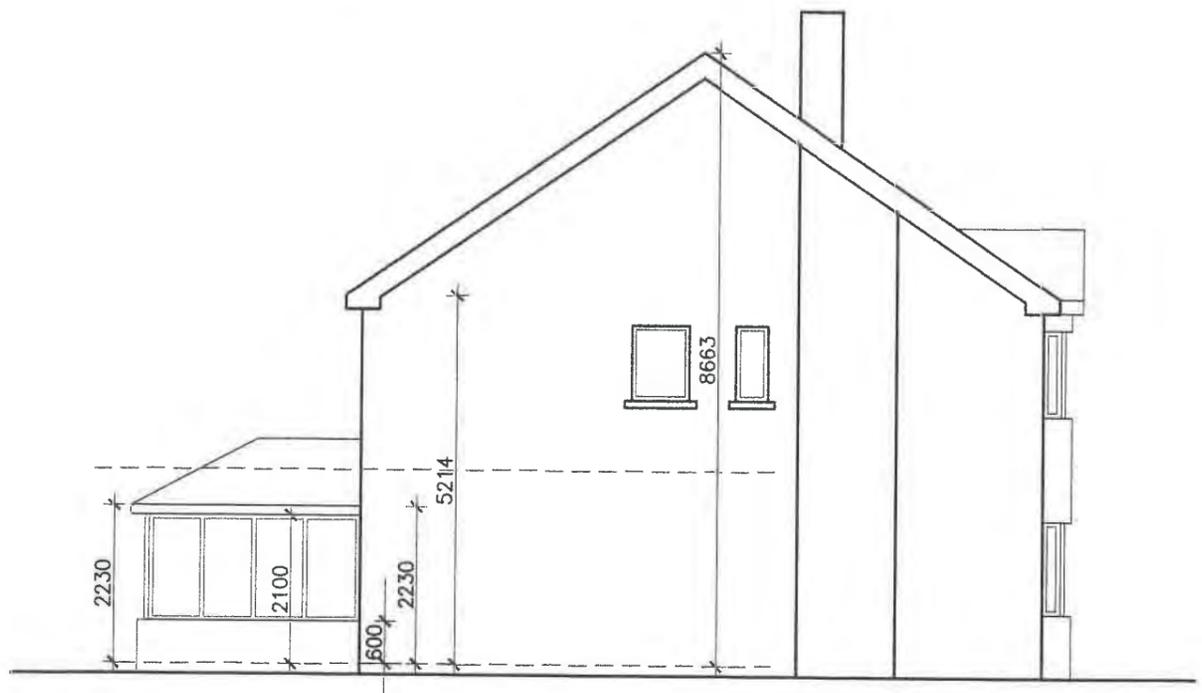
2 South Elevation  
0300

Scale: 1:100



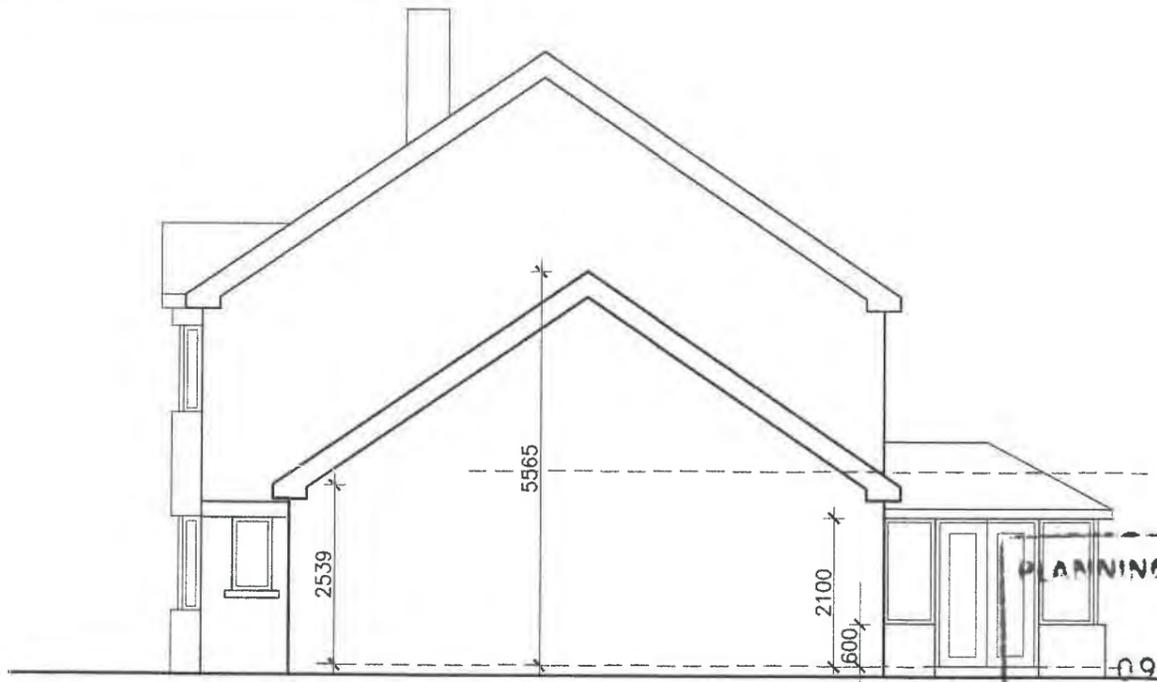
3 East Elevation  
0300

Scale: 1:100



4 West Elevation  
0300

Scale: 1:100



PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

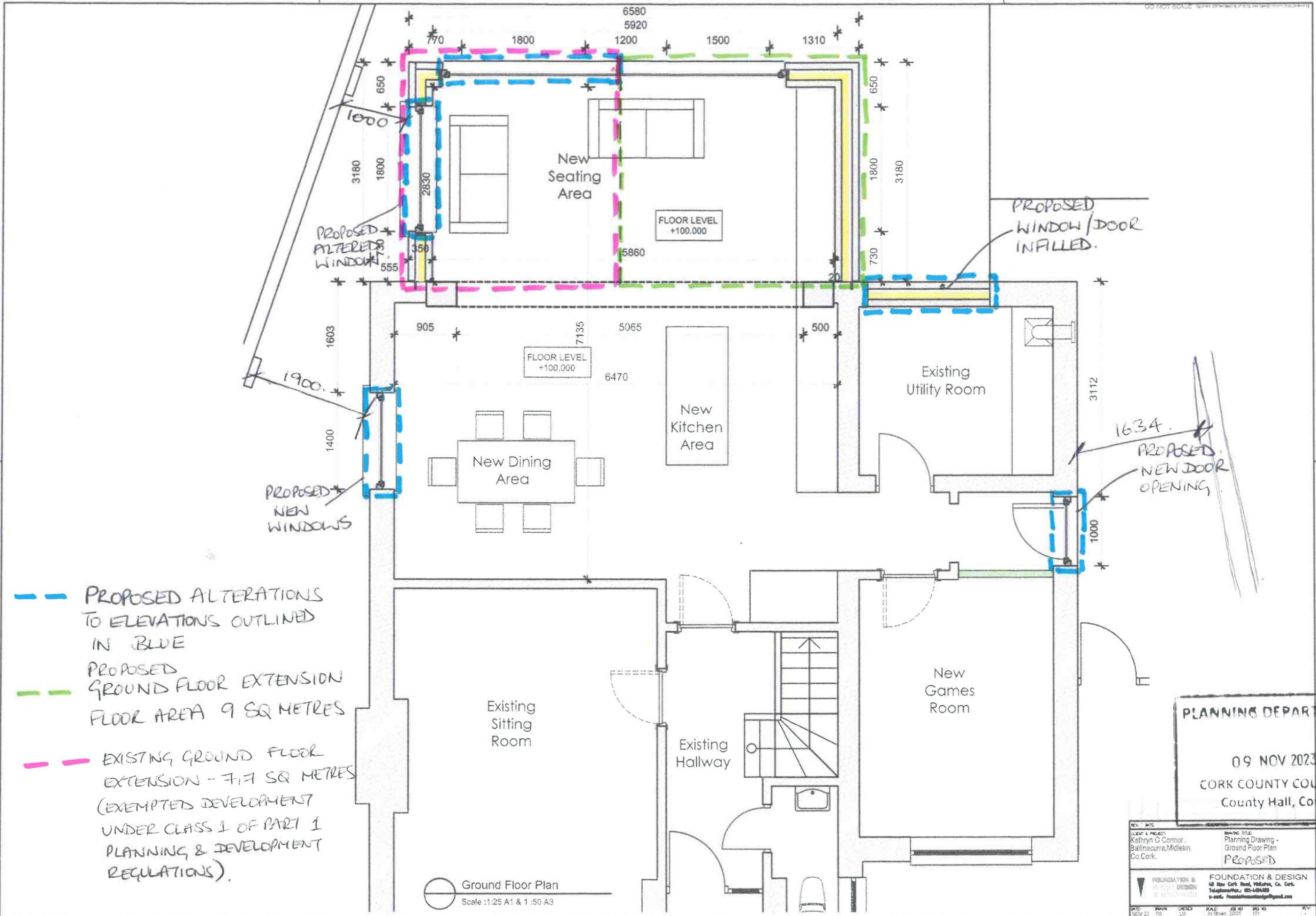
NOTES / LEGEND:  
COPYRIGHT: The design and details shown on this drawing are applicable to their project only and may not be reproduced in whole or in part or be used for any other project or purpose without the written permission of Andrew O'Brien Architects with whom copyright resides. ©  
DO NOT SCALE from this drawing. Use figured dimensions. Contractor to check all dimensions on site prior to commencement of works. Any discrepancies are to be referred to the ARCHITECT immediately.  
PLANNING DWGS are NOT to be used as Construction Drawings.

Date:	No:	Description:	Dm:

**Andrew O'Brien Architects**  
oldtown, rostellan, midleton, co.cork.  
email: aobmriai@gmail.com tel: 086 0730113 web: www.aobarchitects.ie

**GREEN AWARDS 2015** **RIAI**

Project: Alterations & Extension to an Existing House Rose Hill East, Ballinacorra, Co.Cork	Client: E&KoConnor
Drawing Title: Existing Elevations	Scale: 1:100 @A3
Status: SURVEY	Drawn By: Date: March 2021
Drawing No: 2102-S0300	

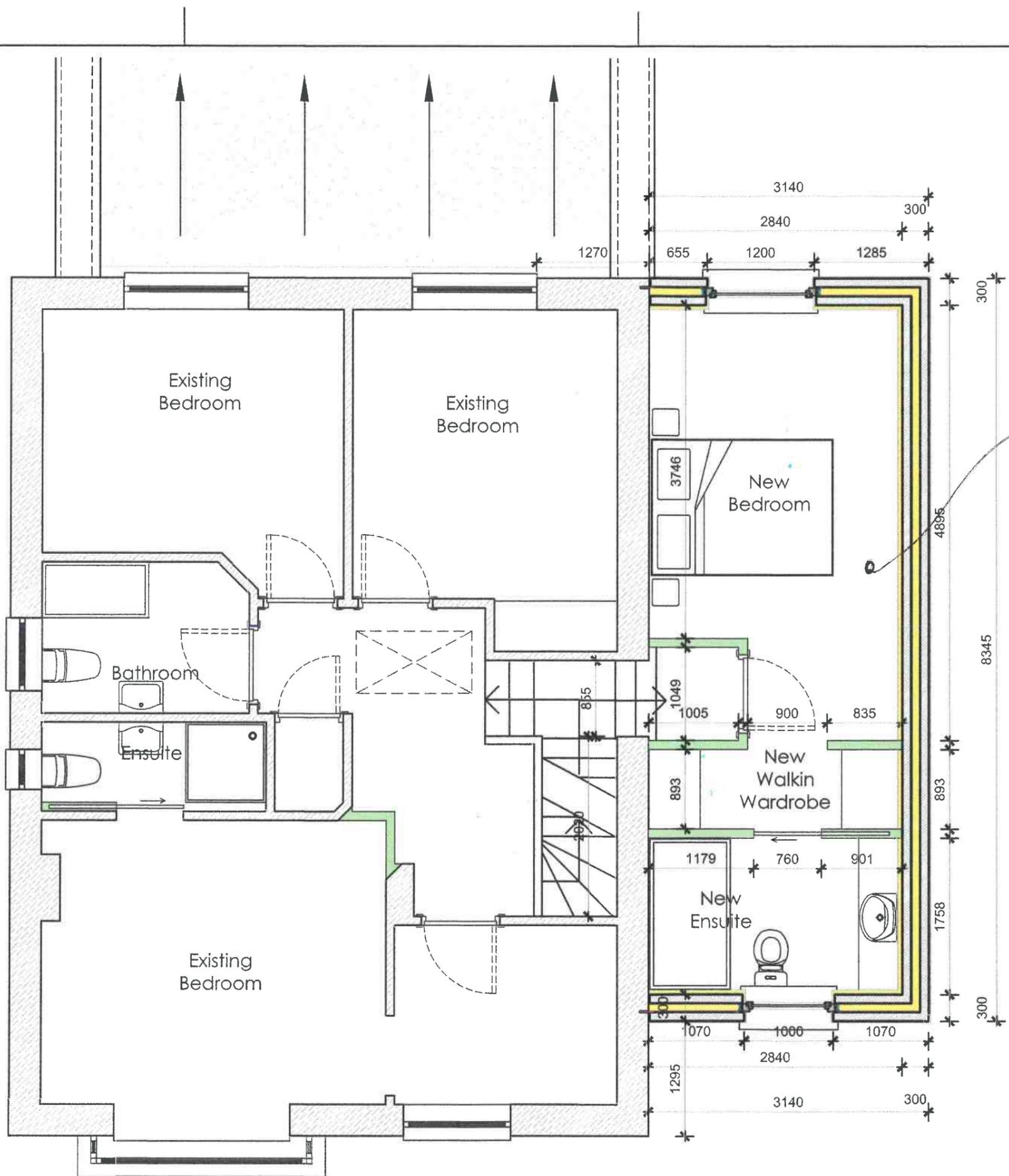


- PROPOSED ALTERATIONS TO ELEVATIONS OUTLINED IN BLUE
- PROPOSED GROUND FLOOR EXTENSION FLOOR AREA 9 SQ METRES
- EXISTING GROUND FLOOR EXTENSION - 7.7 SQ METRES (EXEMPTED DEVELOPMENT UNDER CLASS 1 OF PART 1 PLANNING & DEVELOPMENT REGULATIONS).

Ground Floor Plan  
Scale: 1:25 A1 & 1:50 A3

PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

REV: DATE	DRAWING TITLE
CLIENT & PROJECT Kathryn O Connor, Ballinacorra, Midleton, Co. Cork.	Planning Drawing - Ground Floor Plan <b>PROPOSED</b>
FOUNDATION & DESIGN BY ARCHITECTS	FOUNDATION & DESIGN 48 New Cork Road, Midleton, Co. Cork. Telephone No: 051-430400 e-mail: foundationanddesign@gmail.com
DATE: NOV 23	SCALE: AS SHOWN



FIRST FLOOR EXTENSION  
 PLANNING GRANTED.  
 PLANNING REF 21/05498  
 (2230 METRES FLOOR AREA).

First Floor Plan  
 Scale : 1:25 A1 & 1:50 A3

REV.	DATE	DESCRIPTION	BY	CHK.
CLIENT & PROJECT:		DRAWING TITLE:		
Kathryn O Connor, Ballinacorra, Midleton, Co. Cork.		Planning Drawing - First Floor Plan <i>Proposed</i>		
FOUNDATION & DESIGN 45 New Cork Road, Midleton, Co. Cork. Tel: 051-439483 e-mail: foundation@fdp@gmail.com		FOUNDATION & DESIGN		
DATE:	DRAWN:	CHECKED:	SCALE:	JOB NO:
NOV 23	PA	LW	As Shown	22002
				SIG. NO:
				104
				REV:
				-

FIRST FLOOR EXTENSION PLANNING GRANTED  
 PLANNING REF 21/05798.



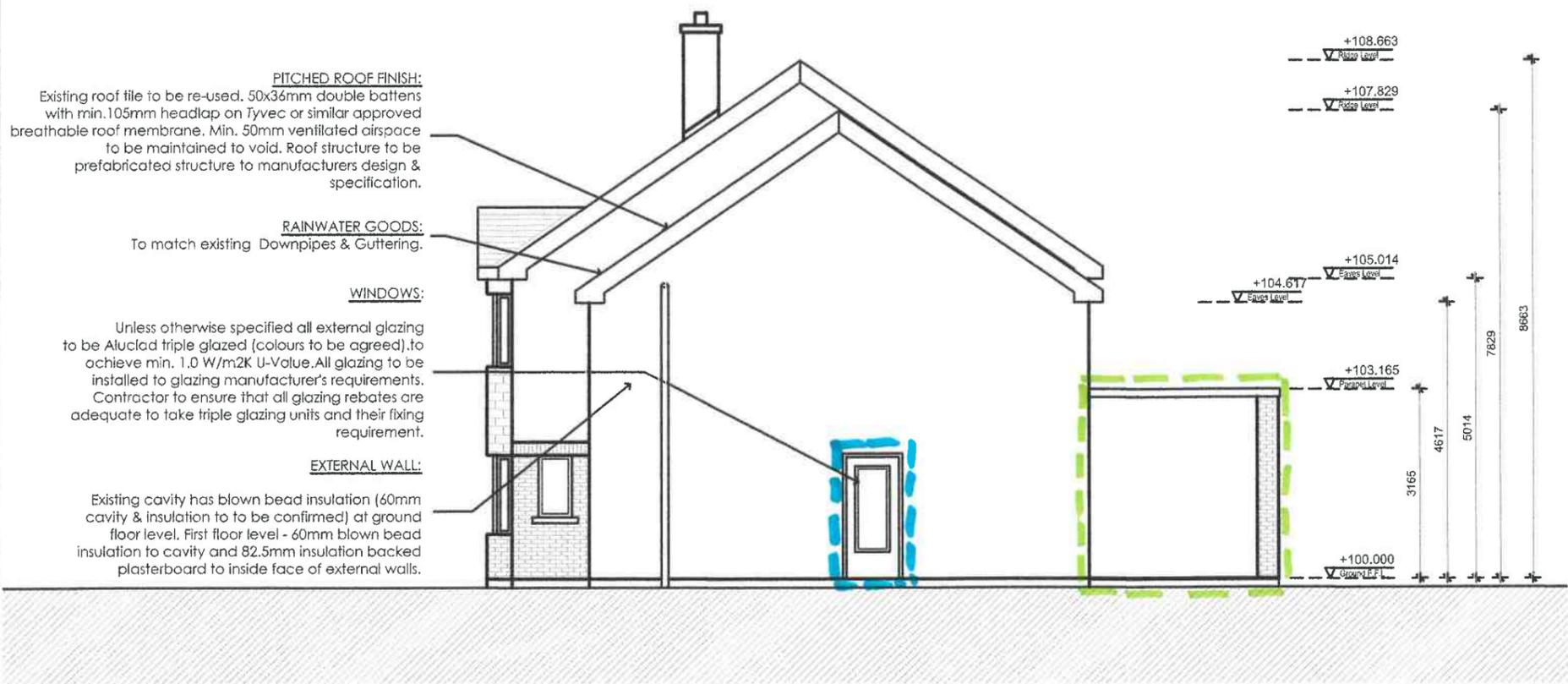
**PITCHED ROOF FINISH:**  
 Existing roof tile to be re-used. 50x36mm double battens with min. 105mm headlap on Tyvec or similar approved breathable roof membrane. Min. 50mm ventilated airspace to be maintained to void. Roof structure to be prefabricated structure to manufacturers design & specification.

**RAINWATER GOODS:**  
 To match existing Downpipes & Guttering.

**WINDOWS:**  
 Unless otherwise specified all external glazing to be Aluclad triple glazed (colours to be agreed), to achieve min. 1.0 W/m<sup>2</sup>K U-Value. All glazing to be installed to glazing manufacturer's requirements. Contractor to ensure that all glazing rebates are adequate to take triple glazing units and their fixing requirement.

**EXTERNAL WALL:**  
 Existing cavity has blown bead insulation (60mm cavity & insulation to to be confirmed) at ground floor level. First floor level - 60mm blown bead insulation to cavity and 82.5mm insulation backed plasterboard to inside face of external walls.

**New Front Elevation**  
 Scale :1:50 A1 & 1:100 A3



**PITCHED ROOF FINISH:**  
 Existing roof tile to be re-used. 50x36mm double battens with min. 105mm headlap on Tyvec or similar approved breathable roof membrane. Min. 50mm ventilated airspace to be maintained to void. Roof structure to be prefabricated structure to manufacturers design & specification.

**RAINWATER GOODS:**  
 To match existing Downpipes & Guttering.

**WINDOWS:**  
 Unless otherwise specified all external glazing to be Aluclad triple glazed (colours to be agreed), to achieve min. 1.0 W/m<sup>2</sup>K U-Value. All glazing to be installed to glazing manufacturer's requirements. Contractor to ensure that all glazing rebates are adequate to take triple glazing units and their fixing requirement.

**EXTERNAL WALL:**  
 Existing cavity has blown bead insulation (60mm cavity & insulation to to be confirmed) at ground floor level. First floor level - 60mm blown bead insulation to cavity and 82.5mm insulation backed plasterboard to inside face of external walls.

— PROPOSED ALTERATION TO ELEVATION OUTLINED IN BLUE  
 - - - PROPOSED GROUND FLOOR EXTENSION OUTLINED IN GREEN

**New Side Elevation**  
 Scale :1:50 A1 & 1:100 A3

PLANNING DEPARTMENT  
 09 NOV 2023  
 CORK COUNTY COUNCIL  
 County Hall, Cork

REV.	DATE	DESCRIPTION	BY	CHK
CLIENT & PROJECT:		DRAWING TITLE:		
Kathryn O Connor , Ballinacorra, Middleton, Co. Cork.		Planning Drawing - Elevations Proposed		
FOUNDATION & DESIGN 45 New Park Road, Midleton, Co. Cork. Telephone/Fax: 051-468493 e-mail: foundationanddesign@gmail.com		DATE: NOV 23 DRAWN: PA CHECKED: LW SCALE: As Shown JOB NO: 2205 DWG NO: 300 REV: -		

FIRST FLOOR EXTENSION  
PLANNING GRANTED.  
REF NO 21/05798

**PITCHED ROOF FINISH:**  
Existing roof tile to be re-used. 50x36mm double battens with min. 105mm headlap on Tyvec or similar approved breathable roof membrane. Min. 50mm ventilated airspace to be maintained to void. Roof structure to be prefabricated structure to manufacturers design & specification.

**RAINWATER GOODS:**  
Downpipes & Guttering.  
To match existing

**WINDOWS:**  
Unless otherwise specified all external glazing to be Aluclad triple glazed (colours to be agreed), to achieve min. 1.0 W/m<sup>2</sup>K U-Value. All glazing to be installed to glazing manufacturer's requirements. Contractor to ensure that all glazing rebates are adequate to take triple glazing units and their fixing requirement.

**EXTERNAL WALL:**  
Existing cavity has blown bead insulation (60mm cavity & insulation to be confirmed) at ground floor level. First floor level - 60mm blown bead insulation to cavity and 82.5mm insulation backed plasterboard to inside face of external walls.

--- PROPOSED GROUND FLOOR EXTENSION

--- PROPOSED ALTERATIONS OUTLINED IN BLUE

--- EXISTING GROUND FLOOR EXTENSION - 7.7 SQ METRES (EXEMPTED DEVELOPMENT UNDER CLASS 1 OF PART 1, PLANNING & DEVELOPMENT REGULATIONS)

PROPOSED CHANGE EXISTING PITCH ROOF CHANGED TO FLAT

EXISTING WINDOW INCREASED IN SIZE (PROPOSED)

EXISTING WINDOW/DOOR INFILLED

New Rear Elevation  
Scale :1:50 A1 & 1:100 A3

PROPOSED TO CHANGE EXISTING PITCH ROOF TO FLAT.

**ROOF FINISH:**  
Pressed metal capping to roof parapet.

**WINDOWS:**  
Unless otherwise specified all external glazing to be Aluclad triple glazed (colours to be agreed), to achieve min. 1.0 W/m<sup>2</sup>K U-Value. All glazing to be installed to glazing manufacturer's requirements. Contractor to ensure that all glazing rebates are adequate to take triple glazing units and their fixing requirement.

**EXTERNAL WALL:**  
100mm brick outer leaf to match the existing. 150mm cavity with 100mm Xtratherm XT/CW T&G Insulation. 100mm outer leaf & 32.5mm Xtratherm insulation backed plasterboard to inside face. Wall ties should be placed at min. 750mm horizontal spacing & 450mm vertical spacing or as otherwise specified by engineer.

PROPOSED ALTERATION PROPOSED NEW WINDOW

New Side Elevation  
Scale :1:50 A1 & 1:100 A3

PLANNING DEPARTMENT  
09 NOV 2023  
CORK COUNTY COUNCIL  
County Hall, Cork

REV.	DATE	DESCRIPTION	BY	CHK.
1	NOV 23	PA	LOT	
CLIENT & PROJECT:		DRAWING TITLE:		
Kathryn O'Connor, Ballynacurry, Midleton, Co. Cork.		Planning Drawing - Elevations		
		Proposed		
FOUNDATION & DESIGN		FOUNDATION & DESIGN		
48 New Cork Road, Midleton, Co. Cork.		Telephone/Fax: 051-4594000		
e-mail: <a href="mailto:FoundationDesign@gmail.com">FoundationDesign@gmail.com</a>				
NOV 23	PA	LOT	SCALE: As Shown: 2023	REV. NO: 2/1