

# Comhairle Contae Chorcaí Cork County Council

Aideen Cosgrove,  
c/o Thomas Cosgrove,  
Chartered Engineer,  
Punch Consulting Engineers,  
97 Henry Street,  
Limerick  
V94 YC2H.

Pleanáil agus Forbairt,  
Halla an Chontae,  
Bóthar Charraig Ruacháin,  
Corcaigh T12 R2NC.  
Fón: (021) 4276891  
R-phost: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie)  
Suíomh Gréasáin: [www.corkcoco.ie](http://www.corkcoco.ie)



Planning & Development,  
County Hall,  
Carrigrohane Road, Cork T12 R2NC.  
Tel (021) 4276891  
Email: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie)  
Web: [www.corkcoco.ie](http://www.corkcoco.ie)

12<sup>th</sup> December 2023

REF: D/305/23  
LOCATION: 'Lisnagree', 1 Harbour View South, Lighthouse Road, Youghal.

**RE: DECLARATION OF EXEMPTED DEVELOPMENT UNDER SECTION 5 OF THE  
PLANNING & DEVELOPMENT ACT 2000 - 2010.**

Dear Madam,

On the basis of the information submitted by you on 16<sup>th</sup> November 2023 the Planning Authority, having considered the question whether the reconstruction of a stone masonry retaining wall (using salvaged stone and traditional methods) that collapsed on October 18<sup>th</sup> (immediately following exceptional rainfall due to storm Babette) is exempted development at '**Lisnagree, 1 Harbour View South, Lighthouse Road, Youghal. Co. Cork**' has declared that it **is development and is exempted development.**

## **Reason for Decision**

The Planning Authority in considering this referral had particular regard to:

- Section 2(1), Section 3(1) and Section 4(1)(h) of the Planning and Development Act 2000 (as amended)
- Article 6(1) and Article 9 of the Planning and Development Regulations 2001 (as amended)
- Class 5 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended) and
- The particulars received by the Planning Authority on 16<sup>th</sup> November 2023

**And Whereas Cork County Council has concluded that –**

- The proposed works constitute 'works' that are 'development' in terms of the Planning and Development Act 2000 (as amended); and
- The said proposed works are development which is exempted development.

Please be advised that the reconstruction of the wall in line with proposed reconstruction sketch drawings submitted would not affect the character of the area or the external appearance of the structure and so can be considered exempted development subject to the following being carried out;

- The wall shall be rebuilt as detailed in the sketches submitted on 16<sup>th</sup> November.
- The wall shall be rebuild/faced in stone material salvaged from the collapse and in bedding pattern to match nearby masonry work (in respect of coursing, stone size and thickness of bedding).

- The brick pier shall be reconstructed in as close as possible to its original form with the salvaged bricks, and
- The railing shall be restored and reinstalled to the wall top.

*This exemption does NOT itself empower a person to carry out a development unless that person is legally entitled to do so.*

**Please note that under Section 5 Subsection 3(a) where a declaration is issued under this section, any person issued with a declaration under subsection 2(a) may, on payment to the Board of such fee as may be prescribed, refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.**

Yours faithfully,



**KEVIN O' REGAN,  
SENIOR EXECUTIVE OFFICER,  
PLANNING DEPARTMENT.**

*In order to process your query, it may be necessary for Cork County Council to collect Personal information from you. Such information will be processed in line with our privacy statement which is available to view at <https://www.corkcoco.ie/privacy-statement-cork-county-council>*

## Application for Declaration under Section 5 Planner's Report

<b>Application Ref. No.:</b>	D/305/23
<b>Report From:</b>	Peter O'Connor (EP)
<b>Report To:</b>	Noel Sheridan (SEP)
<b>Question/Description to which Declaration relates:</b>	Is the reconstruction of a stone masonry retaining wall (using salvaged stone and traditional methods) in Youghal that collapsed on October 18 <sup>th</sup> (immediately following exceptional rainfall due to storm Babette) exempted development?
<b>Location:</b>	Lisnagree, 1 Harbour View South, Lighthouse Road, Youghal, Co. Cork (P36 FC93)
<b>Applicant:</b>	Aideen Cosgrove
<b>Date Submitted:</b>	16/11/2023

### 1. Introduction

This report relates to an application which has been made under Section 5(4) of the *Planning and Development Act 2000* (as amended) relating to a collapsed stone retaining wall located at 1 Harbour View South, Lighthouse Road, Youghal, Co. Cork (P36 FC93). The Applicant is seeking a declaration from the Planning Authority as to whether the specific proposal is or is not development and/or is or is not exempted development.

### 2. Question

The question which has been presented to the Planning Authority within the submitted application form is as follows:

*Is the reconstruction of a stone masonry retaining wall (using salvaged stone and traditional methods) in Youghal that collapsed on October 18<sup>th</sup> (immediately following exceptional rainfall due to storm Babette) exempted development?*

The application is supported by a comprehensive set of drawings, photographs (predating the collapse of the wall), a structural engineering report all of which illustrate the full scope of the works which are the focus of the foregoing question.

### 3. Site Location and Description

The subject site is located to the south of Youghal town centre as illustrated within Figure 1 below. The site is located in an elevated position relative to the public footpath and overlooking Lighthouse Road (see figure 2, below).

The site, as defined in the submitted site layout plan, consists of an existing semi-detached dwelling and gardens set within rubble stone boundary walls (to include the now collapsed wall which is the subject of the application). The adjoining buildings to the north and south are residential in nature while the Golf Links Road is located to the west.



Figure 1: Location of the Subject Site (in red) Relative to Youghal



Figure 2: Image of the Subject Site as Taken from Lighthouse Road

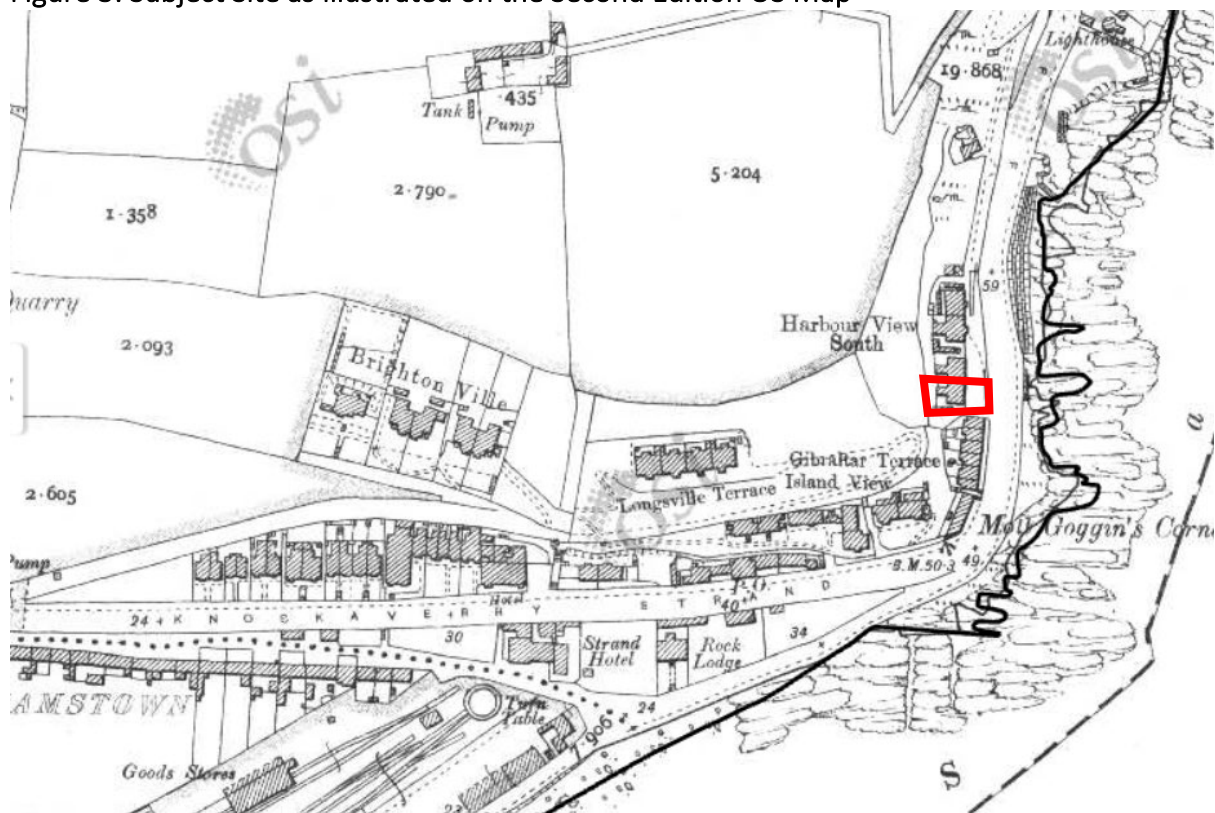




The existing dwelling is the southernmost in small terrace of dwellings which have long been a feature of this part of Youghal (being evident on the second edition OS maps for the area). On the basis of the information available, it is considered likely that the boundary wall which is the focus of this application is an original feature of the terrace and, therefore, dates to sometime during the latter half of the 19<sup>th</sup> Century (see Figure 3, below).

Notwithstanding its potential age, the dwelling (and its ancillary elements), is not a protected structure and has not been entered onto the National Inventory of Architectural Heritage (NIAH). However, this part of Youghal is located within the Architectural Conservation Area (ACA).

Figure 3: Subject Site as Illustrated on the Second Edition OS Map



#### 4. Planning History

There are no previous planning applications relating to the subject site.

#### 5. Internal Consultants

**Conservation Officer** – Proposed works would not appear to affect the character of the area or the external appearance of the structure.

#### 6. Planning Policy Framework

The site occurs within the development boundary of Youghal and in an area that is subject to the *Existing Residential/Mixed Residential and Other Uses* land use zoning designation under the provisions of the *Cork County Development Plan 2022*.

## **7. Legislative Framework**

### Planning and Development Act 2000 (as amended)

Section 2(1) of the *Planning and Development Act 2000* (as amended) states:

*In this Act, except where the context otherwise requires –*

*“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.*

Section 3 (1) of the *Planning and Development Act 2000* (as amended) states:

*In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.*

Section 4 (1) (h) of the *Planning and Development Act 2000* (as amended) states:

*(1) The following shall be exempted developments for the purposes of this Act—*  
*(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

### Planning and Development Regulations 2001 (as amended)

Article 6 (1) of the *Planning and Development Regulations 2001* (as amended) states:

*Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.*

Having regard to the specific proposal for which the declaration has been sought, Class 5 of Part 1 of Schedule 2 to of the Regulations is relevant, stating that:

*The construction, erection or alteration, within or bounding the curtilage of a house, of a gate, gateway, railing or wooden fence or a wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete.*

The foregoing exemption is accompanied by the following conditions and limitations:

1. *The height of any such structure shall not exceed 2 metres or, in the case of a wall or fence within or bounding any garden or other space in front of a house, 1.2 metres.*
2. *Every wall other than a dry or natural stone wall bounding any garden or other space shall be capped and the face of any wall of concrete or concrete block (other than blocks with decorative finish) which will be visible from any road, path or public area, including public open space, shall be rendered or plastered.*
3. *No such structure shall be a metal palisade or other security fence.*

## **8. Assessment**

### Is or is Not Development

As noted above, the presented proposal involves the repair of a stone masonry retaining wall and is consistent with the definition of works as provided by Section 2(1) of the Act. Section 3(1) of the Act confirms that works is a form of development for the purposes of the Act. Therefore, I am satisfied that the proposal, as currently presented, represents development in terms of the Act.

### Is or is not Exempted Development

The Applicant has submitted comprehensive details of the works which are proposed to repair the damaged (collapsed) stone masonry retaining wall. These details confirm, firstly, that the wall is located at the front of the dwelling with which it is associated and, secondly, that the wall will exceed 1.2 metres in height.

Having regard to the foregoing details, it is considered that the exemption provided by Class 5 of Part 1 of Schedule 2 of the Regulations is not applicable as the works relate to the reinstatement of a wall located at the front of a dwelling that exceeds 1.2 metres in height (thereby being inconsistent with condition 1 of the aforementioned Class 5).

That being said, Section 4(1)(h) of the Act provides a broad exemption for works to pre-existing structures, to include repair works provided that the said works do not “...*materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*”.

As noted above, the subject site is located within an ACA. Accordingly, and noting the nature of the works which have been proposed, the file has been referred to the Conservation Officer for comment.

In her assessment (which has been provided via email), the Conservation Officer refers specifically to Section 4(1)(h) of the Act, stating that:

*The reconstruction of the wall in line with proposed reconstruction sketch drawings submitted would not affect the character of the area or the external appearance of the structure and so can be considered exempted development subject to the following being carried out*

*The wall shall be rebuilt as detailed in the sketch.*

*The wall shall be rebuild/faced in stone material salvaged from the collapse and in bedding pattern to match nearby masonry work (in respect of coursing, stone size and thickness of bedding).*

*The brick pier shall be reconstructed in as close as possible to its original form with the salvaged bricks*

*The railing shall be restored and reinstalled to the wall top.*

In the interest of clarity, and as confirmed in a follow on conversation with the Conservation Officer, the foregoing works which she makes direct reference to are consistent with what has been illustrated on the submitted drawings.

Therefore, it is apparent from the foregoing assessment of the Conservation Officer that the proposed works will not *materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*". As such, it is considered that the proposed works would benefit from the exemption as provided by Section 4(1)(h) of the Act.

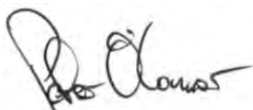
## **9. Conclusion and Recommendation**

In considering this application for a declaration, regard has been had to:

- (a) Section 2(1), Section 3(1) and Section 4(1)(h) of the Planning and Development Act 2000 (as amended)
- (b) Article 6(1) and Article 9 of the Planning and Development Regulations 2001 (as amended)
- (c) Class 5 of Part 1 if Schedule 2 of the Planning and Development Regulations 2001 (as amended)

And whereas, the Planning Authority has concluded that,

- (a) The proposed works constitute 'works' that are 'development' in terms of the Planning and Development Act 2000 (as amended); and
- (b) The said proposed works are development which is exempted development.



**Peter O'Connor**  
**Assistant Planner**  
**11.12.2023**



## Appendix 1 – Conservation Officer’s Comments

**From:** Elena Turk

**Sent:** Thursday 7 December 2023 11:11

**To:** Peter OConnor <Peter.OConnor@CorkCoCo.ie>

**Subject:** RE: Section 5 Ref. No. D/305/23 - Lighthouse Road, Youghal

Having reviewed the documentation submitted and with due regard to the planning and development acts.

**Section 4.** (1)(h) of the planning and development act details that works shall be exempted development if they do ‘not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.’

**Section 82.** (1) Notwithstanding section 4 (1)(h), the carrying out of works to the exterior of a structure located in an architectural conservation area shall be exempted development only if those works would not materially affect the character of the area.

The reconstruction of the wall in line with proposed reconstruction sketch drawings submitted would not affect the character of the area or the external appearance of the structure and so can be considered exempted development subject to the following being carried out;

The wall shall be rebuilt as detailed in the sketch.

The wall shall be rebuild/faced in stone material salvaged from the collapse and in bedding pattern to match nearby masonry work (in respect of coursing, stone size and thickness of bedding).

The brick pier shall be reconstructed in as close as possible to its original form with the salvaged bricks

The railing shall be restored and reinstalled to the wall top.

**Dr Elena Turk | Oifigeach Caomhantais Ailtireachta | Pleanáil agus Fobairt**

Comhairle Contae Chorcaí | Halla an Chontae | Corcaigh | T12 R2NC | Éire

Planning Department,  
Ground Floor,  
County Hall,  
Carrigrohane Road,  
Cork

T12 R2NC



07/11/2023

231240-PUNCH-XX-XX-AP-XX-001

**Re:** Application for section 5 declaration of exemption: Youghal Wall

Dear sir/madam,

Some emergency works were required in July to demolish a dangerous brick pier and erect a fence around a bulging stone retaining wall at the property of Aideen Cosgrove in Youghal. We liaised with Mr. Dave Clarke, Senior Executive Engineer of Cork Co. Co at that time and with Ms. Siun MCarthy also in regard to making a Section 5 application for rebuilding the wall. The property is within the Youghal Architectural Conservation area but is not a listed structure.

The stone masonry retaining wall collapsed on October 18<sup>th</sup> on the day following exceptionally heavy overnight rainfall associated with Storm Babet. It is proposed to reconstruct the wall using traditional methods and materials 600mm lower, using as far as possible stone salvaged from the rubble and where necessary supplementing that stone with matching stone from a quarry.

Following a structural assessment, it is also proposed to reduce the height of the return wall (referenced as Wall D in the report and shown on Drawing 03.

We enclose 4 copies of:

- Section 5 application form duly completed,
- Report on the wall Rev. 02,
- Drawings,

231240-PUNCH-XX-XX-DR-C-0001 Rev01 Front Wall Reconstruction Proposed Section (1:25 @ A4),

231240-PUNCH-XX-XX-DR-C-0002 Rev0 Front Wall Elevation (1:50 @ A4)

231240-PUNCH-XX-XX-DR-C-0003 Return Wall Elevation (1:50 @ A4).

231240-PUNCH-XX-XX-DR-C-0004 Site Plan

231240-PUNCH-XX-XX-DR-C-0005 Site Plan

- Google Street View Image of Wall D to supplement Drawing 03, (side return wall also retaining)
- Portion of 1:10560 OS map with the site marked
- Portion of 1:2500 OS map with the site marked

We have also enclosed 1 copy of:

Profile information of Punch Conservation

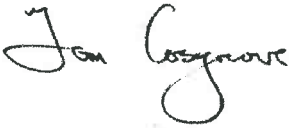
Contact details for applicant and agent.

The €80 application fee has been paid in advance with the PRL number:

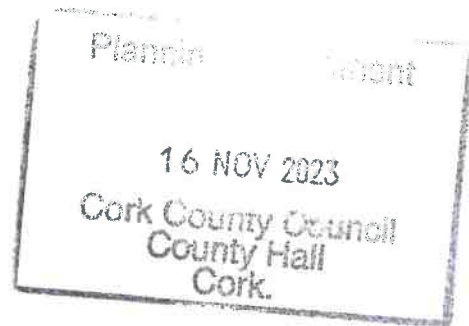
We note that the decision time may be up to five weeks. We would greatly appreciate any reduction in the processing time as our client is suffering significant stress and inconvenience in the current situation.

Should you have any queries please contact the undersigned at any time,

Yours sincerely



Tom Cosgrove FIEI FISTructE  
Chartered Engineer  
PUNCH Consulting Engineers  
087 2600381



## Section 5 Declaration of Exemption

231240 - Stone Masonry Retaining Wall, Youghal, Cork.

### Contact information:

#### Applicant:

Name: Aideen Cosgrove

Phone: 0872726327

Email: [aideencosgrove9@gmail.com](mailto:aideencosgrove9@gmail.com)

#### Agent:

Name: Thomas Cosgrove

Phone: 0872600381

Email: [thcosgrove@gmail.com](mailto:thcosgrove@gmail.com)





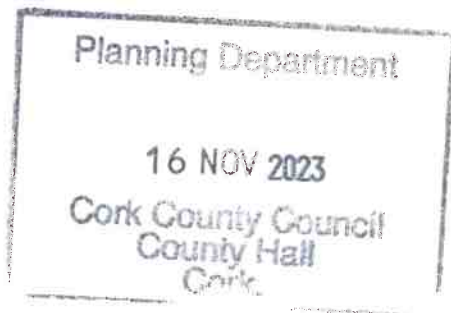
## **CORK COUNTY COUNCIL APPLICATION FOR SECTION 5 DECLARATION OF EXEMPTION**

### **APPLICANT CHECKLIST**

(Please tick ✓)

- 4 No. Copies of Application Form:**
- 1 No. Copy of Contact Details:**
- 4 No. Copies 6" O.S. Maps:**
- 4 No. Copies 25" O.S. Maps:**
- 4 No. Copies of Site Layout Plan:**
- 4 No. Copies Scaled Drawings of Development:**
- €80 Application Fee:**

✓
✓
✓
✓
✓
✓
✓
✓



### **FOR OFFICE USE ONLY**

Receipt No.	P.L.C. PGL: 0042747
Cash/Cheque/ Credit Card	Card
Date	16/11/23
Declaration Ref. No.	D/305/23

**DATE STAMP HERE**

**You should make sure that you are satisfied that any information/documentation that you submit is appropriate to be viewed by the public. Please do not submit any information that you do not want 3<sup>rd</sup> parties to view.**

In the case of a Declaration of Exemption for Land Reclamation, the following additional information is required:

- A copy of the details submitted to the Council's Environment Department (Inniscarra) for a Waste Licence Permit
- Correspondence from Teagasc (detailing how the land reclamation would benefit the land in question for agricultural purposes)
- Details of existing and proposed levels
- Details of fill material and duration of fill.

### **DATA PROTECTION**

The planning process is an open and public one. In that context, all applications for Declarations of Exemption are made available for public inspection.

*Personal information collected by Cork County Council is done so in order for us to process your application for a Section 5 Declaration of Exemption. Legally we can process this information as it is necessary for us to comply with our statutory/legal obligations. The protection of our personal data is a key priority for the Council and your data will be processed in line with our Privacy policy which is available at <http://www.corkcoco.ie/Privacy-Policy> or hardcopy from our offices at County Hall, Carrigrohane Road, Cork, Ireland. Should you have any questions about our privacy policy or the information we hold about you, please contact us by email to [dpo@corkcoco.ie](mailto:dpo@corkcoco.ie) or write to us at Data Protection Officer, Cork County Council, County Hall, Carrigrohane Road, Cork, Ireland.*



**1. NAME OF APPLICANT: (ADDRESS TO BE SUPPLIED AT QUESTION A – CONTACT DETAILS)**

Aideen Cosgrove

**2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION OF EXEMPTION IS SOUGHT:**

'Lisnagree', 1 Harbour View South  
Lighthouse Road,  
Youghal,  
Co. Cork,  
P36 FC93



**3. QUESTION/DECLARATION DETAILS:**

Please state the specific question for which a Declaration of Exemption is sought

Note: Only works listed and described under this section will be assessed under the Section 5 Declaration of Exemption

Is the reconstruction of a stone masonry retaining wall (using salvaged stone and traditional methods) in Youghal that collapsed on October 18th (immediately following exceptional rainfall due to storm Babette) exempted development?

The wall (Wall A in Fig. 1 of report appended) faces the public road at the above address. The property is located within the Architectural Conservation Area of Youghal.

~~The wall is to be reconstructed using traditional methods including lime mortar using stone salvaged from the collapse and supplemented as necessary using matching quarried stone. See drawing 231240-01Rev1 for a section and drawing 231240-02 for an elevation.~~

~~The wall was bulging for some time before the collapse. It is apparent therefore that the wall was not structurally fit for purpose. Therefore, a contributory factor to the collapse was the height being retained. Following careful structural assessment by Punch Consulting Engineers, it is proposed to permanently lower the garden level by 600mm to reduce the long-term pressure on the reconstructed wall and reconstruct the wall to a height 600mm lower than the collapsed wall.~~

A concrete capping to match the pre-existing capping will be cast on top of the reconstructed wall. The galvanized steel railings that previously sat on top of the wall will be reused if possible. Otherwise, new matching railings will be installed. These railings are a recent addition, the pre-existing railings having been severely corroded by the salty air.

It is proposed that a contractor experienced in sensitive masonry conservation work will undertake the reconstruction. Ahern Bros. of Youghal are the preferred contractor and have carried out similar work for Cork Co. Co. in the Youghal area.

Punch Consulting Engineers, who are experienced in sensitive conservation work including national monuments, are the designers and will supervise the work. In July of 2023, emergency works were carried out to remove a brick pier (marked B in Fig. 1 of attached report) on one corner of the property. That pier was unstable and posed a significant risk to public safety. Mr. Dave Clarke, Senior Executive Engineer of Cork Co. Co., attended on site at that time and is familiar with the circumstances necessitating those emergency works.

The attached report by Punch Consulting Engineers provides some detail on those works and on the wall generally.

Given the collapse that has happened and the evident pre-existing bulging of the wall, the side return wall has also been examined. This wall which is topped by 500mm of concrete blockwork and pebble dashed, while not bulging, retains a similar depth of soil as the collapsed wall and is of similar construction and thickness, apart from the blockwork topping.

Should any instability occur it poses a severe risk to the neighbour's property as it sits some 5 m high above the neighbour's side access passage. See Fig. 9 and section 5.1 of the report. See also image from Google Street View. It is proposed therefore to reduce the height of this wall also as described on drawing 231240-03. It will be topped by a concrete capping and railings to match the front retaining wall.

**4. APPLICATION DETAILS:**

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square metres (m<sup>2</sup>)

(a) Floor area of existing/proposed structure(s):	N/A
(b) If a domestic extension is proposed, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964 (including those for which planning permission has been obtained):	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas (m <sup>2</sup> ) and previous planning reference(s) where applicable:
(c) If a change of use of land and/or building(s) is proposed, please state the following:  Existing/previous use _____ _____	Proposed use _____ _____
(d) Are you aware of any enforcement proceedings connected to this site?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please state relevant reference number(s):

**5. LEGAL INTEREST OF APPLICANT IN THE LAND/STRUCTURE:**

Please tick appropriate box to show applicant's legal interest in the land or structure:	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is "Other", please state your interest in the land/structure:	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;">                 Planning Department                   16 NOV 2023                   Cork County Council                  Conservation Area                  Cork             </div>	
If you are not the legal owner, please state the name of the owner/s (address to be supplied at Question C in Contact Details):		

**6. PROTECTED STRUCTURE DETAILS / ARCHITECTURAL CONSERVATION AREA:**

Is this a Protected Structure/Proposed Protected Structure or within the curtilage of a Protected Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority: Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please state relevant reference No. _____
Is this site located within an Architectural Conservation Area (ACA), as designated in the County Development Plan? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

**7. APPROPRIATE ASSESSMENT:**

Would the proposed development require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site (SAC, SPA etc)? Yes  No

**8. DATA PROTECTION DECLARATION:**

In order for the Planning Authority to process the personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council’s Privacy Policy available at <http://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

***Processing of your Declaration of Exemption application by the Planning Authority***

*I give permission for my personal information to be processed for the purpose stated above*

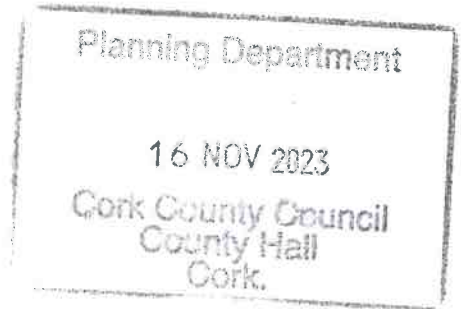
Signed (By Applicant Only)	<i>Arden Longrove</i>
Date	13-Nov-2023

**GDPR Special Categories of data / Sensitive Personal data - Explicit Consent**

Where Special Categories of personal data / sensitive personal data are provided as part of / in support of a declaration application, **explicit consent** to the processing of the special categories of data must be given by the person to whom the data refers, namely the Data Subject.

Special Categories of data / Sensitive Personal data include:

- Race
- Ethnic origin
- Political opinions
- Religion
- Philosophical beliefs
- Trade union membership
- Genetic data
- Biometric data
- Health data
- Concerning a natural person's sex life
- Sexual orientation



In order for the Planning Authority to process the sensitive personal data you have provided, your consent is required. By ticking the box below, you consent to the Planning Authority processing the personal data provided by you in line with the terms of Cork County Council’s Privacy Policy available at <https://www.corkcoco.ie/privacy-statement-cork-county-council> or in hardcopy from any Council office; and to having your information processed for the following purposes:

**Sensitive personal data being submitted in support of Declaration of Exemption Application**

*I give permission for my sensitive personal data submitted to the Planning Authority to be processed for the purpose stated above.*

Signed	<i>Arden Longrove</i>
Date	13-Nov-2023

You have the right to withdraw your consent by contacting the Planning Department, Ground Floor, County Hall, Carrigrohane Road, Cork. Tel: (021) 4276891 Email: [planninginfo@corkcoco.ie](mailto:planninginfo@corkcoco.ie) or by contacting the Planning Department, Norton House, Cork Road, Skibbereen, Co. Cork. Tel: (028) 40340 Email: [westcorkplanninginfo@corkcoco.ie](mailto:westcorkplanninginfo@corkcoco.ie) However if consent to the use of personal data is withdrawn during the declaration of exemption decision-making process this information cannot be considered as part of the decision making process. Once a decision has been made, an applicant is not entitled to withdraw consent, as the right of erasure does not apply to a situation where processing is required for compliance with a legal obligation or for the performance of a task carried out in the public interest.

**Please note that all information / supporting documentation submitted will be available publicly to view at the Planning Authority offices.**




### ADVISORY NOTES:

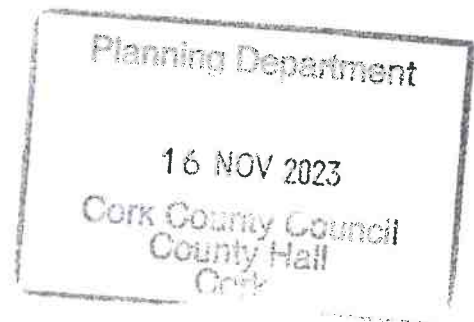
The application must be accompanied by the required fee of €80  
The application must be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.  
Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.  
The application should be sent to the following address:  
The Planning Department, Cork County Council, Floor 2, Co. Hall, Carrigrohane Road, Cork, T12 R2NC; or for applications related to the Western Division, The Planning Department, Cork County Council, Norton House, Cork Road, Skibbereen, Co. Cork, P81 AT28.

- The Planning Authority may require further information to be submitted to enable the authority to issue a decision on the Declaration of Exemption application.
- The Planning Authority may request other person(s), other than the applicant; to submit information on the question which has arisen and on which the Declaration of Exemption is sought.
- Any person issued with a Declaration of Exemption may on payment to An Bord Pleanála refer a Declaration of Exemption for review by the Board within 4 weeks of the date of the issuing of the Declaration of Exemption decision.
- In the event that no Declaration of Exemption is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a Declaration of Exemption was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork County Council for the purpose of advising the type of information which is normally required to enable the Planning Authority to issue a Declaration of Exemption under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations, 2001, as amended.*

9. **I hereby declare that, to the best of my knowledge and belief, the information given in this form is correct, accurate and fully compliant with the Planning and Development Acts 2000, as amended and the Regulations made thereunder:**

Signed (Applicant or Agent as appropriate)	
Date	13-Nov-2023





X

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County Hall  
Cork.





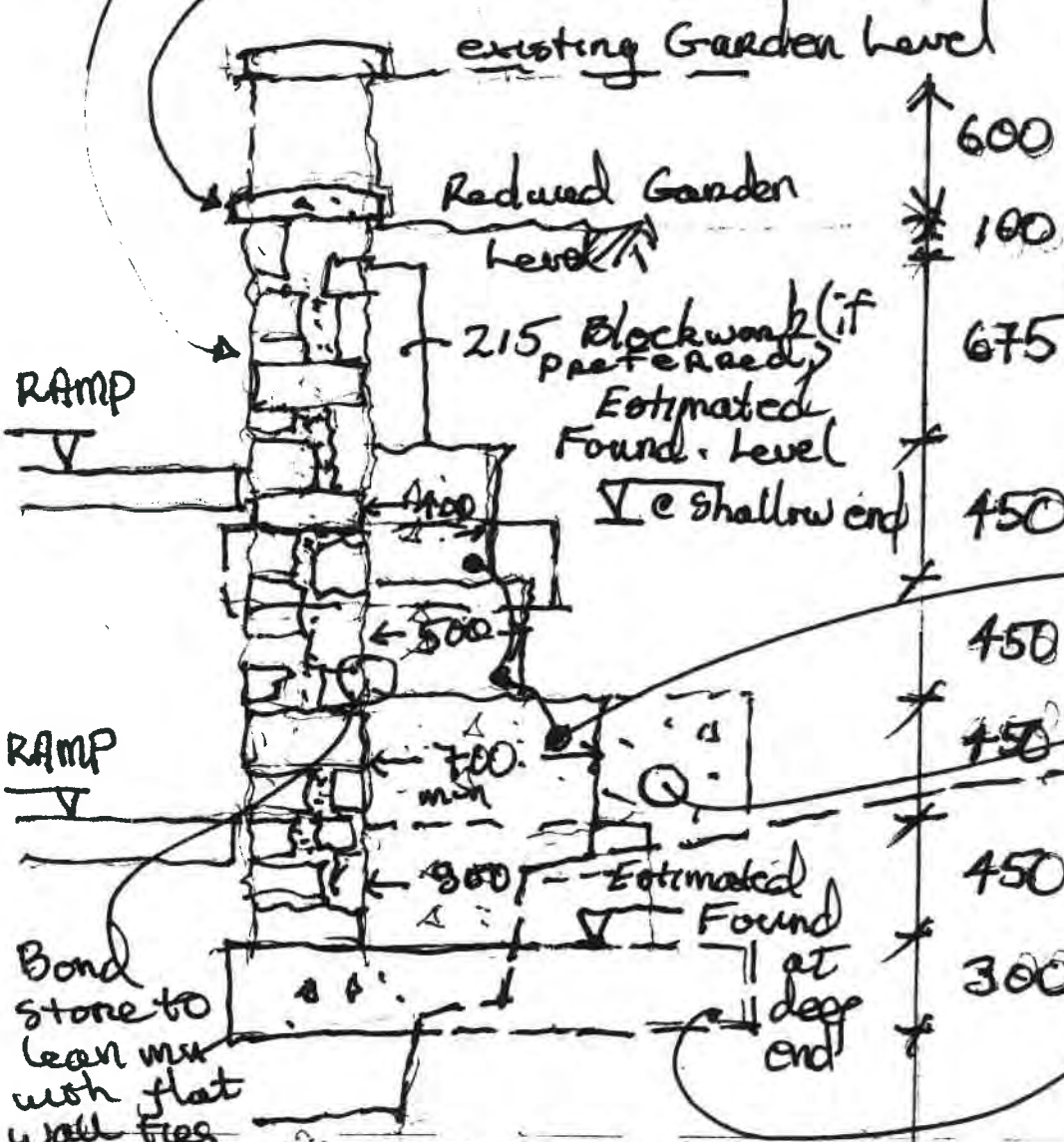
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with guillotined stone on inner face if needed  
 Cast-in-situ capping to match existing  
 24-08-23



1:25  
 Scale  
 @  
 A4

Aidean Cosgrove Retaining Wall Harbour View Youghal	231241 - 01 Rev 01
--	--------------------------

Approx Rock Profile  
 at deep end:  
 See DWG 231240-03  
 for EXPLANATION

100 lean concrete  
 Placed in layers  
 and vibrated  
 150mm Ø slotted  
 Lancashire drains  
 bedded in pea gravel  
 Free-draining  
 backfill

300mm thick  
 unreinforced step footing  
 on rock

SECTION X-X

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Stone Masonry Retaining Wall, Harbour View, Youghal, Cork			
Sketch - Section X-X of Wall			
Drawn	Checked	Approved	Scale
23/08	24/08	24/08	1:25
23/08	24/08	24/08	1:25
231240-PUNCH-XX-XX-DR-C-0001			001



1:50 scale  
© A4

Former pier now demolished

Reconstruct stone masonry retaining wall to reduced height 500mm thick over Lime mortar

Former Garden Level

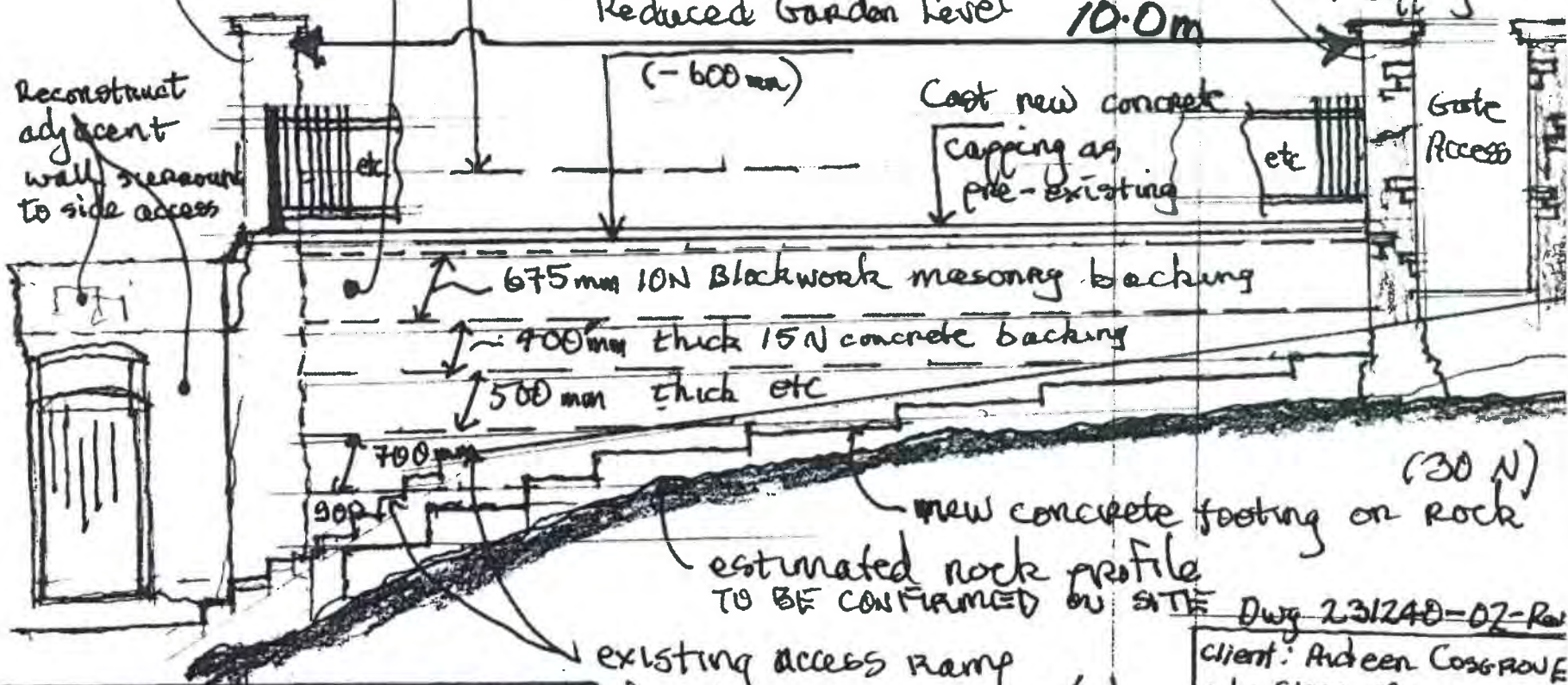
Reduced Garden Level 10.0m

Reconstruct Damaged Gate pier + Capping

Reconstruct adjacent wall seaward to side access

Cast new concrete capping as pre-existing etc

Gate Access



Front Retaining wall  
Wall A, Fig. 4 of Report  
(N) Colored

existing access ramp & steps

Dwg 23/240-02-Rev

client: Andrew Cosgrove  
job: Stone Masonry Retaining walls @ cont  
Youghnal

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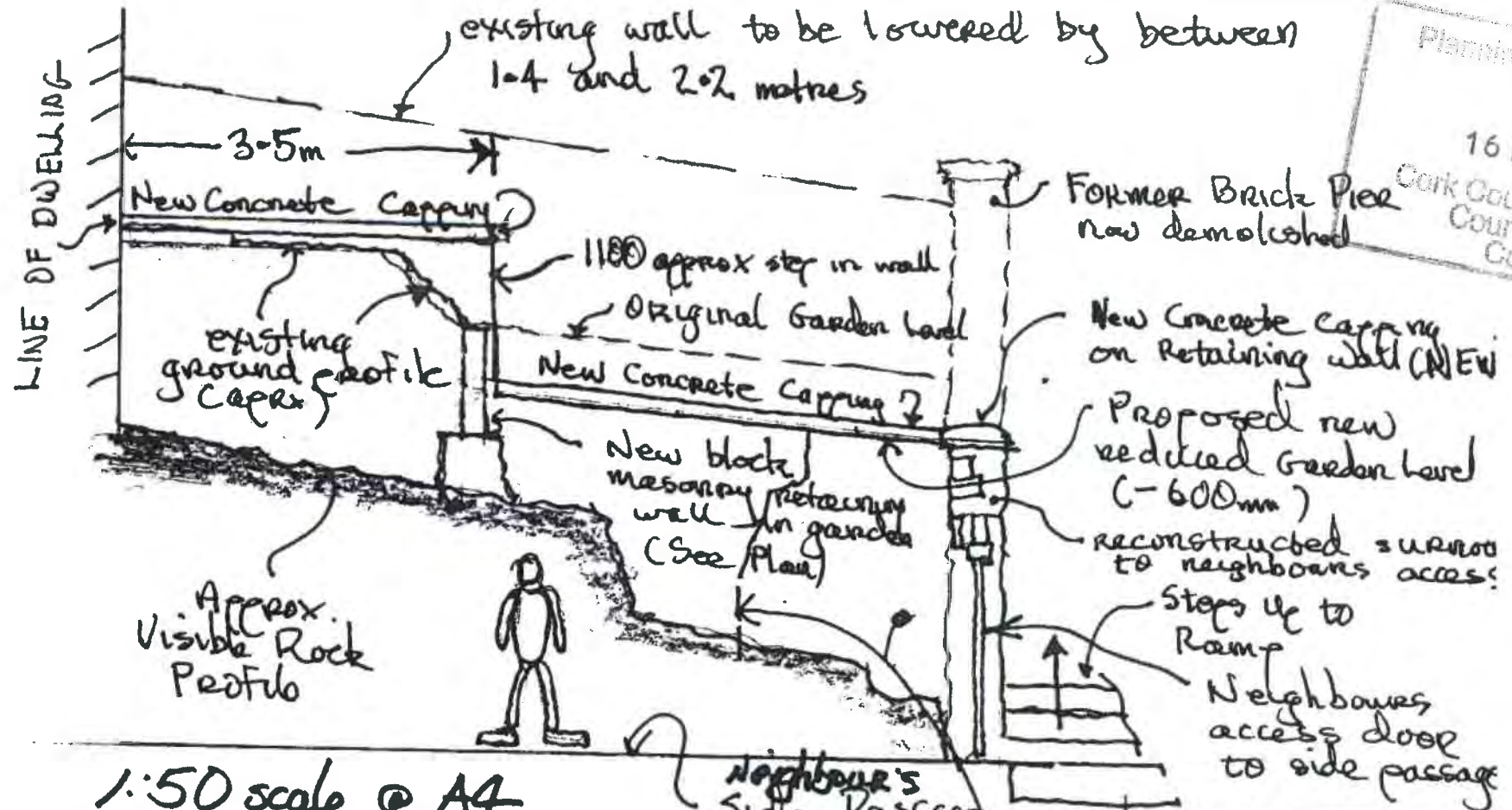

Scale	Stone Masonry Retaining Wall, Harshill-View, Youghnal, Cork.
Sheet No.	Retaining Wall, North Side, Wall
Project No.	
Drawn By	
Checked By	
Project No.	23/240-PUNCH-XX-XX-UK-L-XXXX
Rev	001



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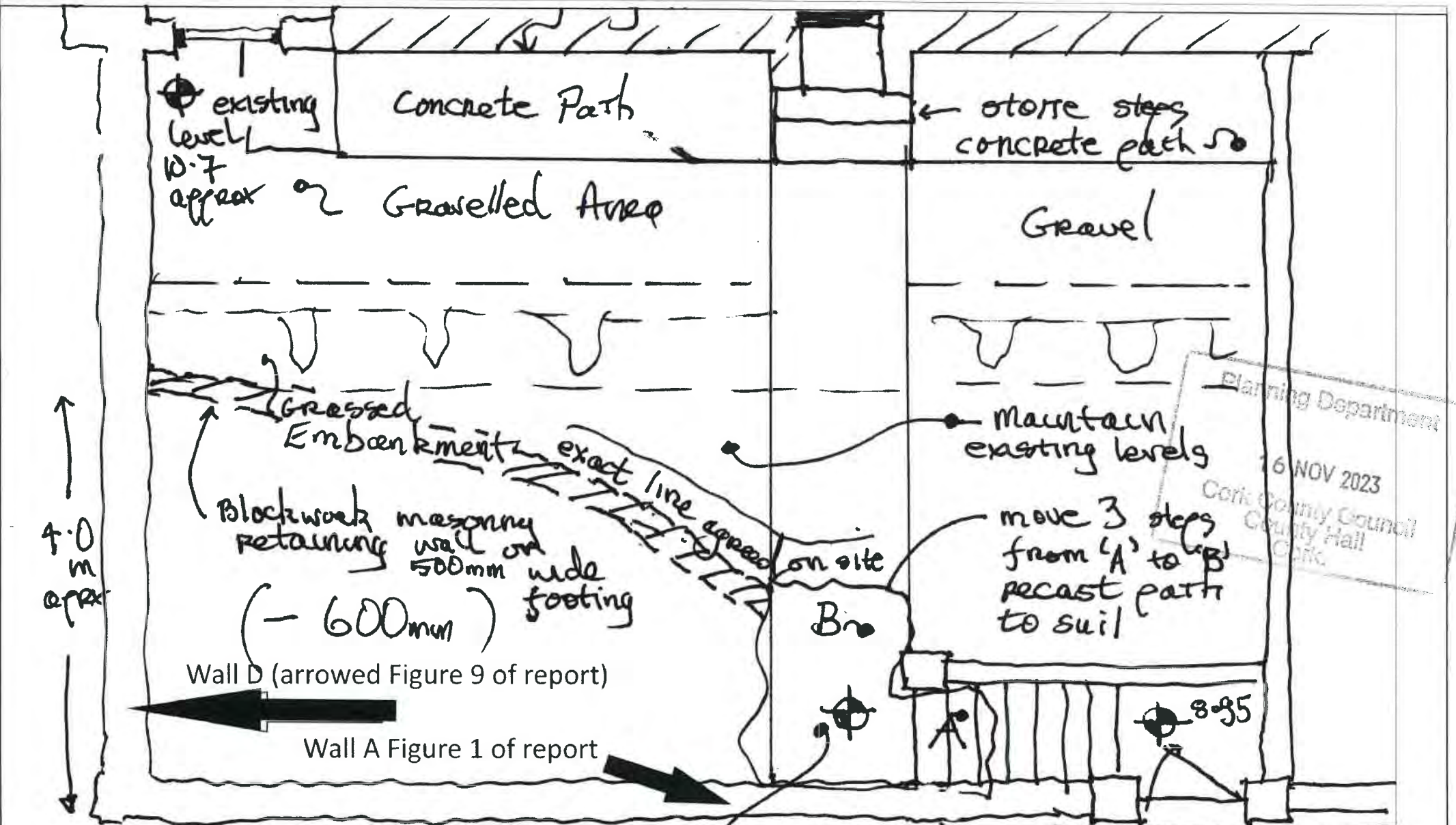


1:50 scale @ A4

7.65 m approx.

Wall D, Side Garden Wall  
Arrowed, Fig-9 of Report

Dwg. 231240-03-Rev1  
Client: Aisleen Corriveau  
Job: Stone masonry Retaining wall  
@ Youghal  
**SIDE WALLS**

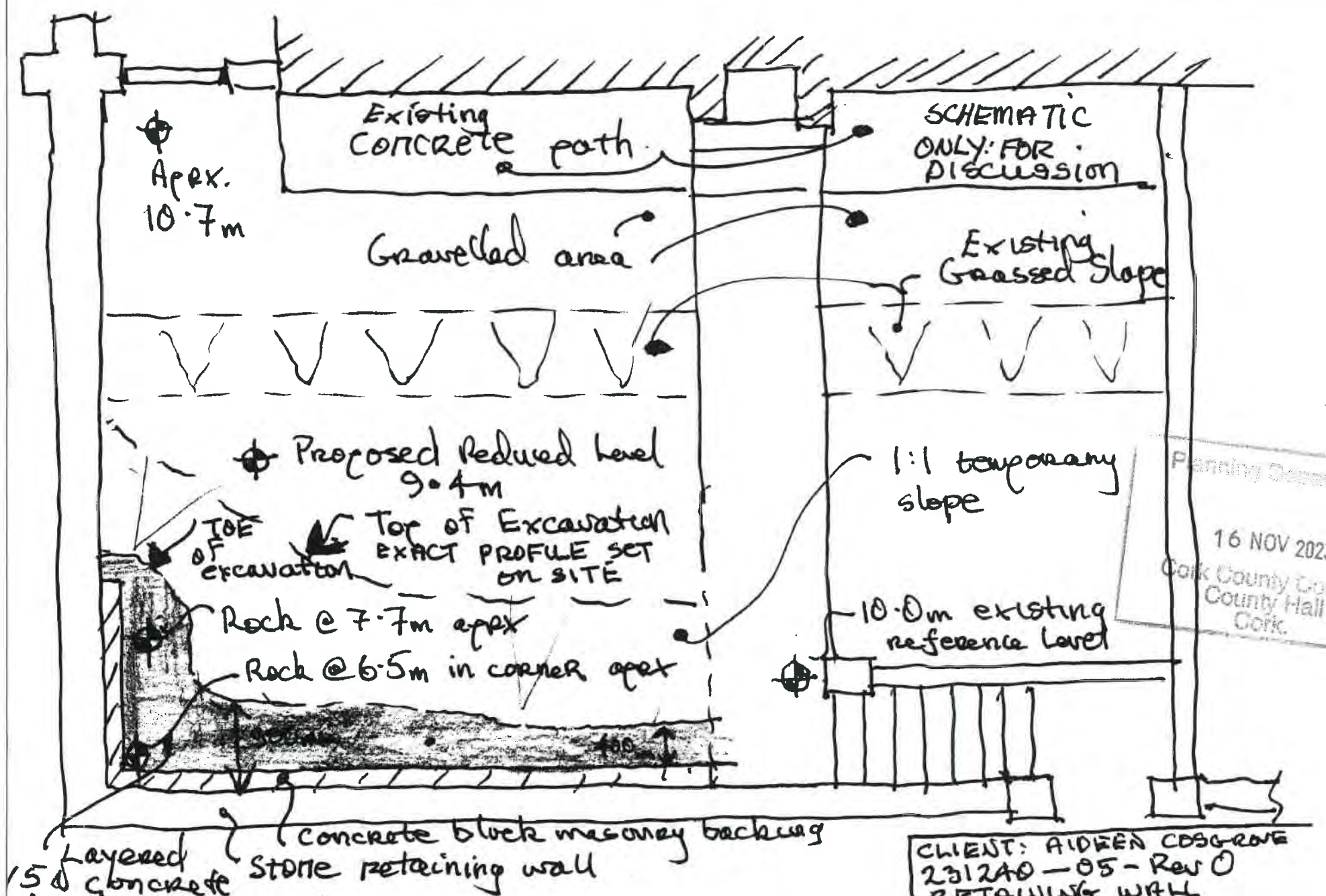


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Existing Reference Level: 10.00m  
 Proposed level: 9.4m (-600mm)

Client: Audeen Cosgrove  
 DWG: 231240 - 04 - Retaining wall @ YOUGHALH



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CLIENT: AIDEN COSGROVE  
 231240-05-Rev 0  
 RETAINING WALL

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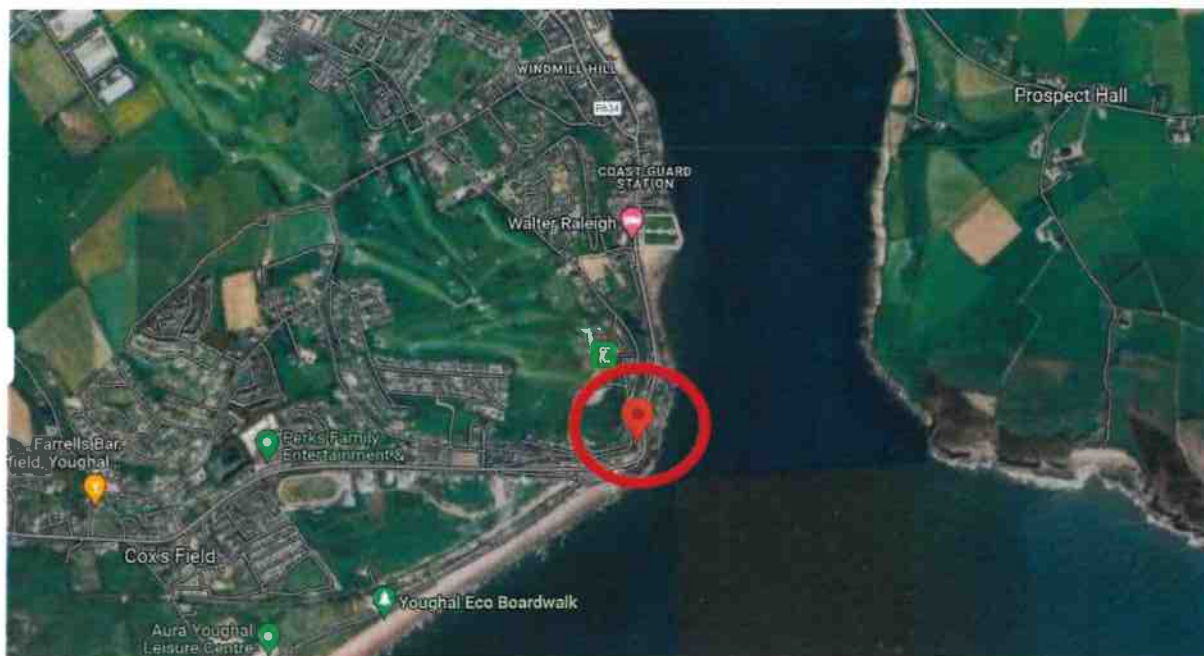

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Stone Masonry Retaining Wall - Harbour View, Yougal, Cork.			
Sketch Site Plan			

Report on Bulging (now collapsed) Retaining Wall at:

Lisnagree, 1 Harbour View South, Lighthouse Road, Youghal, Co. Cork,  
P36FC93

Job No. 231240



By Tom Cosgrove FIEI FStructE, Chartered Engineer for Punch Consulting Engineers

For Aideen Cosgrove

Rev 0 27-07-23 issued to James Murphy, Murphy Insurances on July 27th

Rev. 1 17-08-23 Separation at Return Wall: Additional photo and text & Job No.

Rev. 2 21-10-2023 Wall Collapse: ESB Pole Works Ref., Additional Photos etc.





## 1 Introduction and Summary

A retaining wall that forms the front garden boundary of Aideen Cosgrove's dwelling is severely bulged. There is evidence of recent movement. The wall is unsafe. Phase 1 emergency works are being carried out starting on Wednesday 27 July 2023 by an appropriately experienced contractor, Ahern Bros. of Youghal, to remove a precarious brick pier. Barriers have been put in place to restrict pedestrian access. Mr. Dave Clarke, Senior Engineer of Cork Co. Co. has seen the wall in question and agrees that the wall is a matter of urgent concern.

## 2.00 Site Description

The dwelling house sits on an elevated site overlooking Youghal harbour. Immediately behind the house, the ground profile rises steeply as an exposed rock cliff. In front of the house, the ground falls away to road level where two retaining walls accommodate the level change while also facilitating access. The inner retaining wall ('A' in Figure 1 below) is the wall of immediate concern. Brick pier 'B' is precarious and an urgent concern. Arrangement to take it down by hand are in progress at the time of writing (27/07/2023). Wall 'C' forms the boundary of the public road and right now appears to be in good condition and does not show any signs of movement or instability.



Figure 1 Retaining Wall , Harbour View, Youghal

### 3.00 Wall Survey

A summary of the wall survey is given in Fig. 2 below

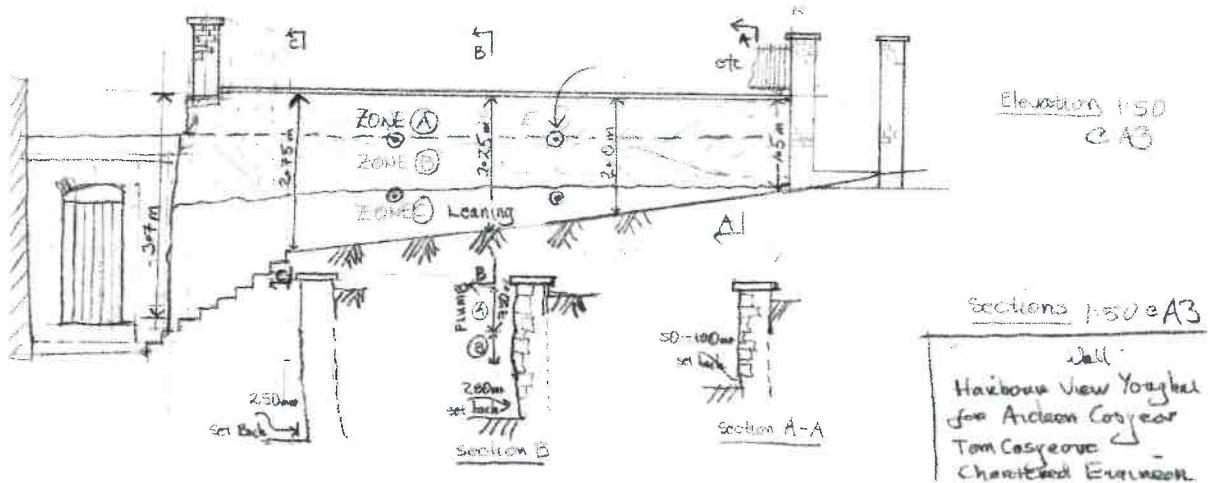
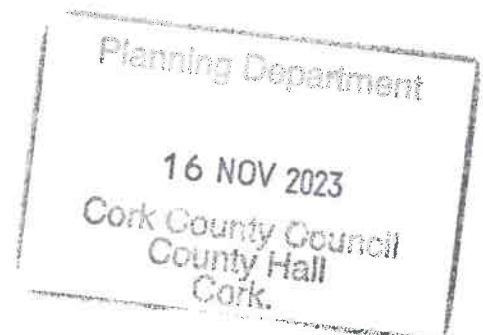


Figure 2 Retaining Wall Survey Dimensions

The wall height varies from 1.5m (on the right) to 3.7 m high (on the left). The height dimension at any point on the outside (to the underside of the concrete coping) is also the height retained as the garden ground level coincides with the underside of the coping on the inside. The bottom of the bulging wall A is effectively restrained against horizontal movement by the concrete ramp and steps that occur between the two retaining walls (see Figure 3). Therefore the outer Wall C is indirectly providing some support to Wall A preventing the bottom of wall A from moving.







*Figure 3 Walls A (Bulging, Left) and C (Right)*

The bulging profile of Wall A is illustrated in Figure 2 at three locations. While there is significant bulging even at the the right hand end, where the wall is much lower (1.5m), the bulging dimensions shown on sections B and C of Figure 2 where the wall is higher (2.25m to 2.75m) is particularly severe. Note that the profile does not curve back in towards the top but the entire upper zone

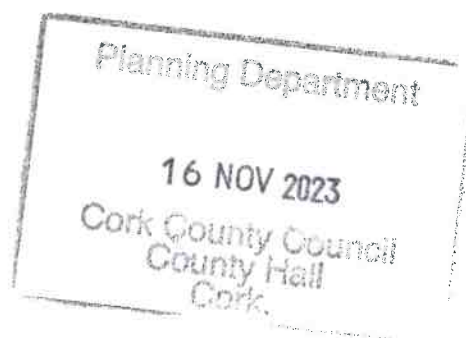


(marked as zones A and B in Figure 2) has moved forward. The magnitude of the movement (over 200mm or exceeding 8 inches outward movement over most of the wall) together with the tension cracking visible on the front face is such as to lead to a judgement that the wall is unstable.

#### 4.00 Recent Movement

The wall may date from the late 19<sup>th</sup> or early 20<sup>th</sup> century. It cannot be established when movement started but Ms. Cosgrove first expressed concern in 2015. I saw the wall then and substantial bulging was apparent in 2015. Neighbours have been expressing concern on a number of occasions since then. While it may be that the bulging started a long time ago and was a gradual process over many years, recent inspections suggest that significant movement is happening in recent months. In particular, the gap between brick Pier 'B' and the side garden wall has been increasing. Three images serve to show this movement. One (Figure 4) was taken by the writer on 14<sup>th</sup> October 2022 while two (Figure 6 and Figure 7) were taken yesterday (26-07-2023). Figure 4 shows an elevation of the brick pier 'B' in October 2022. Figure 5 shows a detail from Figure 4, where brick is attached with mortar onto the side garden wall. The red circle in Figure 4 indicates the area of the close up detail shown in Figure 5.

These images serve to show both the very significant accumulated movement since the brick pier was originally constructed and also the increment of movement that has happened between October 2022 and July 2023. Both Ms. Cosgrove and her neighbours on both sides referred to works carried out by the EBS installing a new steel pole close to the highest end of the retaining wall. These works were carried out on 24<sup>th</sup> May 2023. All three residents referenced the considerable vibration caused by concrete breaking tools, presumably pneumatic hammers, during the works.





*Figure 4 Brick Pier 14th Oct 2022*

The accumulated movement at the pier location (about 40mm or nearly 2 inches) is clearly visible as the gap between the original mortar packing (with yellow lichen) and the concrete garden side wall. The reason why the movement is less at this location than at the maximum bulge on the front of the retaining wall 'A' (more than 8 inches) is because the part of the retaining wall immediately



supporting the pier is bonded on its return lower down and is therefore partially restrained locally against forward movement.



Figure 5 Brick Pier Oct 2023 Detail

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The detail in Figure 5 taken in October 2022 clearly shows where newer mortar has been added (no lichen growth) at some time after the original construction and is smudged on the brick face indicated by the arrow. This serves to show that the movement was happening over a long period of time and makeshift repairs to fill resulting gaps were being made. Compare this image with Figure 6 below taken on 26<sup>th</sup> of July 2023 .



Figure 6 Brick Pier Detail July 26 2023



Comparing the arrowed locations, it is apparent that the brick pier has moved forward by some 30mm since October 2022 exposing more of the packing mortar which was formerly concealed behind the pebble dash layer. Figure 6 below is an oblique view that shows how the packing mortar has now completely parted from the pebble dashed wall. This increment of movement, 30mm to 40mm has happened since October 2022. This is the increment of movement that may have been precipitated by the works to the ESB pole on 24 May 2023.



Figure 7 Brick Pier 26 July 2023 Detail: Oblique view

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The accumulated movement that is visible at the brick pier is also apparent on the return wall facing the adjacent 3 storey terrace. See Figure 8 below.



*Figure 8 Separation from Return Wall*

#### 5.0 Wall Collapse October 18<sup>th</sup> 2023

Aideen Cosgrove alerted me by Phone on Wednesday October 18<sup>th</sup> that the wall had collapsed on the early afternoon of that day. Storm Babette had resulted in extremely heavy rainfall throughout East Cork resulting in severe flooding in many places. I visited site on Friday October 21<sup>st</sup>. The wall had fallen forward, and a considerable portion of the clay fill had slipped and spilled forward also. See Figure 9 below.



Figure 9 Retaining Wall Collapse

### 5.1 Additional Damage and Implications of Collapse

It appears that the impact of the falling stone masonry and clay had caused upper courses of the second outer retaining wall to fall forward, depositing masonry onto the public road (approximate area of damage circled on Figure 9). Part of the masonry wall with the wooden gate that gives access to the side and rear of the neighbouring property to the South came down with the retaining wall. See Figure 10 below .

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Figure 10 Damage to Neighbour's Side Access



Figure 11 Access Undermined

The clay fill under the access path to Ms. Cosgrove's house has spilled out leaving a square meter of concrete path hanging precariously. See Figure 11 above. I have advised Ms. Cosgrove not to use the normal access. She is currently getting access by crossing Mr. Martin Finn's property, her neighbour to the North (neighbour's house marked with a red circle on Figure 11). One of the gate piers of Ms. Cosgrove's entrance collapsed with the wall (visible in fig. 11).

The side boundary wall to the West (marked by a red arrow in Figure 9 above) is now free standing since the retaining wall has collapsed. Right now, there is no sign of any movement on this wall, either recent or historical. It was inspected from the neighbour's side entrance passage in July. It was plumb and no cracking was apparent, and that situation does not appear to have changed since the collapse. It is built on a rock outcrop that is visible from the neighbour's side. That outcrop steps up rapidly as you move from front to rear. Therefore, right at the front edge it retains over 3 metres locally but that reduces as the rock outcrop rises as you move back from this corner towards Ms. Cosgrove's dwelling. The main hazard to this wall would be from retaining forces to the front and otherwise from wind from the East or Northeast. In view of events to date it is recommended that this wall be reduced in height as an urgent matter, particularly towards the front edge. The plan is, having reduced Ms. Cosgrove's garden level permanently by 600mm that this wall be positively bonded into the reconstructed retaining wall, substantially lowered by around 2.0m towards the front (exact dimensions to be confirmed), capped with a concrete capping and topped off with a galvanised railing like the retaining wall.

Some of the temporary fencing that had previously been placed to prevent access to the ramp in front of the retaining wall (see point 3) below) was damaged by the rubble fall. Local building contractors, Ahern Bros., had cleared any rubble off the road carriageway and erected replacement fencing where necessary on the day of the collapse. Due to the rubble pile, access to the neighbouring 3-storey terrace to the West had to be restricted from the Northern end adjacent to Ms. Cosgrove's property. However, there is free access to that terrace at its Southern end. It is planned to get Ahern Bros. to remove most of the rubble and some of the clay as an urgent measure to restore access to the neighbour's side entrance. They will store the stone rubble off site with a view to salvaging as much as possible for reuse in the reconstruction of the retaining wall.

Lastly, Mr. Martin Finn, the neighbour to the North, drew to my attention a misalignment between a retaining wall on his property and a brick pier at the entrance Ms. Cosgrove's property. See Figure 12 below.



That misalignment is of about 10mm. Mr. Finns garden retaining wall is 10mm proud of the gate pier. It is unclear right now how or when this misalignment occurred, but the plaster and paint marks suggest that it was not built like this. Mr Finn's garden retaining wall, which he built about 20 years ago when raising the ground levels in front of his own house to form a level garden, looks to be plumb and not misaligned and does not show any significant cracking. He noted that it was painted about 5 years ago. This might suggest that the movement occurred since then.

Figure 12 Misalignment at Mr. Finn's Boundary

## 6.0 Discussion and Conclusions

Note: additional text added at Revision 2 after collapse, 21-10-2023 in italics



1. The overall bulged profile of the retaining wall is severe, and the wall is unstable.
2. The brick pier 'B' in Figure 1 is particularly precarious and a threat to public safety and arrangements have been made to take it down by hand over the coming days.
3. There is clear evidence that pier 'B' has moved outwards significantly since October of 2022. This can only happen if the retaining wall on which it sits has also moved out. *This latest increment of movement may be associated with ESB works immediately adjacent to the brick pier 'B' on 24 May 2023.* The overall situation is now critical. Therefore, in agreement with the local authority, barriers have been erected yesterday 26-07-2023 to prevent the public walking in front of the bulging wall 'A'.
4. The overall recommendation is to demolish and rebuild the retaining wall. *The replacement wall will be designed in accordance with contemporary standards and practices. As Ms. Cosgrove's house is located within Youghal's Architectural Conservation Area, it is planned to reconstruct the collapsed wall with stone masonry and traditional lime mortar. See Appendix a for a sketch section of the proposed replacement wall which was discussed with Ms. Siun McCarthy, conservation officer with Cork Co. Co.*
5. It is recommended that the garden level be reduced permanently by a depth of some 600mm for a zone about 2.5m wide immediately behind the reconstructed wall. This will significantly reduce pressure on the replacement wall permanently and help to reduce replacement costs. *Associate with this ground level reduction, the flanking boundary wall (arrowed in fig. 9) should be substantially reduced in level towards the front.*
6. As ground water and/or stormwater runoff may be a contributing factor in the soil and wall movement, it is recommended that the down pipe on the left corner of the dwelling (see Figure 1) be connected to a piped drain to discharge outside the garden. It is also recommended that carefully detailed land drainage surrounded in pea gravel and wrapped in a geotextile fabric be provided all along the heel of the reconstructed retaining wall. This would also be piped to an external drainage point.

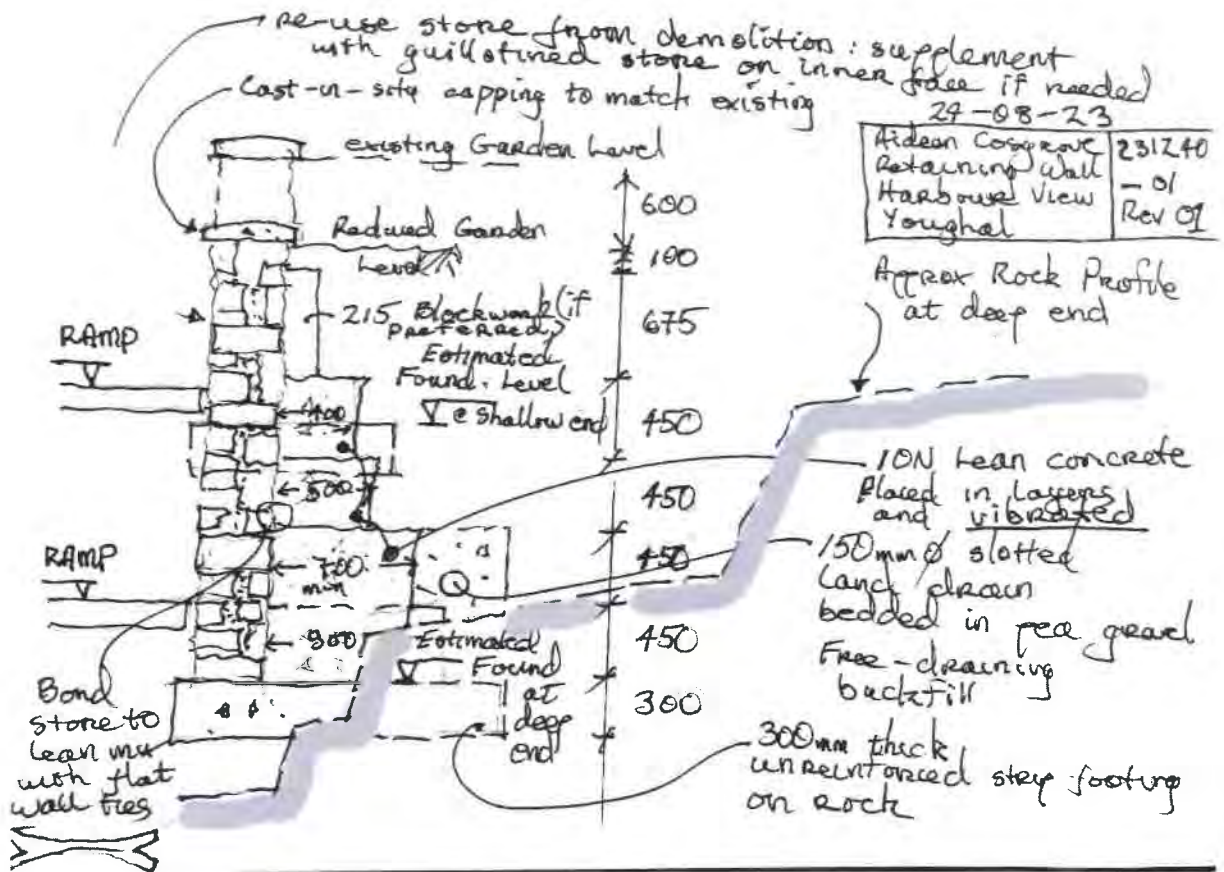


7. [added 21-10-23 with Rev. 2] The retaining wall to the front of Ms. Cosgrove's property collapsed on the early afternoon of Wed. 18-10-23. The collapse was undoubtedly precipitated by the exceptionally heavy rainfall from Storm Babette which waterlogged the soil and increased the pressure on the wall.

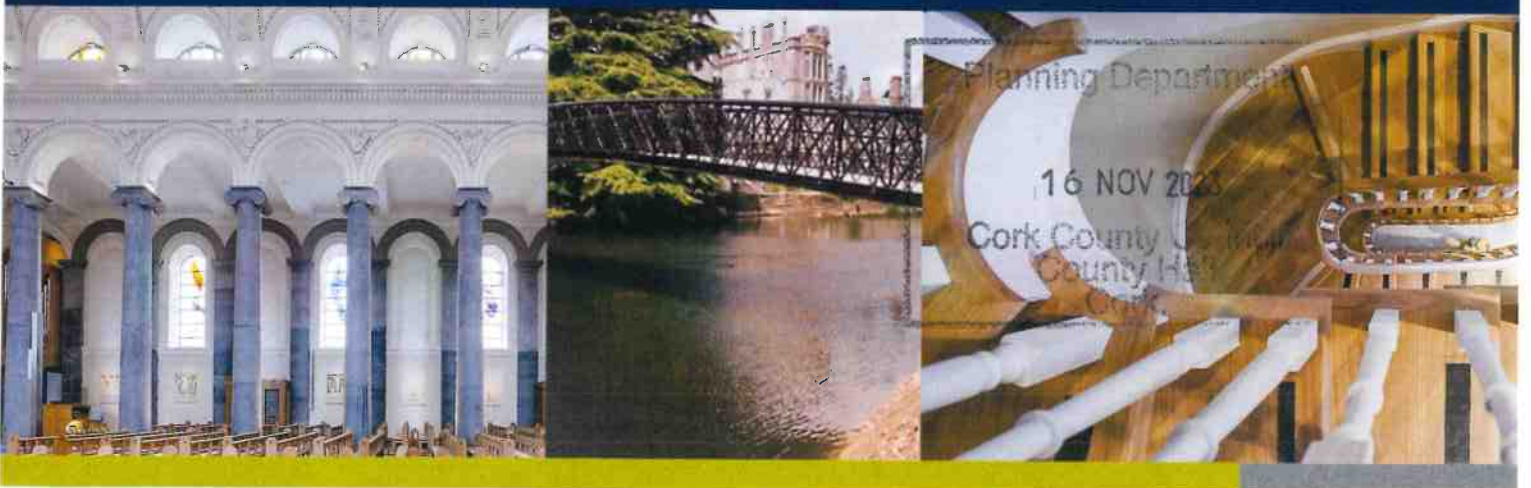
Tom Cosgrove

Tom Cosgrove FIEI FStructE Chartered Engineer  
For Punch Consulting Engineers

Appendix A Proposed Reconstructed Retaining Wall Section (added 21-10-2023)



# PUNCH Conservation Capability Document



the 1990s, the number of people with a diagnosis of schizophrenia has increased in many countries, including the United Kingdom (Murray & Lewis, 1998). The prevalence of schizophrenia is estimated to be 1% of the population (Murray & Lewis, 1998).

There is a growing awareness of the need to improve the lives of people with schizophrenia. The World Health Organization (WHO) has developed a number of initiatives to improve the lives of people with schizophrenia, including the Comprehensive Community Mental Health Services for Persons with Serious Mental Illness (SAMHSA, 2003). The WHO has also developed a number of guidelines for the treatment of schizophrenia (WHO, 2002).

The aim of this study was to evaluate the effectiveness of a community mental health team (CMHT) in providing care for people with schizophrenia. The study was conducted in a large urban area in the United Kingdom. The CMHT was established in 1998 and provides a range of services, including assessment, diagnosis, treatment, and rehabilitation. The study was conducted over a period of 12 months and involved 100 people with a diagnosis of schizophrenia.

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# PUNCH Consulting Engineers

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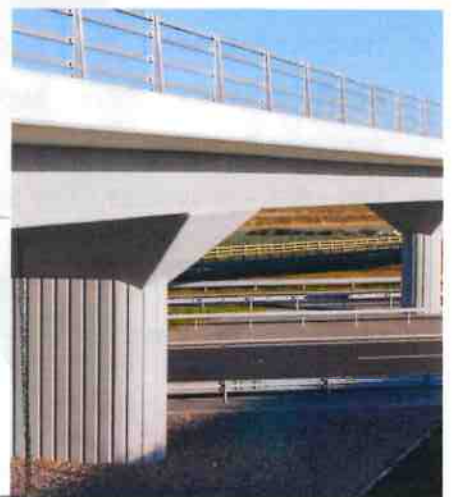
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#### Images:

Cover (from left to right): St Mel's Cathedral; Adare Manor; St Mel's Cathedral

This page (from top to bottom): Arthur Cox Offices, M1 Motorway and Bridges

Next page: PUNCH staff on site visit

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- **Environmental Consultancy** - *Compliance / Regulations / Corporate Guidelines*
- **Waste Management** - *Licensing / Treatment / Contaminated Land*
- **Urban Drainage** - *Flooding Analysis / SuDS / Planning / Surface water audits*
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- **Bridge Engineering** - *Pedestrian Bridges / Vehicular Bridges*
- **Harbour & Coastal** - *Port and Marine Structures / Coastal Erosion protection*
- **Health & Safety** - *Project Supervisor Design Process*
- **Assigned Certifier**
- **Fire** - *Risk Assessments / Fire Safety Cert Application / Change of use Assessment / Compliance Assessment*



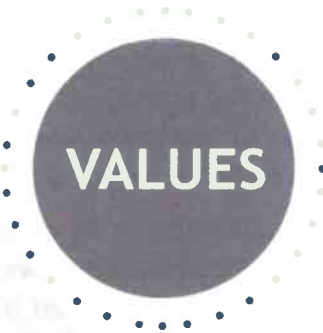




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## PUNCH Conservation

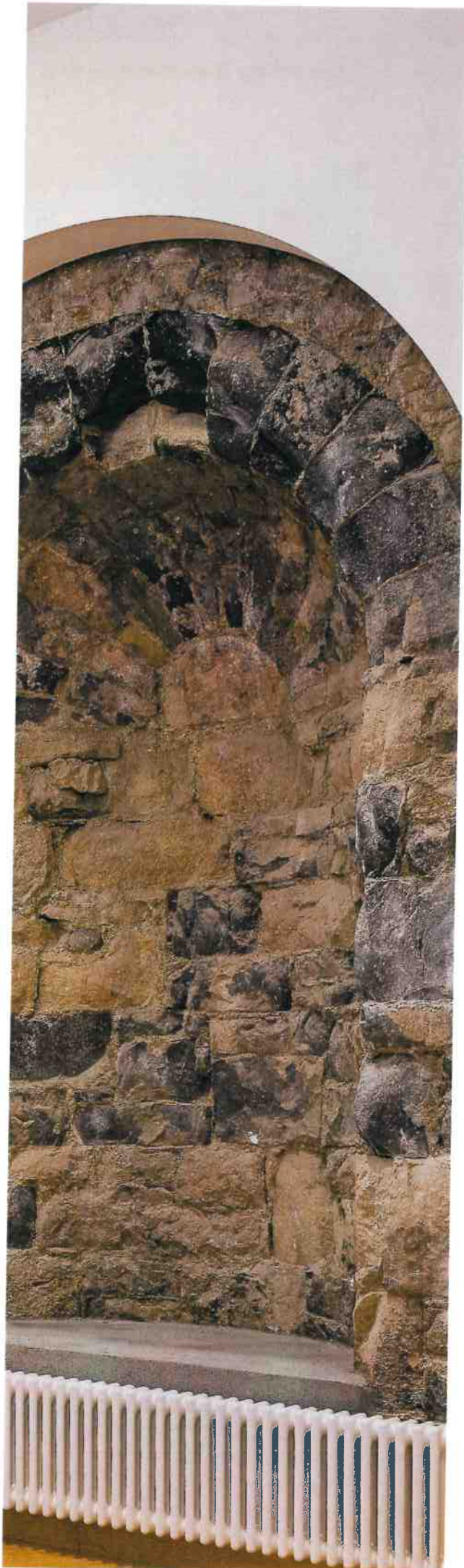
The PUNCH Conservation Group is a specialist group, with a purpose to combine the wealth of PUNCH Conservation experience collected over the last 47 years, to assist in the conservation and restoration of structures. We have a designated, specialist team, who have gained specific experience in this year through involvement in a number of prestigious conservation projects.

In 2009 we launched PUNCH Conservation as a specialist department within PUNCH. This department is now the market leader in Ireland in the area of conservation engineering of protected structures, frequently entrusted with the engineering contribution to the conservation of internationally significant national monuments.

Our team completed the restoration of St Mel's Cathedral in Longford. Complete restoration was required following significant damage caused by a fire that took place on Christmas Day 2009. This was the largest conservation project in Ireland at the time, and possibly the largest in Europe.

We are working with Limerick City Council on Limerick's Opera Centre site, which contains over 30 buildings most of which are predominantly intact Georgian terraces located on Rutland Street, Patrick Street and Ellen Street. The terraces are historically significant, particularly in maintaining Limerick's strong 19<sup>th</sup> century Georgian facades that survive in Limerick. We have also recently completed a major refurbishment and upgrade works project (€6M) in King John's Castle, Limerick.

Our reputation for getting things done with sustained commitment to achieving a critical balance between creativity and viability. Since its inception PUNCH has evolved into a multi-disciplined and dynamic engineering consultancy, allowing us to provide a high-quality, responsive and proactive services and expertise.





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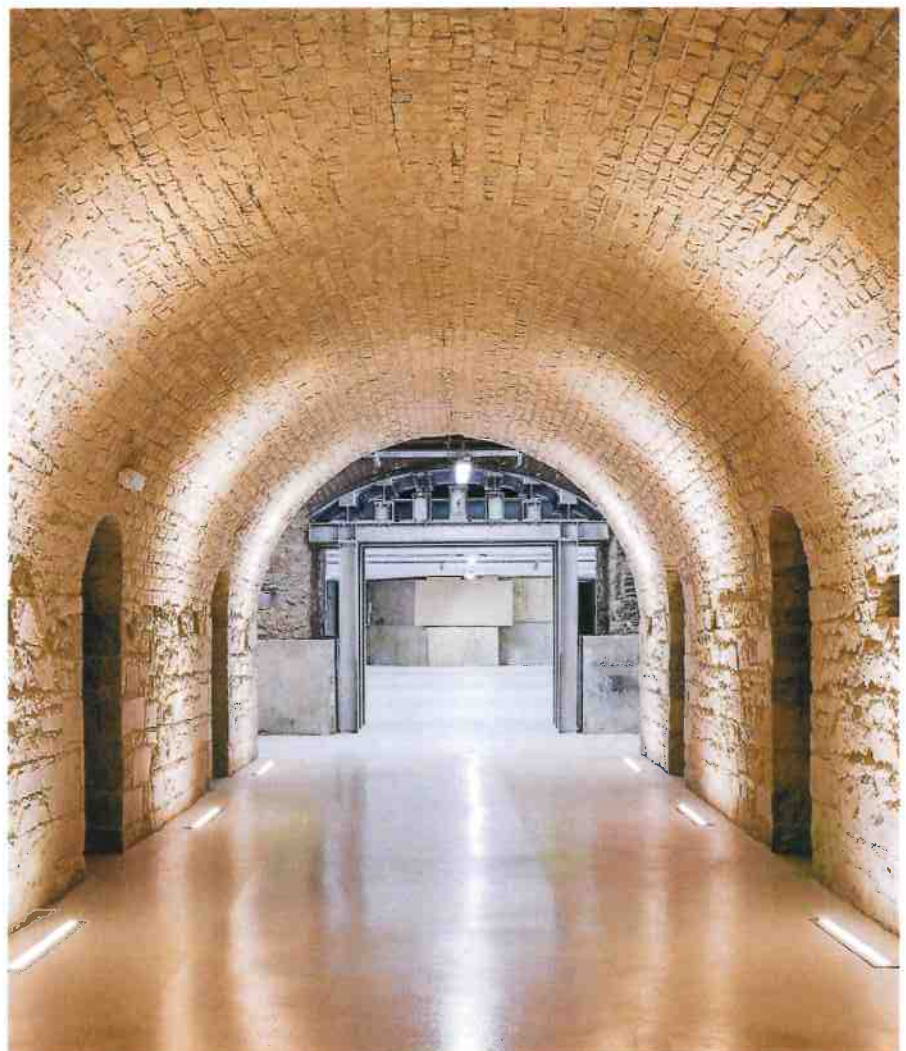
Indeed our repeat work with the Office of Public Works and Local Authorities on complex conservation projects marks us as one of the foremost conservation engineers in the country.

Other high profile conservation projects over the years include Boyle Abbey Co. Roscommon, King John's Castle Limerick, St Patricks College NUI Maynooth, the National Gallery of Ireland in Dublin, Killua Castle Co Westmeath, Murphy's Brewery Cork, The Redemptorist Monastery and Kilcash Castle Co Tipperary to name but a few.

A selection of our Conservation portfolio is contained within. It shows our long history of providing innovative solutions to problems arising in existing sites. PUNCH take great care to identify as many potential issues as possible in advance. Our well known cost effective problem solving is a product of well researched early identification of potential problems, in conjunction with important internal design reviews by our senior engineers. Early and targeted design reviews are invaluable in producing innovative solutions.

**“The approach to the structural solution must be one that produces the least impact to the existing building within the client desired programme.”**

Conservation projects require liaison with the relevant Local Authorities Heritage Officers and indeed possibly the OPW. Our long history of collaboration with them on protected structures will be of immense benefit to any project. The approach to the structural solution must be one that produces the least impact to the existing building within the client desired programme. PUNCH Consulting Engineers have a proven track record in achieving this.



Images from left to right:  
St Mel's Cathedral

Conservation of a Protected Structure is our way of building a bridge between the past and the future. We have been doing the work of conservation engineering since the practice was founded in 1973, before the description “conservation engineer” was in use at all. In those times when we were called to look at what we now refer to as a protected structure our natural response was to understand:

- The owner’s concerns
- The architect’s concerns

We looked to the past to understand:

- The structure and the condition of the structure.
- The structural design and how it worked.

- The materials used - typically stone, bricks, lime mortar and timber, with a bit of iron thrown in for good measure.
- Taking the time to get inside the head of the original owners, designers, masons and carpenters so that the engineering response was made in a context of deep understanding and respect.

Clearly our main concern is to determine how the historic building design was originally envisaged, and to assess the impacts of any modern interventions.

“Taking the time to get inside the head of the original owners, designers, masons and carpenters so that the engineering response was made in a context of deep understanding and respect.”

Image below: St Mel’s Cathedral  
Image right: National Gallery of Ireland





## PUNCH Conservation Projects

“...the role and part to be played by the engineering profession in this area has emerged as a distinct specialist contribution and service.”

In recent years a fundamental cultural and social need to maintain our connection with our built past has emerged, the recognition of which is now enshrined in national and international legislation.

As a consequence, the role and part to be played by the engineering profession in this area has emerged as a distinct specialist contribution and service.

Based on this experience and the ongoing development of our knowledge base, PUNCH Conservation was formed to provide service and to contribute to all involved with conservation projects of any kind.



## St Patricks Cathedral, Dublin

**Client:** St. Patrick's Cathedral

**Services Provided:** Civil, Structural & Conservation Services

**Value:** €6.0M

**Project Duration:** 2017 - Ongoing (2021)

St. Patrick's Cathedral founded in 1192, is the National Cathedral of the Church of Ireland. It has a long and interesting history, and following problems with roof slate failures, is currently undergoing the most **extensive** programme of roof repairs since the Guinness Restoration in 1865.

Substantial research and investigations have helped inform the repair **proposals** and underpin the conservation approach. **These** include:

- Accessible scaffolding design to **protect** and **weather** proof the existing roof during re-roofing works.
- Repair **proposals** to the **different** timber structures: king post **trusses**, purlins and rafters for all the varying **spans** and roof voids in the **Cathedral**.
- **Assessment** of roof slates.
- Design and review of internal high level timber walkways.
- Design of masonry repair **works** to the external parapets.

The scale is **significant** and is a once in a generation project.





## St Mel's Cathedral, Longford

**Client:** St. Mel's Cathedral Project Committee

**Architect:** Fitzgerald Kavanagh

**Value:** €25m

**Completion date:** 2014

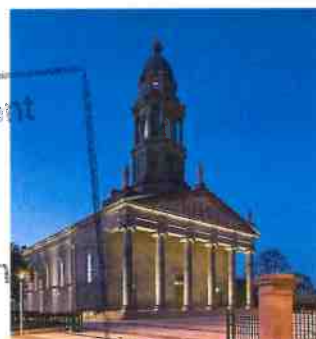
**PUNCH services:** Civil & Structural Engineering Services

**Awards:** ACEI Design Excellence, Large Structures Project of the Year

The foundation stone for St. Mel's Cathedral was laid in 1840, completed in c.1890 and was consecrated in 1893. In the early hours of Christmas Day, 2009 fire broke out in the Sacristy of the Cathedral, destroying the interior and roof of the Cathedral, with some damage to the external facing stone.

PUNCH were appointed as civil and structural conservation engineers to help to bring this much loved building back to its former glory. Our focus has always been to first stabilise the existing, and when safe to do so, restore the structure.

On Saturday 20 December 2014 Bishop Francis Duffy, Bishop of Ardagh & Clonmacnois, reopened the now restored Saint Mel's Cathedral five years after a devastating fire destroyed the building on Christmas morning 2009. PUNCH Consulting Engineers are very proud to have been the structural engineers for this major conservation project which has been described as the largest of its kind in Europe.





## Dublin Castle - The Record Tower & Cross Buildings

**Client:** The Office of Public Works National Monuments

**Services Provided:** Civil, Structural & Conservation Services

**Value:** Confidential

**Project Duration:** 2017 - Ongoing (2021)

There are few places in Ireland more instantly recognisable or important than Dublin Castle. It was constructed in the late 13<sup>th</sup> century and has undergone numerous repair and maintenance regimes during its lifetime. The Cross Block was the location for the formal handing over of the Castle, and the country itself, to Michael Collins on the 16<sup>th</sup> January 1922. PUNCH have completed structural surveys and assessments of the building.

The Record Tower dates back to the 13<sup>th</sup> century and has served a number of functions over its life from a prison to the storage of state papers. This period of significant and highly visible repairs and alterations also includes a number of major structural elements:

- Repairs to the stone floors and assessment of structural steel.
- Provide access to the roof for panoramic views of Dublin City.
- Fire upgrade works.
- Conservation of existing historic fabric, including stonework, historic windows, renders, pointing, roof timbers etc.
- Provision of new stairs.
- Re-opening of historic openings.



## Four Courts, Dublin - Roof Dome Repair Works

**Client:** The Office of Public Works National Monuments

**Services Provided:** Civil, Structural & Conservation Services

**Value:** Confidential

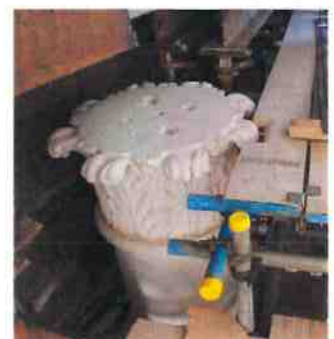
**Project Duration:** 2017 - Ongoing (2021)

The Four Courts, with its first case heard in 1796, was built on the original 13th century site of a Dominican Friary garden. It seated four principal courts initially, and while the number of courts has changed, it has retained its historic name.

It has undergone numerous repair and maintenance regimes during its lifetime. This period of significant and highly visible repairs also includes a number of major structural elements including:

- Repairs to the stone column capitals including replacement of badly damaged capital stones.
- Repairs to the existing steel angle.
- Extensive scaffolding design.
- Significant temporary works and temporary propping design.
- Repairs to the existing concrete dome, dealing with temporary weathering systems and safe access including new fall arrest.
- Repairs to stonework (granite parapet, Portland stone cornice & entablature etc).

The project is on site and 2no capital stones have been replaced.



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## Adare Manor, Co Limerick

**Client:** Tizzard Holdings Ltd

**Architect:** Reardon Smith Architects

**Services Provided:** Civil & Structural Engineering Services

**Value:** Confidential

**Project Duration:** 2015 - 2018

Founded by the second Earl of Dunraven in 1832, Adare Manor is set in an 840 acre parkland Estate and comprises the Manor House which is a listed protected structure, courtyard, formal gardens and an eighteen-hole championship golf course on the banks of the tranquil River Maigue.

Adare Manor was originally a two-storey seven-bay house from the early 18th century. Construction of the current Manor and Estate commenced in 1832 and took 28 years to complete. The Manor Estate remained in the ownership of the Dunraven family until 1982 when it was sold to an investment consortium by Lady Dunraven. Over the next 25 years it would go through multiple restorations and expansions to include a new river wing, indoor swimming pool and conference room (1989), a golf course (1995) and an 8,000-square-foot clubhouse complete with pro-shop, bar and dining room (1999).

Limerick man J.P. McManus acquired Adare Manor in January 2015 and quickly put in place plans to renovate the existing Manor building and Golf Clubhouse. Great care and attention was taken when drawing up the proposed plans to ensure that the renovations would honour the building's architectural heritage. In addition to renovating the main Manor house the proposals included the construction of a new bedroom wing, a new ballroom and a new swimming pool, all of which are adjoining the Manor. A number of new buildings will be constructed to support the running of the Manor Hotel; these include an Energy Centre and a Facilities Complex. The works on site began in January 2016 and are due for completion in 2018.





PUNCH provided full civil and structural design services for the entire development. All new structural works within the Manor building are designed in line with a sympathetic approach in line with conservation practice.

### Manor Building Refurbishment and Extension

The upgrade and refurbishment of the existing hotel complex and the addition of new accommodation wing will result in 7,664 m<sup>2</sup> of new hotel floor area with a new total capacity of 104 bedrooms.

A complete refurbishment of the original Manor building is being undertaken to upgrade the hotel facilities. Given the age of the building and the nature of the proposed works, PUNCH have maintained a strong presence on site in order to intensively survey, investigate and assess the condition of the existing structure as opening up works are carried out. This often means devising structural interventions in-situ. As a state of the art hotel facility, the building services are being comprehensively replaced with the requirement for new service routes throughout the building. PUNCH is working closely with the Mechanical and Electrical Contractor to ensure that any structural interventions to allow the installation of new services do not compromise the integrity of the existing building.

The new bedroom wing joins an existing 1989 extension and will provide 54 bedrooms over five levels. The refurbishment of the 1989 extension included the addition of an extra storey of mansard bedrooms on the top floor of the existing structure. PUNCH carried out site investigation to verify the construction of the existing building and confirm its ability to support the new loads from the additional floor as well as designing a new structure to safely transfer loads to the existing primary structural elements.

The new bedroom wing is linked to the main Manor building with a new covered stone colonnade. The colonnade passes over old underground masonry vaults that are accessed from a courtyard below. The presence of the vaults required the foundations of the colonnade to be designed to ensure that the additional load of the colonnade would not detrimentally affect the condition of the vaults. During the construction of the colonnade the vaults were carefully uncovered and restored to good condition by repointing and waterproofing the extrados of the vaults.

A new single storey, double height ballroom / conference space will have capacity for 350 patrons.



## National Gallery of Ireland Refurbishment, Dublin

**Client:** Office of Public Works

**Architect:** Heneghan Peng Architects

**Services Provided:** Civil & Structural Engineering Services

**Value:**

Phase 1 - €2.1m

Phase 2 - €38m

Phase 3 - €TBC

**Project Duration:**

Phase 1 - 2012

Phase 2 - 2017

Phase 3 - TBC

The National Gallery on Merrion Square is over 150 years old and houses the largest collection of fine art in the state. In order to bring the gallery up to the standards of a modern international gallery, a significant investment was needed in the fabric of the building.

At the end of 2008, a planning application for the full redevelopment scheme for the National Gallery was lodged with Dublin City Council. This major scheme, valued at over €70m, included a new energy centre, the refurbishment of the Dargan, Milltown and Beit Wings, a New Wing and a connection into Millennium Wing.

### Phase 1: Dargan Wing Roof Refurbishment

The first phase in 2012 consisted of the renovation of the Dargan Wing roof, much of which dates back to the original construction.

To accommodate the first phase of works a temporary roof was required to be installed over the existing roof by the contractor. This allowed works to the existing roof to be carried out while protecting the historic fabric of the building from the weather.

The main structural works required the existing timber roof trusses to be assessed structurally to accommodate the upgrade to the roof. A new access walkway was also required to be incorporated within the timber trusses. These works required both a visual inspection long with testing to assess the structural adequacy of the roof to facilitate the new roof finishes, services and access walkway loads. Due to the historic nature of the building the upgrade works were designed and detailed to ensure the original appearance and structural design intent was not compromised.







### Phase 2: Historic Wings (Dargan & Milltown) Refurbishment

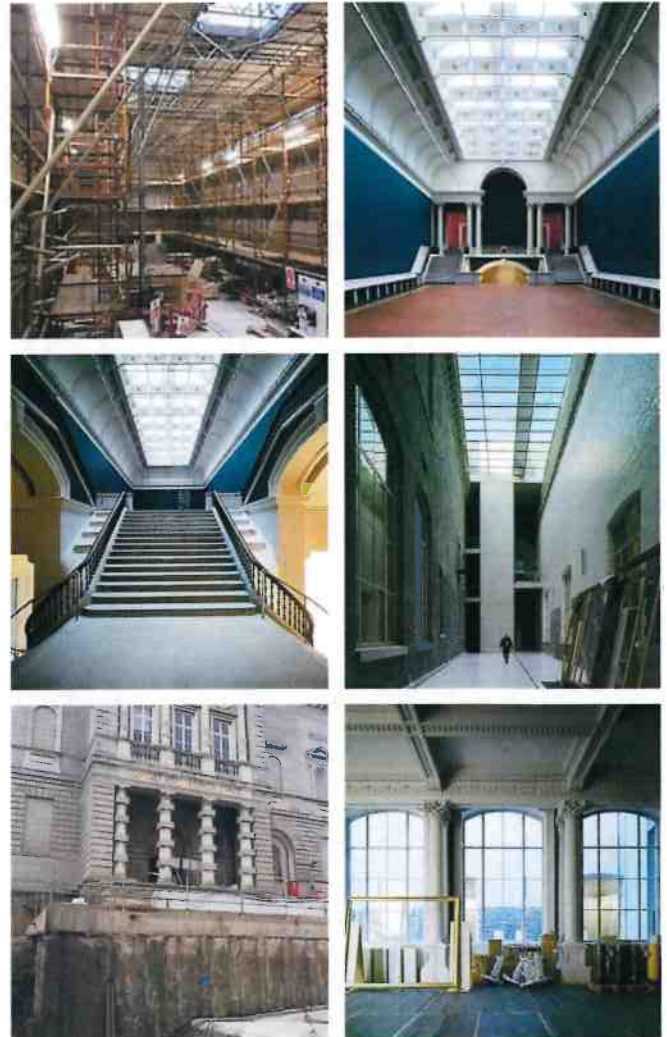
The second phase entailed the provision for the refurbishment of the roof over Milltown Wing, renovation and reinstatement of the roof over the main entrance, provision of the new atrium space and roof between Dargan & Milltown Wings, and a new energy centre and landscaping in the forecourt. The main refurbishments works was preceded by an enabling works contract involving relocation of the existing security room, installation of new boiler, generator and all associated works.

This was a major civil engineering project which involved underpinning this historic building to a depth of 2.5m below existing foundations in order to facilitate the installation of a new temperature controlled ventilation system for the gallery. The plant for this was housed in the new Energy Centre which was sunk into the ground below the landscaped lawn to the front of the building - thereby removing it completely from view and preserving the available floor space in the gallery.

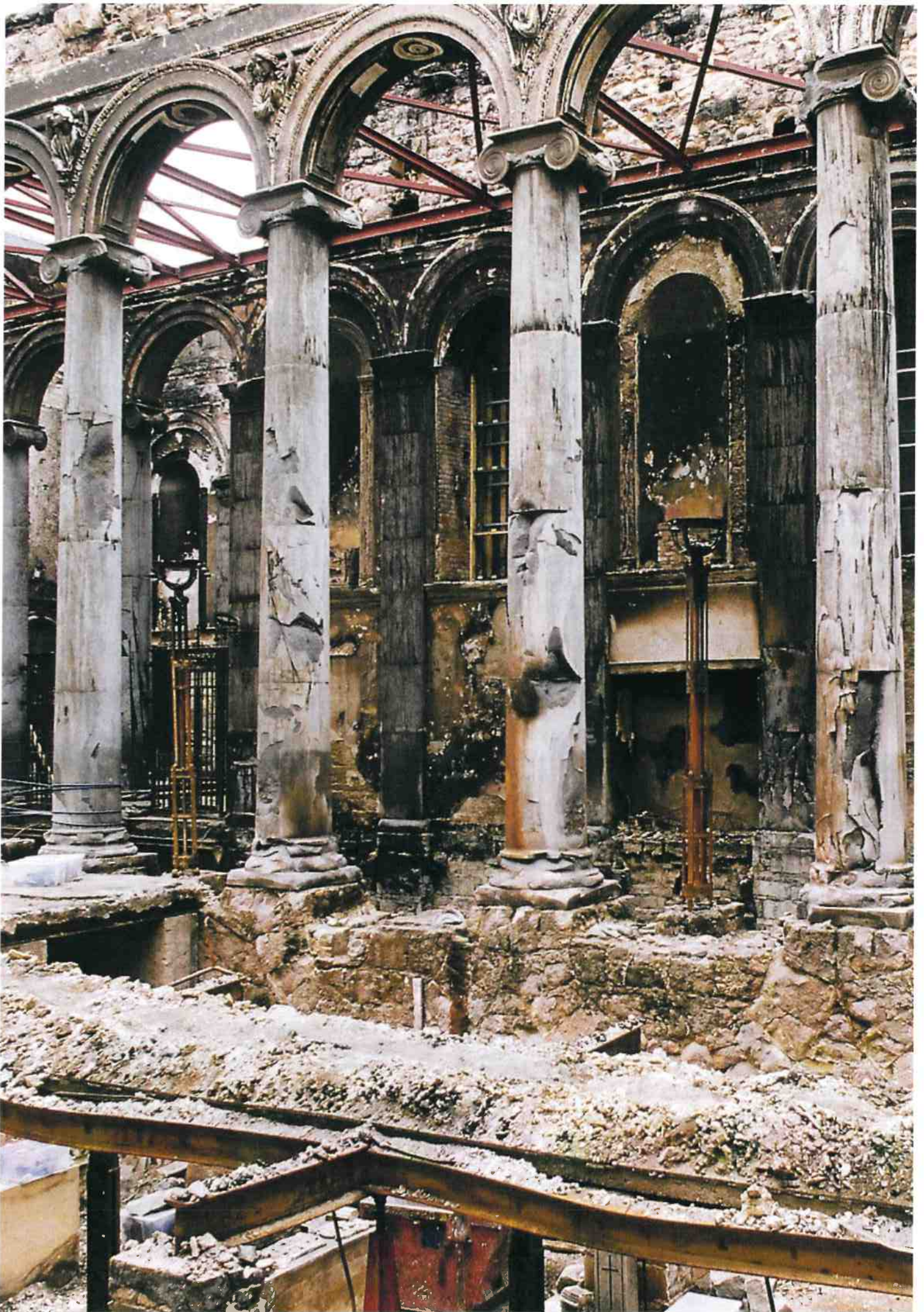
The extensive network of ducting for the ventilation system was carefully integrated into the existing building. An entirely new internal exhibition level was created between the Dargan and Milltown Wings with a glazed roof over. Windows which had been sealed up in the past were reopened to allow natural light into the building again. The fully refurbished historic wings were reopened to the public in 2017.

### Phase 3: Beit Wing & New Build

The final phase of the redevelopment of the National Gallery will entail the refurbishment of the Beit Wing, the construction of a New Building in an existing courtyard space, and a connection into Millennium Wing.









# PUNCH Conservation

## General Approach to Conservation Process

### The Process

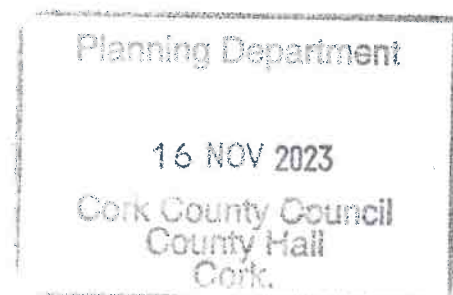
The **process** involves inspections of buildings and place based on specialist knowledge and **experience** to form an **understanding** of:

- The client's concerns and intentions.
- The conservation architect's interpretation of the client's brief.
- The current condition of the structure.
- The original historic structural design and how it **worked**.
- Discovery of all relevant information based on research of historic archives, maps, drawings, paintings and other records.
- Later structural interventions and their impact, positive or negative or neutral.
- Detailed **inspections** for defects and identification of the causes and sources of such defects.
- The extent of damage and the level of **activity** of decay.

- Deciding on the appropriate course of action and implications of the structural repair / maintenance strategy.
- Loading bearing capacity assessment of existing floors and structures.
- Creating a coherent set of drawings, specifications and other such documents for inclusion in the Irish Architectural Archive.

The process also requires familiarity with:

- Relevant Legislation and Regulations.
- New Government Conditions of Contract.
- Conservation Charters (Venice etc).
- Principles of Conservation.

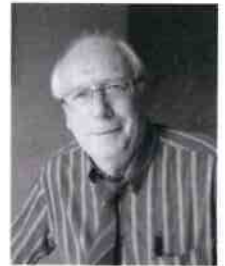


## PUNCH Conservation The Team

### Kevin Clancy - Lead Conservation Engineer | Chartered Engineer

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Kevin Clancy was one of the three founding partners of PUNCH Consulting Engineers in 1973, and is now a consultant to PUNCH Conservation. Kevin has acquired a quality and depth of experience in a career spanning 37 years which very few engineers could match. In that time he has contributed to the complete range of building typologies, from bespoke private houses to nuclear power stations.



In 2009 Kevin launched PUNCH Conservation as a specialist department within PUNCH. This department is now the market leader in Ireland in the area of conservation engineering of protected structures, frequently entrusted with the engineering contribution to the conservation of internationally significant national monuments.

Kevin is a social activist in Limerick, contributing pro bono services to many social, sporting & and community groups. Kevin retains a great interest in conservation projects. Kevin's current projects include St Patrick's Cathedral Dublin and Mount St Vincent Limerick.

### Kevin Mullery - Director | Chartered Engineer

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Kevin Mullery has over 25 years experience in conservation and structural engineering and is the Director responsible for PUNCH Conservation. Kevin's involvement in projects from start to finish in a Senior Management role is to ensure that the Client's programme, quality, and cost objectives are all delivered to the highest standard. Kevin's excellent management and communication skills contributed greatly to his significant conservation experience which includes Garda Training College Templemore, The Hunt Museum, Limerick; Mullingar Integrated Arts Centre and Limerick Art Gallery, Pery Square as well as the refurbishment of Hayes Hotel Thurles. He is currently involved in the conservation of Kilcash Castle and ongoing works in Cahir Castle.



Kevin has the distinction of being involved in the company's oldest conservation structure, a recently found souterrain in Co Cork, dating back to the early Christian era, where a partial collapse had occurred. He is currently the project Director for the Four Courts Dome Repairs and St Patricks Cathedral Dublin projects.

### Aidan O'Connell - Director | Chartered Engineer

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Aidan O'Connell successfully completed his degree in 2001 and joined PUNCH Consulting Engineers as a Graduate Engineer. Since then he has developed a wide range of structural and project management experience on buildings and civil engineering works. Aidan has a keen interest in building conservation and completed a Postgrad Diploma in Applied Building Repair & Conservation in Trinity College in 2011.





Aidan is currently Project Engineer on the €36m extension and refurbishment of St. Patrick's College in Drumcondra, the refurbishment/conservation of the famous Tea Rooms in People's Park in Dun Laoghaire, Co. Dublin and is also the Project Engineer for Structures on the Refurbishment of the Historic National Gallery Building.

Some of Aidan's other high profile projects include Highfield Hospital in Dublin, Beacon Southquarter project in Sandyford, Kildare County Council Civic office, Gorey Civic Centre, Rathmines Leisure & Apartment Development and Limerick Main Drainage processing facility structural works. He is a Chartered Engineer with both the Engineers Ireland and the Institution of Structural Engineers.

### Gerard Neville - Technical Director | Fellow of Engineers Ireland

Gerard Neville has over 45 years' experience working on a wide range of projects varying in size and complexity. Ger specialises in the sensitive repair and restoration of Protected Structures. PUNCH Conservation has relied heavily on Ger's expertise, in particular in St Patricks College Maynooth campus, where he has been involved in every PUNCH project since the late 1970s. St Patrick's College Maynooth consider Ger to be their foremost authority on their buildings, treating their Protected Structures with respect and consideration.



Significantly, this vast Conservation experience marked Ger as the ideal project lead of St Mel's Cathedral, arguably the largest conservation project in Ireland at the time. His experience in the area of conservation spans a wide range of projects varying in size and complexity. His vast knowledge of the building industry coupled with the personal commitment makes him an asset to any project. Ger's wealth of experience and 'hands-on' approach are of particular value to projects of this nature.

Ger was recently made a Fellow of Engineers Ireland, an achievement which marks his 45 years of experience and expertise in Conservation.

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### David Clarke - Technical Director | Chartered Engineer

David Clarke is a Chartered Engineer with over 20 years' experience in consultancy including conservation engineering. Since graduating from Trinity College Dublin, he has gained strong exposure to civil/structural design and construction of residential, commercial, industrial, refurbishment and temporary works projects, many of which have a strong conservation element.



In the area of conservation specifically, David has extensive experience. He has recently completed working on the €72.0M upgrade of the National Gallery of Ireland completed over two significant phases. He has also worked on the restoration of Killeen Castle and is the project lead on St Patrick's Cathedral as well as working on the conservation team on Dublin Castle and the Four Courts.

Significantly, he is a Chartered Engineer with both the Engineers Ireland and the Institution of Structural Engineers.

## Award Winning Projects

### Gardens International Limerick

ACEI: **Structures** Project of the Year 2020

### Gardens International Limerick

Irish Building & Design Awards: Project of the Year 2019

### Gardens International Limerick

**Property Industry Excellence** Awards: Design Project of the Year 2019

### Southill Older Persons Accommodation, Limerick

RIAI: RIAI Silver Medal for **Housing** (highest RIAI award for housing design) 2019

### Ballymun Boiler House: Property Industry Excellence Awards

Energy **Efficiency** Project Winner 2019

### Ballymun Boiler House

SEAI: SEAI 2018 **Buildings** Award

### Adare Manor: Virtuoso Best of the Best Awards

Hotel of the Year 2018

### Refurbishment & Extension of Adare Manor, Limerick

Irish **Construction Excellence** Award for Sports and **Tourism** 2018

### National Gallery of Ireland Merion Square - Historic Wings

RIAI Cultural/Public Building of the Year 2018

### Irish Construction Excellence Award for Heritage Project 2018

**Heritage** and **Conservation** Winner at the **Engineers Ireland Excellence Awards** 2017

### Plitz Ireland, Cork

The Irish **Construction Industry Award for Industrial Project** of the Year 2018

### Limerick Smarter Travel Route

**Association of Consulting Engineers of Ireland** Design Excellence Award **Civil Project** 2018

### Housing: The Mews, Dun Laoghaire

RIAI **Sustainability** Category Award 2018

### Fr. Scully House, Gardiner Street, Dublin

House Project of the Year at the Irish Building & Design Awards 2016

### The Analog Devices Building at the University of Limerick

**Building** Project of the Year at the Irish **Building & Design Awards** 2016

### Roscommon County Council Headquarters

Fit Out Awards for Fit Out Project of the Year in the Public Sector, and **Excellence in Sustainability** 2016

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) - Best Public Building and Best **Sustainable** Building 2016

Irish **Design & Building** Award for **Architectural Project** of the Year 2016

### National Film School, IADT, Dun Laoghaire, Dublin

Irish **Concrete** Society Award, **Building Category** 2015

### University of Limerick Medical School

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) **Assessors** Award 2014

### Southill Older Persons Accommodation, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Housing Project of the Year 2014

### Collaiste Ailigh Letterkenry (Schools Bundle PPP)

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for **Education Building** of the Year 2014

### Cill Ronain Harbour

**Engineers** Ireland Project of the Year Award 2012

### Midlands Regional Hospital, Tullamore, Co. Offaly

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best Health Building 2009

### Thomond Park Rugby Stadium, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) People's Choice Award 2009

### Offaly County Council Offices

Runner-up for the Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) **Regional** Gold Medal Award 2009

### Cork Civic Offices

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best Public Building 2008

### Mary Immaculate College, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best Leisure Building 2008

### 15 Henry Street, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best **Commercial** Building 2007

### Bon Secours Hospital, Galway

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best Health Building 2007

### Scotch Hall, Drogheda

The British Council of **Shopping Centres** (BCSC) Gold Medal Award 2006

### Limerick Main Drainage

Association of Consulting **Engineers** of Ireland (ACEI) Annual Award 2006

### The Leinster Pavilions, Kildare St., Dublin 2

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 2006

### EYE Cinema, Galway

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best **Commercial Building** 2006

### Aras Chill Dara, Naas, Co. Kildare

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award for Best Public Building 2006

### Sustainable Energy Ireland Award 2006

OPUS **Architecture** and Construction Award 2006

### Finglas Pool and Leisure Centre, Dublin

**Architectural Association** of Ireland Award 2005

### SAP Offices, Galway

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) **Regional** Award 2005

### North Tipperary County Council Offices

Bank of Ireland OPUS **Architecture** and Construction Award 2005

### University of Limerick, Thomond Student Village, Limerick

Bank of Ireland OPUS **Architecture** and Construction Award 2005

### Main Guard, Clonmel

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) **Regional** Award 2004

### Limerick County Council Civic Offices

RIBA **Regional** Award 2004 for Public Buildings

### Offaly County Council Civic Offices

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 2003 for Public Building of the Year

**Department of the Environment** and Local **Government** Sustainable Building Award 2003

RIBA Region Award 2003

### Harvey's Quay Apartments, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 2003

### Galbally Social Housing, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 2003

### Mid-Western Regional Hospital, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 1998

### O'Mahony's Bookshop, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 1997

### King John's Castle, Limerick

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 1992

### Fire Station, Dun Laoghaire, Co. Dublin

The Royal Institute of the Architects of Ireland (Royal Institute of Architects of Ireland) Award 1990



# Office Locations and Contact Details

## Dublin Office

Address Carnegie House Library Road, Dun Laoghaire, Co. Dublin, A96 C7W7, Ireland.

t +353 1 271 2200

e [dublin@punchconsulting.com](mailto:dublin@punchconsulting.com)



## Limerick Office

Address 97 Henry Street, Limerick, V94 YC2H, Ireland.

t +353 61 221 200

e [limerick@punchconsulting.com](mailto:limerick@punchconsulting.com)



## Cork Office

Address Copley Hall, Cotters Street, Cork, T12 XF59, Ireland.

t +353 21 462 4000

e [cork@punchconsulting.com](mailto:cork@punchconsulting.com)



## Galway Office

Address Carleycon House, Main Street, Oranmore, Co. Galway, H91 T026, Ireland.

t +353 91 703 500

e [galway@punchconsulting.com](mailto:galway@punchconsulting.com)



## Glasgow Office

Address The Doges Studio 2, Templeton on the Green, 62 Templeton Street, Glasgow, G40 1DA, Scotland.

t +44(0)141 550 7270

e [glasgow@punchconsulting.com](mailto:glasgow@punchconsulting.com)



## Other Projects

### Rock of Cashel - Wall Tops Repairs

Ongoing works - currently at pre-tender stage



Data sheets for other notable / relevant conservation projects are below.

Curriculum Vitae for the PUNCH Conservation Team are also below.



# Kilcash Castle

## Co. Tipperary



### Client:

National Monuments Service

### Services Provided:

Civil, Structural & PSDP  
Engineering Services

### Value:

€0.35M

### Project Duration:

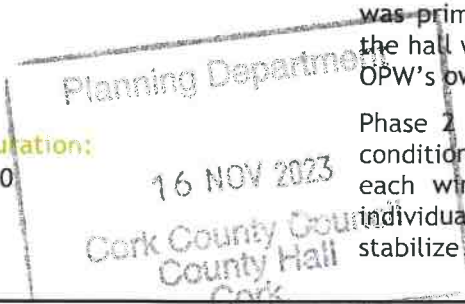
2002 - 2010

### Project Description:

The Castle of Cill Chais (Kilcash) is a ruined castle consisting of a fortified 16<sup>th</sup> century tower with adjoining hall wall added at a later date. It was the great house of one of the branches of the Butlers near Clonmel, Co. Tipperary and is best known for the song of Caoine Cill Chaise (a lament for Kilcash) which mourns the death of Margaret Bulter.

Kilcash Castle (Phase 1) involved the conservation of the Main Hall wall as well as the stabilisation works for the Castle itself. Phase 1 was primarily structural in the nature to stabilise the tower, though the hall wall is a fine example of conservation work carried out by the OPW's own in-house masons.

Phase 2 is completed. Many structural elements were in very poor condition requiring PUNCH in conjunction with the OPW, to access each window head, door head, stone arch, stone parapet to be individually analysed and a programme of repairs be undertaken to stabilize this important ruin.



# Boyle Abbey Restoration

## Co. Roscommon



### Client:

Office of Public Works

### Architect:

Office of Public Works

### Services Provided:

Civil, Structural & PSDP Services

### Value:

€4.0M

### Project Duration:

2006 - 2011

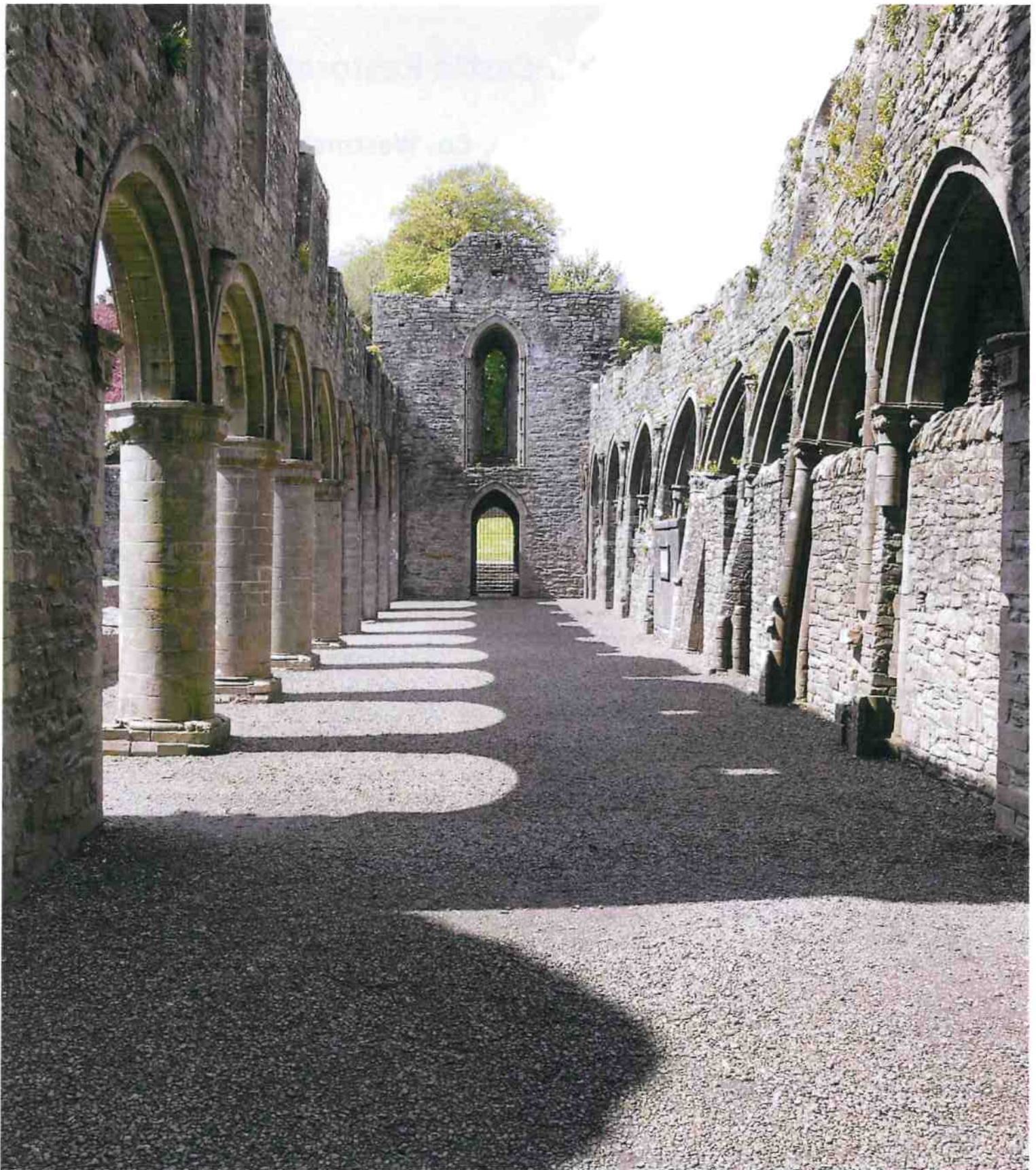
### Project Description:

A national monument in state care and open to the public Boyle Abbey is a Cistercian monastery that is undergoing a long term programme of conservation and restoration. The church dramatically represents a stylistic transition between Romanesque - the circular and rectangular piers and semi-circular arches of the south side of the nave - and the gothic - the varied piers and pointed arches of the north side of the nave it also displays fine inventive carving by local masons.

It was clear that one of the major structural problems of the church was the instability of the north arcade and wall of the nave. Site investigation showed that this part of the structure had been built on poorly consolidated ground and that remedial action above ground would not be sufficient in the long term. PUNCH Conservation proposed dismantling the wall, forming new foundations and rebuilding the wall. The success of this radical intervention relied on a close working relationship and trust between the engineers, conservation architects, archaeologists, conservation consultants, historians, masons and members of the Department of the Environment.

PUNCH provided full civil and structural design services for the entire development. Also provided specialist conservation engineering services and acted as PSDP and PSCS.





Boyle Abbey is a Cistercian monastery that underwent a long term programme of conservation and restoration. It is widely regarded as the finest of the Cistercian churches to survive in Ireland. The interpretive display highlights the evolution of the project, offering an interesting and educational insight to all visitors. A unique and totally comprehensive numbering system was developed to ensure accurate dismantling, storage and reconstruction of the north wall. Following the restoration of the side aisle structure, a timber and glass feature were added.

[www.punchconsulting.com](http://www.punchconsulting.com)

**Dublin** | Carnegie House,  
Library Road, Dun Laoghaire

☎ +353 1 271 2200  
● [dublin@punchconsulting.com](mailto:dublin@punchconsulting.com)

**Limerick** | 97 Henry Street

☎ +353 61 221 200  
● [limerick@punchconsulting.com](mailto:limerick@punchconsulting.com)

16 NOV 2023

Cork County Council  
County Hall

**Cork** | County Hall, Cross Street  
☎ +353 21 467 4001  
● [cork@punchconsulting.com](mailto:cork@punchconsulting.com)

**Galway** | Carleycon House, Main Street, Oranmore

☎ +353 91 388016  
● [galway@punchconsulting.com](mailto:galway@punchconsulting.com)

**PUNCH**  
conservation



# Killua Castle Restoration

## Clonmellon, Co. Westmeath



### Client:

Montpascal Properties Ltd

### Architect:

Healy & Partners Conservation

### Services Provided:

Civil, Structural & Conservation Engineering Services

### Value:

€3.0M

### Project Duration:

2001 - 2009

### Contractor:

Matthew Wall & Sons

### Project Description:

Killua Castle is a seven-bay Georgian house built in 1784 that had been extended progressively from 1814 to 1858 in a Gothic Revival style of castellations and towers. It had subsequently become a ruin. This project is a long-running full restoration of the house in which PUNCH Conservation have been called upon in a variety of circumstances and in close collaboration with the architects.

Because the condition of the ruin varied from place to place within the structure PUNCH Conservation devised in-situ solutions rather than an overall strategy. Thus some walls were judged to be strong enough to take the additional loads of concrete floors, other timber floors while others had to be dismantled and rebuilt.

Experience at Killua has shown PUNCH Conservation that engagement with the ruin of a building constructed over several generations of ownership has meant they were dealing with a variable problem in which they had to be alive to the effect of weathering on a structure and materials as well as the potential limitations of earlier technological solutions. Again, they found that success lay close collaboration with the architects and the contractors.

As a photogenic ruin, Killua Castle (c.1784) had become iconic. It has been restored so that it now has structural integrity and its future life ensured.



# Dargan Wing Roof Refurbishment

## National Gallery of Ireland



### Client:

The Commissioners of  
Public Works in Ireland

### Architect:

Heneghan Peng Architects

### Services Provided:

Civil, Structural &  
Conservation Engineering  
Services

### Value:

€2.1M

### Project Duration:

2010 - 2012

### Project Description:

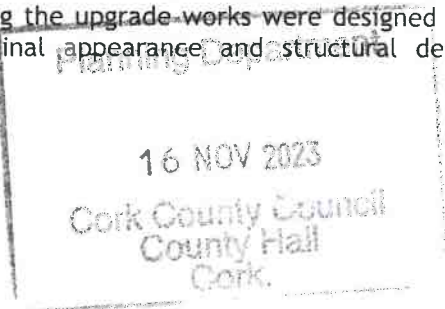
The project was the first phase of a much larger refurbishment project.

This first phase consisted of renovation to the Dargan wing roof, much of which dates back to the original construction.

The second phase involved the restoration and refurbishment of the historic buildings which house the collection of the National Gallery of Ireland at Merrion Square in Dublin 2.

To accommodate the first phase of works a temporary roof was required to be installed over the existing by the contractor. This allowed works to the existing roof to be carried out while protecting the historic fabric of the building from the weather elements.

The main structural works required the existing timber roof trusses to be assessed structurally to accommodate the upgrade to the roof. A new access walkway was also required to be incorporated within the timber trusses. These works required both a visual inspection along with testing to assess the structural adequacy of the roof to facilitate the new roof finishes, services and access walkways loads. Due to the historic nature of the building the upgrade works were designed and detailed to ensure the original appearance and structural design intent was not compromised.



# Rothe House Garden Project

## Co. Kilkenny



### Client:

Rothe House Trust Limited

### Architect:

Bluett & O'Donoghue Dublin

### Services Provided:

Civil, Structural &  
Conservation Engineering  
Services

### Value:

€0.2M

### Project Duration:

1994 - 2004

### Project Description:

Rothe House, a heritage site of international significance in Kilkenny in the South East of Ireland, is a unique example of an early 17<sup>th</sup> Century merchant's townhouse in Ireland.

The House and Garden are owned by the Kilkenny Archaeological Society, and managed by Rothe House Trust Limited. The House is open to the public as a museum, displaying some of the 2,500 artefacts collected by the Society since its founding in 1947. These artefacts all related to life in Kilkenny City and County throughout the ages and some date from pre-historic times.

The site comprised three separate dwelling houses built by John Rothe between 1594 and 1609 on a burgage plot on Parliament Street, Kilkenny. The restoration project completed in 2007, consisted of the construction of a new landscaped garden based on the layout of the 16<sup>th</sup> Century garden to the rear or the third house.

PUNCH's brief was to restore the structural stability of the enclosing walls including Kilkenny City wall while retaining the historic walls. A number of surviving upstanding walls of stone rubble construction were stabilised using lime mortar in accordance with best conservation practice. Sections of walls were in very poor condition and strengthening had to be handled sensitively. Underpinning was required in some areas. New masonry walls with lime mortar were constructed, new concrete retaining walls were incorporated as necessary and the garden was backfilled to follow the original slope of the garden.

In 2008 at the Tidy Towns Competition Awards Ceremony, the Rothe Family Garden won both the Regional and National Landscape Awards.



## Main Guard

### Clonmel, Co. Tipperary



**Client:**

Duchas

**Architect:**

Margaret Quinlan Architects

**Services Provided:**

Civil, Structural & Conservation Engineering Services

**Value:**

€2.0M

**Project Duration:**

1994 - 2004

**Awards**

Royal Institute of Architects of Ireland 2004 "Best Practice in a Conservation Project"

Southern Region over €300,000 Award

**Project Description:**

The historic Main Guard building in Clonmel was reopened in 2004 after almost 10 years of painstaking restoration. The building was built by the first Duke of Ormond, James Butler 1675. The Main Guard was a "Tholsel" i.e. an office where tolls, duties and customs dues were collected and also for civic gatherings. It was an assize court from 1716 until 1810.

The 328 year old building, with its clock tower; was in a very poor state of repair before it was closed in 1987. Its structure was damaged in 1810 when the front columns were removed, a basement excavated, its volumes subdivided and the site colonised by development. Investigation established that some of the 17th century form and fabric survived these works and also that some of structure incorporated stone from Cistercian ruins nearby.

PUNCH Conservation brief was to restore structural stability while retaining the original structure. Works involved reinstatement of structure, repair of masonry, works to the clock tower structure, structural works to the roof and reinsertion of the first floor. The interior walls are left unplastered to reveal the scars of the 1810 alterations.

New accommodation is clearly differentiated, using steel, timber, lime-rendered blockwork and glass, and is clad externally in sheet lead and timber. New areas to the rear are lit from above. The design of the stairs and stair hall within the footprint of the original building aims to restore coherence to a space diminished by the loss of quarter of its area.

The restoration of the arcade has resulted in the return of a significant urban space for the public to use.

# Kevin Mullery

Director

## Specialist Skills

Kevin Mullery, Director has over 25 years civil and structural engineering experience and has particular expertise in **conservation**, healthcare and education projects. Kevin's involvement in projects from start to finish in a Senior **Management** role is to ensure that the Client's programme, quality, and cost objectives are all delivered to the highest standard. Kevin is **responsible** for the delivery and **management** of project resources and for the overall direction of the **structural** scheme and has successfully delivered a wide range of **structural** solutions.

## Qualifications

- CEng Chartered Engineer with Engineers Ireland
- MIEI Member of Engineers Ireland, Membership No. 472114
- BE Bachelor of Engineering Design from UCC, 1995

## Experience PUNCH Consulting Engineers / Previous Experience

- 2007 Appointed Director - **PUNCH Consulting Engineers**
- 2005 Appointed Regional Director - **PUNCH Consulting Engineers**
- 1996 **PUNCH Consulting Engineers** - Design- Senior Engineer

## CONSERVATION PROJECTS

### The Four Courts Dublin (€4M|2016-2023)

The project includes a major renovation / replacement of **damaged** capital stones as well as repairs to the existing concrete dome, dealing with **temporary** weathering systems and safe access including new fall arrest. Repairs to **stonework** (granite **parapet**, Portland stone cornice & entablature etc), repairs to the existing steel angle, extensive scaffolding design and significant temporary works and temporary propping designs to safely facilitate the works.

### Dublin Castle Record Tower (€3M|2018-2023)

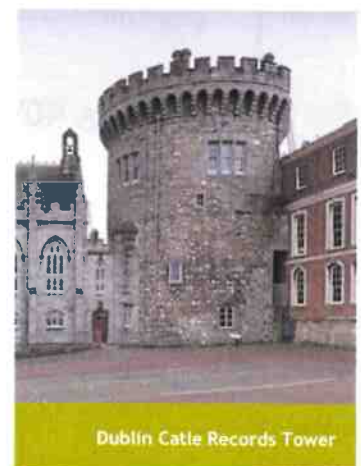
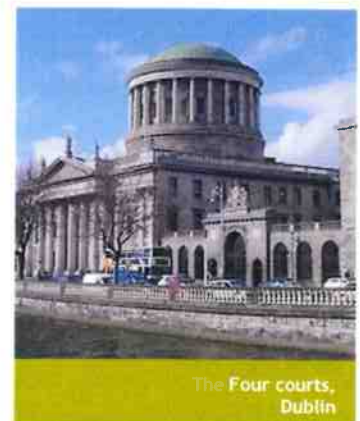
There are few places in Ireland more instantly recognisable or **important** than Dublin Castle. It was constructed in the late 13th century and has undergone numerous repair and maintenance regimes during its lifetime. This **period** of significant and highly visible repairs and alterations also includes a number of major structural elements: Assessment of structural timber floor joists & structural timber beams around rooflights, structural St Brigid's Cross timber roof beams; Augmentation of roof structure to carry hangers to support stone floor; **Augmentation** of existing steel support structure to the stone floors; essential repairs to cantilever stone stairs having **worked** on them in St Patrick's College Maynooth which has a multiple of these stairs.

### St Patrick's Cathedral, Dublin (€9M|2021)

The project will include restoration of the high-level roofs, refurbishment of clerestory windows, parapet capping & stone works, cleaning of turrets and pinnacles and at €9 million will be one of the largest conservation projects in the country.

### The Rock of Cashel (€2M|2019-2023)

PUNCH Consulting Engineers were commissioned by the Heritage Services, OPW National Monuments, to carry out a structural stabilisation works on the wall tops at the Rock of Cashel, a Protected Structure and National Monument, located to the north of Cashel. The project involves significant H&S and temporary works to maintain safe access in a live tourist environment.





## Kevin Mullery, Director

### Adare Manor (€5M|2018)

Founded by the second Earl of Dunraven in 1832, Adare Manor is set in an 840 acre parkland Estate and comprises the Manor House which is a listed protected structure, courtyard, formal gardens and an eighteen-hole championship golf course on the banks of the tranquil River Maigue.

### St Mel's Cathedral (€25M|2014)

The foundation stone for St Mel's Cathedral was laid in 1840, completed in c. 1890 and was consecrated in 1893. In the early hours of Christmas Day, 2009, fire broke out in the Sacristy of the Cathedral, destroying the interior and roof of the Cathedral, with some damage to the external facing stone. This is the largest conservation project in Ireland, arguably even in Europe at the time.

### Kilcash Castle (€1M|2014)

The Castle of Cill Chais is now a ruined castle consisting of a fortified 16th century tower with adjoining hall wall. Phase 1 involves the conservation of the Main Hall wall as well as stabilisation works for the Castle itself. An assessment of the existing structure was carried out in a detailed Condition Survey and assessment of original historic fabric. Phase 2 is primarily structural in nature to stabilise the Castle, and is a fine example of conservation work carried out by the OPW's own in-house masons.

### Limerick Georgian Opera Quarter (€1M|2014)

Limerick Georgian Opera Quarter site, locally known as the Opera Centre, contains 30 buildings, mostly predominantly intact Georgian terraces located on Rutland Street, Patrick Street and Ellen Street. The terraces are historically significant in that the buildings incorporate some early features and are some of the few eighteenth century buildings that survive in Limerick. Through years of neglect, the buildings are in poor structural condition and PUNCH have completed detailed assessments and reports as part of Phase 1, while Phase 2 involves the structural stabilisation works themselves.

### Roche House Kilkenny (€1M|2014)

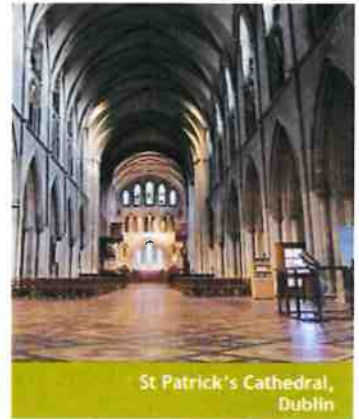
A medieval town house built around a series of courtyards with a walled garden at the rear, Roche House is an almost unique survival in Ireland and a National Monument. PUNCH Conservation's role was to manage the conservation of the walls surrounding the walled garden. This involved an assessment of the structural stability of the walls, the diagnosis of the necessary repairs and the production of a report that was the basis of ministerial consent. As in Boyle Abbey we were dealing with a historically sensitive structure of international importance in which the first priority was to retain all the original fabric.

### Roxtown Health Centre Limerick (€0.2M|2014)

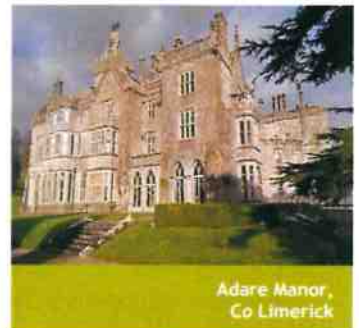
A detached 13-bay 3-storey former orphanage, built c.1890, now partly in use by the HSE, required structural works to stabilise the existing timber structure and withstand the spread of rot

### King John's Castle Limerick (€6M|2013)

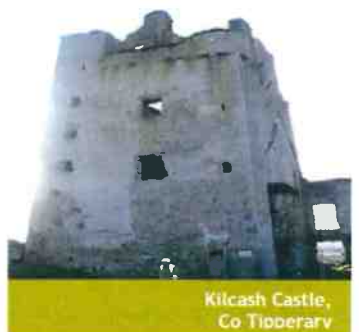
PUNCH have been involved in the King John's Castle project since the 1990s, which first consisted of the insertion of a visitor centre into the fabric of the 13th century castle. A wealth of buried artefacts and structures resulted in PUNCH designing a clear span two storey building over the intact archaeology i.e. a 100% reversible structural solution. More recently PUNCH have participated in a number of feasibility studies for Shannon Development as well as the recent upgrade & restoration works involving alterations to the Great Hall and visitor centre as well as significant refurbishment of the Castle Lane buildings. The project received a commendation at the recent IPI Awards.



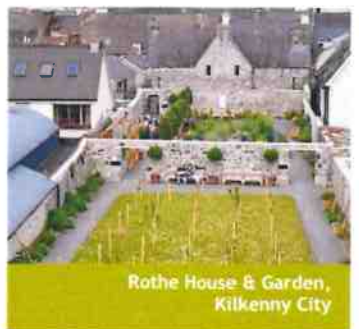
St Patrick's Cathedral, Dublin



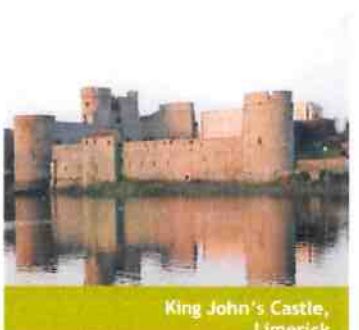
Adare Manor, Co Limerick



Kilcash Castle, Co Tipperary



Roche House & Garden, Kilkenny City



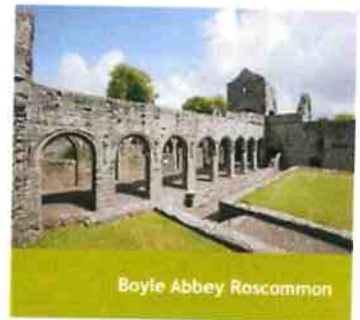
King John's Castle, Limerick

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## Kevin Mullery, Director

### Boyle Abbey Roscommon (€4M|2011)

Late 12th/early 13th Century National Monument in State care and open to the public. It is a Cistercian monastery that is undergoing a long term programme of conservation and restoration.



Boyle Abbey Roscommon

### Clifden House Corofin Co Clare (€2M|2010)

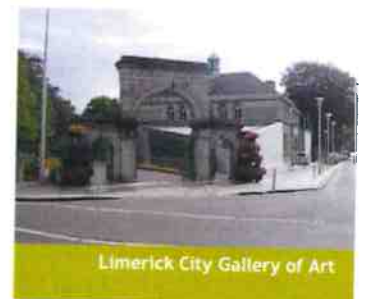
A fine example of an 18th century country home, Clifden House experienced structural defects consistent with any building of its age and type as well as a significant number of mid-20th century interventions that needed reversal. At a structural level these were most manifest in the roof where the original double 'A' format had been lost because of the addition of a flat roof at high level. Existing floor structures throughout the building needed extensive repairs.



Redemptorists Monastery,  
Limerick

### Limerick City Gallery of Art Pery Square (€2M|2009)

PUNCH completed major renovations in mid-1990's, and continue our involvement to this day. The 2006 significant project works comprising 80m<sup>2</sup> glazed sunroom (new café), workshop and art store.



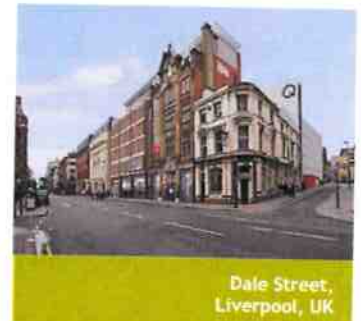
Limerick City Gallery of Art

### Redemptorist Monastery Limerick (€3M|2010)

The project involved significant refurbishment of the existing monastery, a protected structure, to provide more suitable and modern living accommodation for members of the Redemptorist Community. The project proceeded to detailed design stage.

### Dale Street Hotel Liverpool (€13M|2013)

While this project is a design & build project is an 8-storey development comprising Hotel, Tesco Retail, and Multi-storey car park in Liverpool, the existing façade is a protected structure, requiring significant temporary works to restrain the façade on a development occupying 100% of its footprint on a restricted city centre site.



Dale Street,  
Liverpool, UK

### Souterrain, Balynaborthagh, Carrignavar, Co Cork (€0.1M|2009)

A previously unrecorded souterrain was discovered on 13th June 2005 following a collapse of one of the capstones. The souterrain consists of two chambers and the roof in the main chamber is supported by four pillar stones, two of which bear ogham inscriptions. The site is of significant archaeological importance.



# Kevin Clancy

## Consultant

### Specialist Skills

Kevin was one of the three founding partners of **PUNCH Consulting Engineers** in 1973. Kevin has acquired a quality and depth of experience in a career spanning over 40 years which very few engineers could match. In that time he has contributed to the complete range of building typologies, from bespoke private houses to nuclear power stations.

Kevin is a member of the Advisory Committee on Sacred Art and Architecture to the Irish Episcopal Commission for Liturgy. He is also a member of the executive at the Limerick Centre of Accord, Ireland's leading nationwide agency supporting marriage and relationships. He is a social activist in Limerick, contributing pro bono services to many social, sporting and community groups.

### Qualifications

- Chartered Engineer, Engineers Ireland
- Bachelor of Engineering, University College Galway, 1972

### Conservation Projects

- **St Mel's Cathedral, Longford (€25.0M | 2014)**

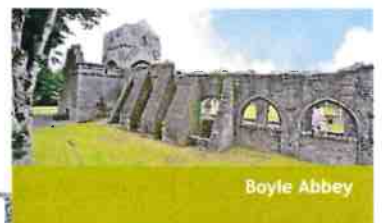
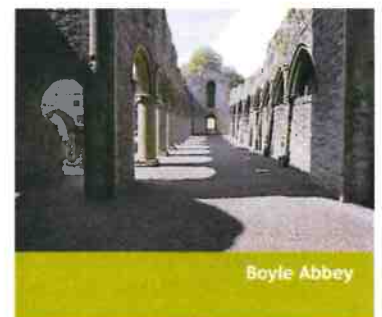
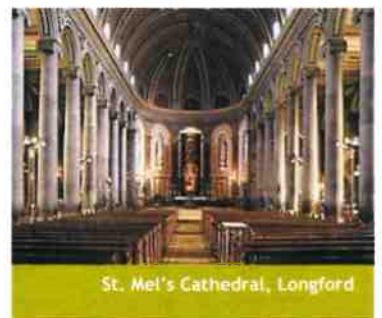
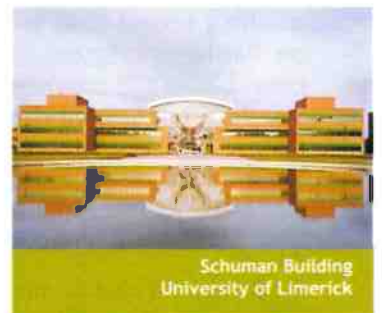
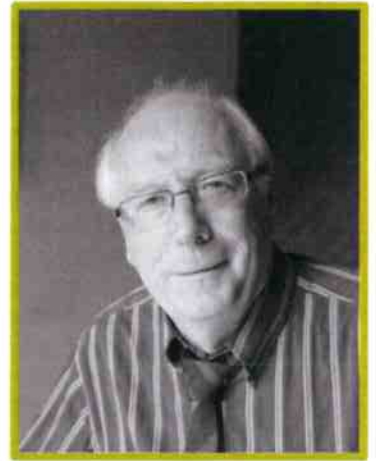
The foundation stone for St Mel's Cathedral was laid in 1840 and was completed in c.1890 and is hugely significant in Longford. Following the significant damage caused by the fire that took place on Christmas Day 2009, the restoration of the Cathedral was one of the largest conservation project in Ireland and arguably Europe.

- **King John's Castle (€6.5M | 1991-2011)**

During the project, archaeological investigation revealed early medieval structures of national importance within the footprint of the proposed interpretive centre. PUNCH thus provided a strong example of enabling engineering for this site; enabling the archaeology to remain relatively undisturbed and accessible to future visitors, and enabling the architects to proceed with the design of a streamlined building. King John's Castle Limerick is a 13<sup>th</sup> century castle which was converted into a modern interpretive centre. A contemporary-style interpretive centre was to replace a lost curtain wall that joined a 17<sup>th</sup>-century bastion to one of the medieval towers. Eight pad foundations were designed which allowed new structure to sail protectively and, if necessary, temporarily, over the archaeology of national importance, ensuring full reversibility of works. It was an unprecedented situation, presented at short notice and for a project of limited budget. But the solution provided by PUNCH made a minimal impact on the archaeology while enabling the erection of an elegant minimalist structure over the excavations.

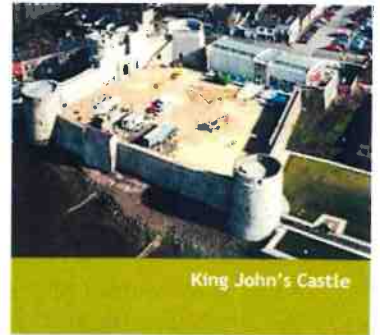
- **Kilcash Castle (€0.5M | 2014)**

The Castle of Cill Chais is now a ruined castle consisting of a fortified 16<sup>th</sup> century tower with adjoining hall wall. Phase 1 involves the conservation of the Main Hall wall as well as stabilisation works for the Castle itself. An assessment of the existing structure was carried out in a detailed Condition Survey and assessment of original historic fabric. Phase 2 is primarily structural in nature to stabilise the Castle, and is a fine example of conservation work carried out by the OPW's own in-house masons.



- **Boyle Abbey Restoration Phase 1 (€4.0M | 2011)**

Late 12<sup>th</sup> / early 13<sup>th</sup> century national monument in state care and open to the public. Boyle Abbey is a Cistercian monastery that is undergoing a long term programme of conservation and restoration. One of the major structural problems of the church was the instability of the north arcade and wall of the nave. Site investigation showed that this part of the structure had been built on poorly consolidated ground. Conservation proposed dismantling the wall, forming new foundations and rebuilding the wall. The success of this radical intervention relied on a close working relationship and trust between the engineers, conservation architects, archaeologists, conservation consultants, historians, masons and the Department of the Environment.



- **Rothe House, Kilkenny (€3.2M | 1994-2007)**

Rothe House and Garden are owned by the Kilkenny Archaeological Society, and managed by Rothe House Trust Limited. The site comprises three separate dwelling houses built by John Rothe between 1594 and 1609 on a burgage plot on Parliament Street, Kilkenny. The restoration project completed in 2007, consisted of the construction of a new landscaped garden based on the layout of the 16th Century garden to the rear of the third house. PUNCH's brief was to restore the structural stability of the enclosing walls including Kilkenny City wall while retaining the historic walls. A number of surviving upstanding walls of stone rubble construction were stabilised using lime mortar in accordance with best conservation practice. Underpinning was required in some areas.



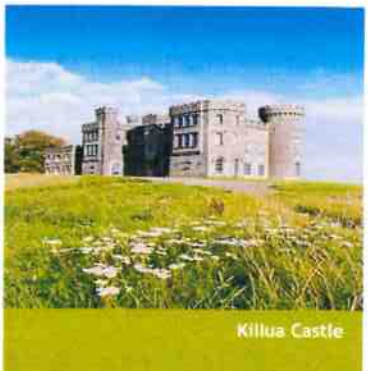
- **Athenry Towers and Town Wall (€0.45M | 2009)**

The North West Tower of Athenry Town Walls was a defensive feature constructed in the fourteenth century. It underwent a process of repair, consolidation and presentation to preserve the surviving historic fabric appropriate to a scheduled national monument. Its 'tear drop' slope or plan is quite unusual. The tower was successfully conserved in 2009. The conservation strategy addressed the removal of all threats to the structure, the consolidation of the surviving historic fabric and the restoration / replacement of some key structural elements of missing fabric.



- **Killua Castle, Clonmellon, Co. Westmeath (€3.0M | 2001-2009)**

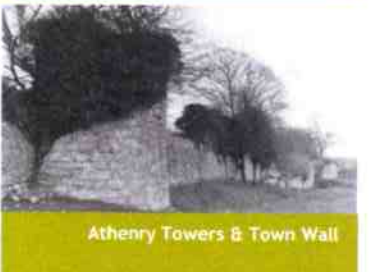
Killua Castle is a seven-bay Georgian house built in 1784 that had been extended progressively from 1814 to 1858 in a Gothic Revival style of castellations and towers. It had subsequently become a ruin until works commenced to restore this castle to its original form. There was, on site, a heightened awareness of the risks involved and thus a greater than normal burden of responsibility. This was an example of engineering by PUNCH Conservation that enabled the architects and contractors to proceed safely with a restoration that could have been diagnosed as impossibly dangerous. An early problem was the request by the architects to retain the original fabric of the extremely fragile and dangerous three-storey Georgian entrance bay without dismantling it. The conventional solution of erecting scaffolding on both sides of the wall was ruled out because of the equally dangerous condition of the brick vaults inside the building. PUNCH Conservation designed a steel frame that was erected on the outside of the wall. It supported, through the window openings, cantilevered platforms for access to the inside and was robust enough to protect men who were working on the piecemeal repairs.



- **Mercy International Centre, Dublin (€3.5M | 1994)**

- **Clifden House, Corofin, Co Clare (€2.0M | 2010)**

A fine example of an 18<sup>th</sup> century country home, Clifden House experienced structural defects consistent with any building of its age and type as well as a significant number of mid-20<sup>th</sup> century interventions that needed reversal.





# Ger Neville

Technical Director | Fellow of Engineers Ireland

## Specialist Skills

Ger Neville, Technical Director, has almost 40 years' experience working on a wide range of projects varying in size and complexity. Ger specialises in the sensitive repair and restoration of Protected Structures. PUNCH Conservation has relied heavily on Ger's expertise, in particular in St Patricks College Maynooth campus, where he has been involved in every PUNCH project since the late 1970s. St Patrick's College Maynooth consider Ger to be their foremost authority on their buildings, treating their Protected Structures with respect and consideration.

Significantly, this vast Conservation experience marked Ger as the ideal project lead of St Mel's Cathedral, arguably the largest conservation project in Ireland at the moment, which is currently on site. Ger's wealth of experience and 'hands-on' approach are of particular value to projects of this nature.

Ger was recently made a Fellow of Engineers Ireland, an achievement which marks his nearly 40 years of experience and expertise in Conservation.

## Qualifications

- Fellow of Engineers Ireland, 2015
- National Certificate in Construction Studies, Limerick Institute of Technology, 1978

## Experience PUNCH Consulting Engineers/Previous Experience

2007	Appointed Technical Director, <b>PUNCH Consulting Engineers</b>
2001	Appointed Associate Director, <b>PUNCH Consulting Engineers</b>
1978	Joined <b>PUNCH Consulting Engineers</b> as a Project Technician

## Health & Safety

- Health & Safety Seminar - Design Assumptions, Buildability & Safety (May 2009)
- Risk Assessment and Compliance with CDM 2007 (January 2008)
- Health & Safety Training (March 2007)

## Previous Project Experience

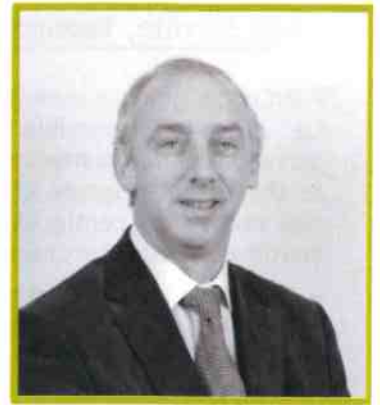
### Conservation Projects

- **St Mel's Cathedral, Longford (€25.0M | 2014)**

The foundation stone for St Mel's Cathedral was laid in 1840 and was completed in c.1890 and is hugely significant in Longford. Following the significant damage caused by the fire that took place on Christmas Day 2009, the restoration of the Cathedral was one of the largest conservation project in Ireland and arguably Europe.

- **King John's Castle (€5.7M | 2013)**

PUNCH have been involved in the King John's Castle project since the 1990s, which first consisted of the insertion of a visitor centre into the fabric of the 13th century castle. A wealth of buried artefacts and structures resulted in



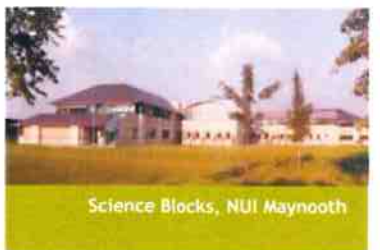
St. Mel's Cathedral, Co. Longford



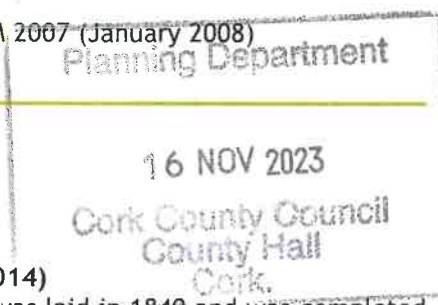
Main Guard, Clonmel, Co. Tipperary



St. Mary's Church  
Carrick-on-Shannon, Co. Leitrim



Science Blocks, NUI Maynooth



PUNCH designing a clear span two storey building over the intact archaeology i.e. a 100% reversible structural solution. More recently PUNCH have participated in a number of feasibility studies for Shannon Development as well as the recent upgrade & restoration works involving alterations to the Great Hall and visitor centre as well as significant refurbishment of the Castle Lane buildings. The project received a commendation at the recent IPI Awards.

- **Roxtown Health Centre, Limerick (€0.2M | 2014)**

A detached 13-bay 3-storey former orphanage, built c.1890, now partly in use by the HSE, required structural works to stabilise the existing timber structure and withstand the spread of rot.

- **St Patrick's College Maynooth (€20.0M | 1979-2014)**

The buildings in St Mary's Square at Maynooth Seminary were designed before 1847 by A.W. Pugin in the Gothic Revival style. Ger have been involved in the conservation of St Patrick's College for the last 35 years which include St Patrick's House, Pugin Hall, Long Corridor, St Mary's House and Rhetoric House. Ger's history mirrors PUNCH's history and highlights our long association with the College as we have been involved in every building on the South Campus.

- **St. Mary's Oratory, Maynooth (€1.0M | 2011)**

Refurbishment of the church, new build areas, and structural conservation works to the Bell Tower.

- **St. Patrick's Church, Maynooth (€4.5M | 2006-2007)**

Restoration of the old church which was inadequately designed in the 1840's. All floors in the building sagged and the structural solution retained all the original timber truss members without any individual strengthening - a post tensioned steel bar frame was integrated with the existing timber truss and dealt very effectively with the deficiencies of the original design.

- **St. Mary's Church, Carrick-on-Shannon (€1.7M | 2010)**

Part of the design team for the extensive refurbishment of the church.

- **Main Guard, Clonmel, Co Tipperary (€1.5M | 2004)**

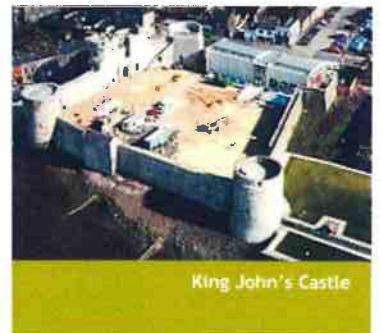
The Main Guard was built by Mr James Butler, Duke of Ormonde, in the year 1675 as the Courthouse for County Tipperary. The building was also used as a toll house. It has an open arcade to the front with sandstone columns and five semi-circular arches to the main elevation. The old façade structure was for many years supported with a steel frame and shores to keep the old building standing until the finance was in place to start the restoration. The structural elements were overhauled including the first floor, roof and tower. It was restored in 2004 and is now a National Monument.

- **West Gate, Clonmel, Co. Tipperary (€1.0M | 2008)**

- **Castlebar Courthouse, Co. Mayo (€12.0M | 2003)**

- **Maynooth College, Pugin Building (€2.0M | 2002)**

- **Portlaoise Courthouse, Co. Laois (€6.0M | 2002)**





# Aidan O'Connell

## Senior Engineer

### Specialist Skills

Aidan has successfully completed his degree in 2001 and joined PUNCH Consulting Engineers as a Graduate Engineer. Aidan has a keen interest in building conservation and completed a Postgrad Diploma in Applied Building Repair & Conservation in Trinity College in 2011.

Aidan is currently Project Engineer on the €36m extension and refurbishment of St. Patrick's College in Drumcondra, the refurbishment/conservation of the famous Tea Rooms in People's Park in Dun Laoghaire, Co. Dublin and is also the Project Engineer for Structures on the Refurbishment of the Historic National Gallery Building.

### Qualifications

- Postgrad Diploma in Applied Building Repair & Conversation, Trinity College, 2011
- Chartered Member of the Institution of Structural Engineers, 2009
- Chartered Member of the Institution of Engineers of Ireland, 2007
- BEng Civil Engineering, University of College, Dublin 2001
- Diploma Civil Engineering, Institute of Technology Tralee, 1998

### Experience PUNCH Consulting Engineers

2010	Promoted to Senior Engineer, PUNCH Consulting Engineers
2006	Promoted to Project Engineer, PUNCH Consulting Engineers
2004	Promoted to Design Engineer, PUNCH Consulting Engineers
2001	PUNCH Consulting Engineers, Graduate Engineer

### Health & Safety

- Designing for Safety in Construction, 2012
- Risk Assessment, 2012
- Health & Safety Seminar Design Assumptions/Buildability & Safety, 2009
- Health & Safety - Toolbox Talk, 2007
- Disability Awareness, 2007
- Risk Assessment, 200
- Safe Pass, 2005

### Previous Project Experience

#### Restoration/Refurbishment Projects

- **National Gallery Refurbishment (€72.0M|Ongoing)**

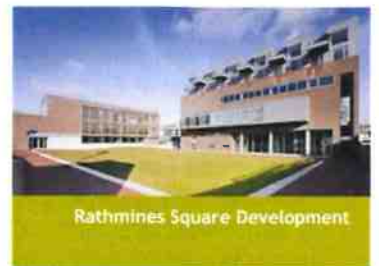
The new wing of the gallery will provide additional gallery space in addition to a state of the art learning facility, a 4-storey feature stone stairs and feature glass walkway. The provision of a new lighting strategy throughout the structure will be enhanced.

- **Peoples Park, Dun Laoghaire, Dublin (€1.5M|Ongoing)**

The proposed refurbishment and extension to the Park Lodge and Pavilion at People's Park Dun Laoghaire Co. Dublin. The current Pavilion structure is to be



Block 8 Beacon South Quarter



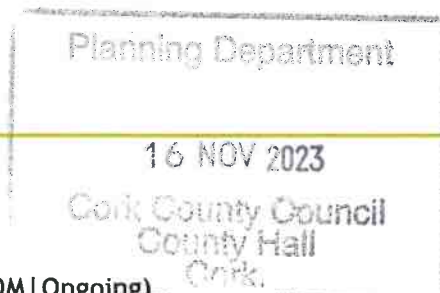
Rathmines Square Development



Gorey Civic Mixed Use Development



9/1 Grafton Street Conservation



extended to include a raised terrace. The Gate Lodge is to be extended to provide greater office space on the ground floor with a provision for an apartment on the upper floor.

- **St. Patrick College Drumcondra (€36.0M | 2009-Ongoing)**

Upgrade and redevelopment of this teacher training college, 12,867m<sup>2</sup> of new accommodation, 7,000m<sup>2</sup> of refurbishment and 9,000m<sup>2</sup> of redecoration. New accommodation will consist of lecture theatres, laboratories, classrooms and workshops. 3 to 4 storey high buildings.

- **9/11 Grafton Street Conservation (€350K | 2013)**

Structural integrity reinstatement of the historic fabric of this building.

### Commercial Projects

- **Cork Marina Park (€750.0M | Ongoing)**
- **Tesco Naas Store & Retail Units (€25.0M | 2011)**
- **Gorey Civic Mixed Use Development (€22.0M | 2009)**
- **Beacon South Quarter Mixed Development (€450.0M | 2008)**

### Education Projects

- **D&B Rapid Build Schools (€7.0M | Ongoing)**

Position on Project: Project Engineer (Structures)

This project consists of two new schools at Ballincollig (16 classroom school, 4167m<sup>2</sup>) and Clonakilty (12 classroom school, 2,582m<sup>2</sup>) in Cork and an extension/refurbishment to the existing school at Rochestown (8 classrooms, 1457m<sup>2</sup>) also in Cork.

- **St. Patrick's College - Extension & Refurbishment (€36.0M | Ongoing)**

Position on Project: Project Engineer (Structures)

Upgrade and redevelopment of this teacher training college, 12,867m<sup>2</sup> of new accommodation, 7,000m<sup>2</sup> of refurbishment and 9,000m<sup>2</sup> of redecoration. New accommodation will consist of lecture theatres, laboratories, classrooms and workshops. 3 to 4 storey high buildings.

- **NUI Maynooth, Library Building (€20.0M | 2012)**

Position on Project: Project Engineer (Structures)

The extension to the NUI Maynooth existing 4,000m<sup>2</sup> Library resulted in a 10,000m<sup>2</sup> state of the art facility in tune with the university's commitment to high quality research, learning and technology.

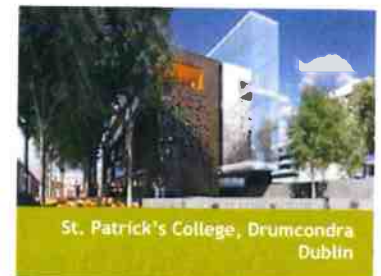
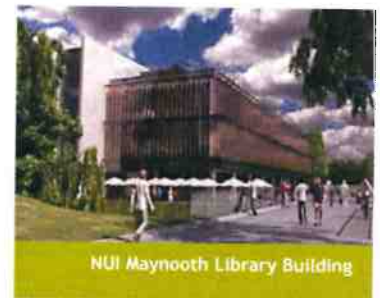
- **UL Thomond Student Village (€28.0M | 2004)**

Position on Project: Design Engineer

This project consisted of 3 residential blocks 3 - 5 storey, comprising 106 apartments and a total of 503 bed spaces, Manager's residence and facilities building. It is located across the River Shannon on the north campus with access via a new bridge. The 4.7 hectare site that Thomond Village is located on had to be raised 2 m above ground level as the site was occasionally flooded. Parking for 96 cars and 6 coaches is provided.

### Government Projects

- **Mayo County Council Westport Fire Station (€2.5M | 2006)**
- **Achill Fire Station & Irish Coast Guard Facility (€1.0M | 2005)**
- **Offaly County Council Fire Station Edenberry (€1.5M | 2004)**
- **Kildare County Council New Civic Offices (€38.0M | 2004)**





# David Clarke

## Technical Director

### Specialist Skills

David is a Chartered Engineer with almost 20 years' experience in consulting engineering. Since graduating from Trinity College Dublin, he has gained strong exposure to civil/structural design and construction of residential, commercial, industrial, refurbishment and temporary works projects.

In the area of conservation, David has extensive experience. He has recently completed working on the €72.0M upgrade of the National Gallery of Ireland. He has also worked on the restoration of Killeen Castle among other projects.



### Qualifications

- Chartered Engineer with Engineers Ireland, 2006
- MStructE Chartered Engineer, 2006
- Masters of Science (Engineering) Trinity College Dublin, 2001
- Bachelor of Arts Trinity College Dublin, 1998
- Bachelor of Arts in Engineering, Trinity College Dublin, 1998

### Experience PUNCH Consulting Engineers/Previous Experience

2015	Promoted to Technical Director
2011	Promoted to Senior Engineer
2010	<b>PUNCH Consulting Engineers</b> , Project Engineer
2004	Promoted to Project Engineer
2002	Barrett Mahoney Consulting Engineers, Design Engineer
2001	ARUP Engineering, Graduate Design Engineer



National Gallery Ireland

### Previous Project Experience

#### • National Gallery of Ireland (€72.0M | 2005-2017)

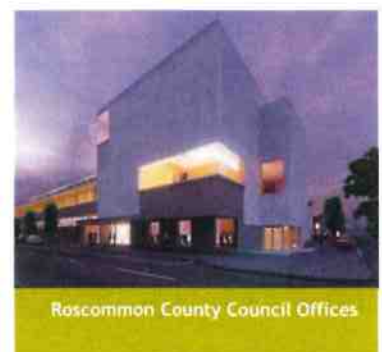
The first phase consisted of the renovation of the Dargan wing roof, much of which dates back to the original construction. This was completed in 2012. The second phase of the project is the Historic Wings Refurbishment. This included full renovation of the oldest section of the Gallery, replacement of the roof over Milltown Wing, renovation and reinstatement of the roof over the Main Entrance, provision of the new Atrium space and roof between Dargan & Milltown Wings, and a new Energy Centre and landscaping in the Forecourt. The final phase of the project will involve the construction of a new building in an existing courtyard comprising c. 8,000m<sup>2</sup> as well as works to the existing Beit Wing, and ancillary works.

#### • National Rehab Hospital Ward Upgrade (€2.2M | 2012)

430m<sup>2</sup> new build and 1100m<sup>2</sup> refurbishment works to the existing National Rehabilitation Hospital. Refurbishment included part demolition of load bearing elements which required introducing new transfer structure elements. All construction was undertaken in sequence to allow the ongoing critical activities of the hospital to remain intact minimising any temporary disruption to staff, wards and clinics.



National Rehabilitation Hospital  
Ward Extension



Roscommon County Council Offices



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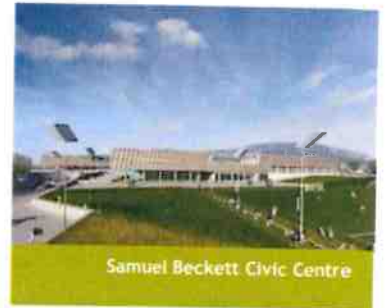
Planning Department

16 NOV 2023

Cork County Council  
County Hall

- **Killeen Castle Restoration, Co. Meath (€50.0M | 2011)**

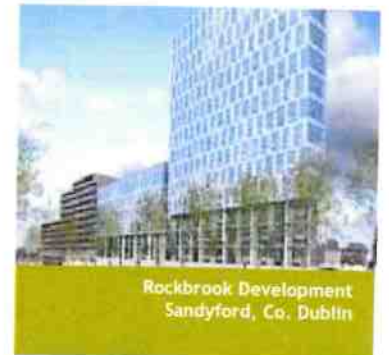
Killeen Castle in Dunsany, Co. Meath is part of an extensive five star golf resort development. A Grade 1 protected structure, the castle itself originally dates from the 15th century and incorporates a Norman Keep. The project involved the conservation and restoration of the castle, from research to full surveys of existing structure. The degradation of the castle was due to fire damage in 1981. The plasterwork in the entrance hall and the dining room survived, but everything else internally was ruined.



Samuel Beckett Civic Centre

- **Roscommon County Council Offices (€14.0M | 2014-2016)**

Provision of 7,000m<sup>2</sup> approx of new office space for Roscommon County Council in a stand-alone 3-storey building located beside the old Courthouse in Roscommon Town. The project, which is located in an area of archaeological significance (the site of the old Gaol), included the construction of a new Council Chamber and office accommodation to BREEAM Excellent standards, the demolition of existing accommodation, and the provision of a new car park close to the town centre. *Best Public Building & Best Sustainable Building RIAI Awards 2016.*



Rockbrook Development  
Sandyford, Co. Dublin

- **Department of Finance, Dublin (€25.0M | 2008)**

6 storey over basement development on Merrion Row, in Dublin 2. The main building consists of fair-faced reinforced concrete structure with stone cladding. The project involved restoration of the protected Billets as well as a link tunnel between the new building and Government Buildings.

- **Education Hub Building Maynooth, Co. Kildare (€8.0M | 2010-2016)**

This new build office project provides for 4,365m<sup>2</sup> of staff accommodation and teaching facilities, which brings together four NUIM education departments. The development consists of three and four storey blocks, joined by a glass atrium, with landscaping and additional car parking provided. It is located on the south campus, close to the pedestrian crossing to the north campus across the Kilcock Road, and adjacent to the main pedestrian avenue through the campus.



Block F Extension  
DCU Drumcondra

- **St. Patrick's College, Drumcondra, Dublin (€36.0M | Ongoing)**

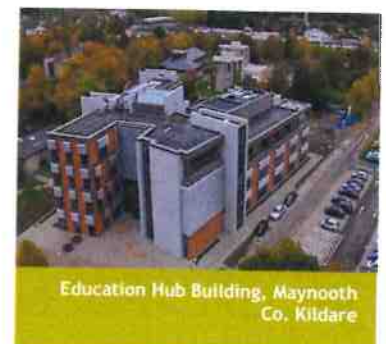
Upgrade and redevelopment of this teacher training college, 12,867m<sup>2</sup> of new accommodation, 7,000m<sup>2</sup> of refurbishment and 9,000m<sup>2</sup> of redecoration. New accommodation will consist of lecture theatres, laboratories, classrooms and workshops. 3 to 4 storey high buildings.

- **Samuel Beckett Civic Centre (€8.0M | 2007-2016)**

The first phase of this project includes a 2,700m<sup>2</sup> Crèche/Library, a Car Park, Synthetic Pitches, Grass Pitches, and a Plaza, as well as roads and drainage works including an attenuation pond. This phase was completed in 2016. The second phase will include a 5,800m<sup>2</sup> Sports Hall with a swimming pool, and a skate park. The project is being carried out on behalf of DLRCC.

- **Rockbrook Development, Sandyford, Dublin (€200.0M | 2010)**

The Rockbrook site in Sandyford, Co. Dublin has a total site area of 5.4ha, with the development consisting of 3 levels of basement and buildings of up to 13 storeys above ground floor level. The development was constructed using an off-site fabrication modular system which enabled superior finishes to be achieved as well a reduced overall construction programme. The drainage was designed to control the runoff from the hard surface areas within the site by use of attenuation tanks. The concrete within these attenuations tanks, as well as the basement perimeter structural elements were designed to against the ingress of external water. Due to the depths of basement levels required within this project, the buoyancy of the overall structure was calculated, with rock anchors being installed where required.



Education Hub Building, Maynooth  
Co. Kildare



Planning Department  
16 NOV 2023  
Cork County Council  
County Hall  
Cork.



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COLOUR DRAWING



Rev	Amendment	By	Date



Client:

**PUNCH**  
consulting engineers  
Dublin | Limerick | Cork | Galway | Glasgow  
97 Henry Street, Limerick, V94 YC2H  
t +353 61 221 200 | w punchconsulting.com

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Project: 1 HARBOUR VIEW SOUTH, LIGHTHOUSE ROAD, YOUGHAL					
Title: SITE LOCATION MAP					
Drawn: PJ Mulcahy	Date drawn: 2023-11-13	Technician Check: PJ Mulcahy	Engineer Check: John Bailey	Approved: Ger Neville	
Project No: 231240	Model Ref: 231240-PUNCH-XX-XX-M2-C-0950-0951		Drawing Status: S2 (Information)		
Scale @ A3: 1:2500	Document No: 231240-PUNCH-XX-XX-DR-C-0950			Revision No: P01	

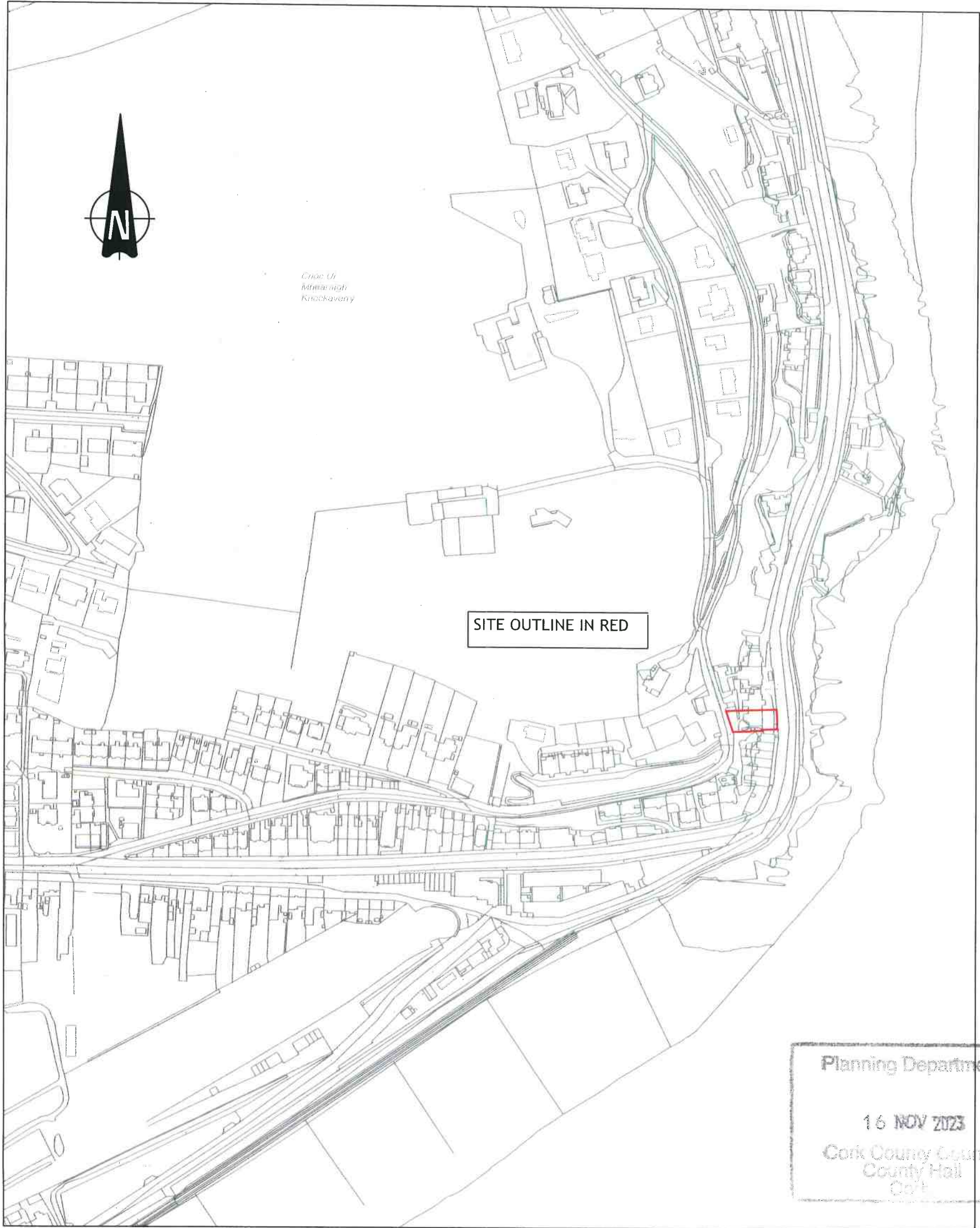


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consulting engineers  
Dublin | Limerick | Cork | Gatway | Glasgow  
97 Henry Street, Limerick, V94 YC2H  
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