

# Residential Development Clonakilty, Co. Cork

Part 8 Planning Application

prepared by:

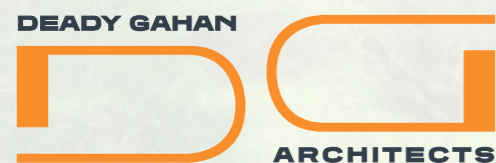
**Deady Gahan Architects**

on behalf of:



Comhairle Contae Chorcaí  
Cork County Council

DGA Ref.: 22040



Location: **Clonakilty, Co. Cork**

Prepared for Cork County Council by Deady Gahan Architects



## CONTENTS:

### 00 INTRODUCTION

PROPOSED DEVELOPMENT

### 01 SITE CONTEXT

EXISTING SITE IMAGES

CONNECTIVITY & EXISTING/PROPOSED INFRASTRUCTURE

EXISTING SITE FEATURES

SITE ZONING

### 02 DESIGN STRATEGY

PROPOSED CONCEPT

DENSITY ANALYSIS

STREET HIERARCHY

LANDSCAPE PROPOSAL

### 03 PROPOSED DESIGN

SITE LAYOUT & SCHEDULE

EASTERN BOUNDARY SECTION

ADAPTABILITY

MATERIALITY

UNIT TYPE EXAMPLES

PROPOSED LAYOUT

# 00 INTRODUCTION PROPOSED DEVELOPMENT

This document has been prepared by Deady Gahan Architects on behalf of Cork County Council in support of a proposed residential development in Clonakilty, Co Cork.

The design of the proposed scheme has been directly informed by the relevant planning policy documents at national and local levels. The proposed development has been designed to provide high quality residential units that will contribute positively to Clonakilty and deliver much needed housing in the county. The proposed site layout focuses on the creation of distinctive streetscapes with

different widths and parking formations that help generate a highly efficient scheme and assists our vision of placemaking.

To ensure the visual integration of the proposed development into the existing context, the scheme seeks to work with the challenging topography of the site to create a scheme which has been carefully considered. The layout has been organised in order to create a high density urban edge to the entrance of the site to the south with different scales and feature units dotted throughout the site.

We consider the proposed scheme provides for a wide range of housing types in Clonakilty and will contribute to the town's sustainable growth into the near future. A Design Team with extensive experience in residential schemes have been appointed. These including Deady Gahan Architects, McCutcheon Halley Planning Consultants, Forestbird Design (Landscape Architects) and Walsh Design Group (Engineering Consultants) to ensure a high quality design and a robust and comprehensive planning application submission is made.



# 01 SITE CONTEXT

## EXISTING SITE IMAGES



# 01 SITE CONTEXT

## CONNECTIVITY & EXISTING/PROPOSED INFRASTRUCTURE

The subject lands offer a unique opportunity to provide a quality residential development within the locality. Attractive existing and proposed connectivity around the scheme provides desirable connections to the amenities of the town of Clonakilty.

The land is a greenfield site which slopes upward from south to north. The site is bounded by exiting residential development to the west and north with the existing Gaelscoil Mhichín Uí Choileáin to the east.

The site is in walking distance of a host of amenities offered by Clonakilty town such as schools, shops with a thriving town centre and active community groups and clubs.



# 01 SITE CONTEXT

## EXISTING SITE FEATURES

### Key site features:

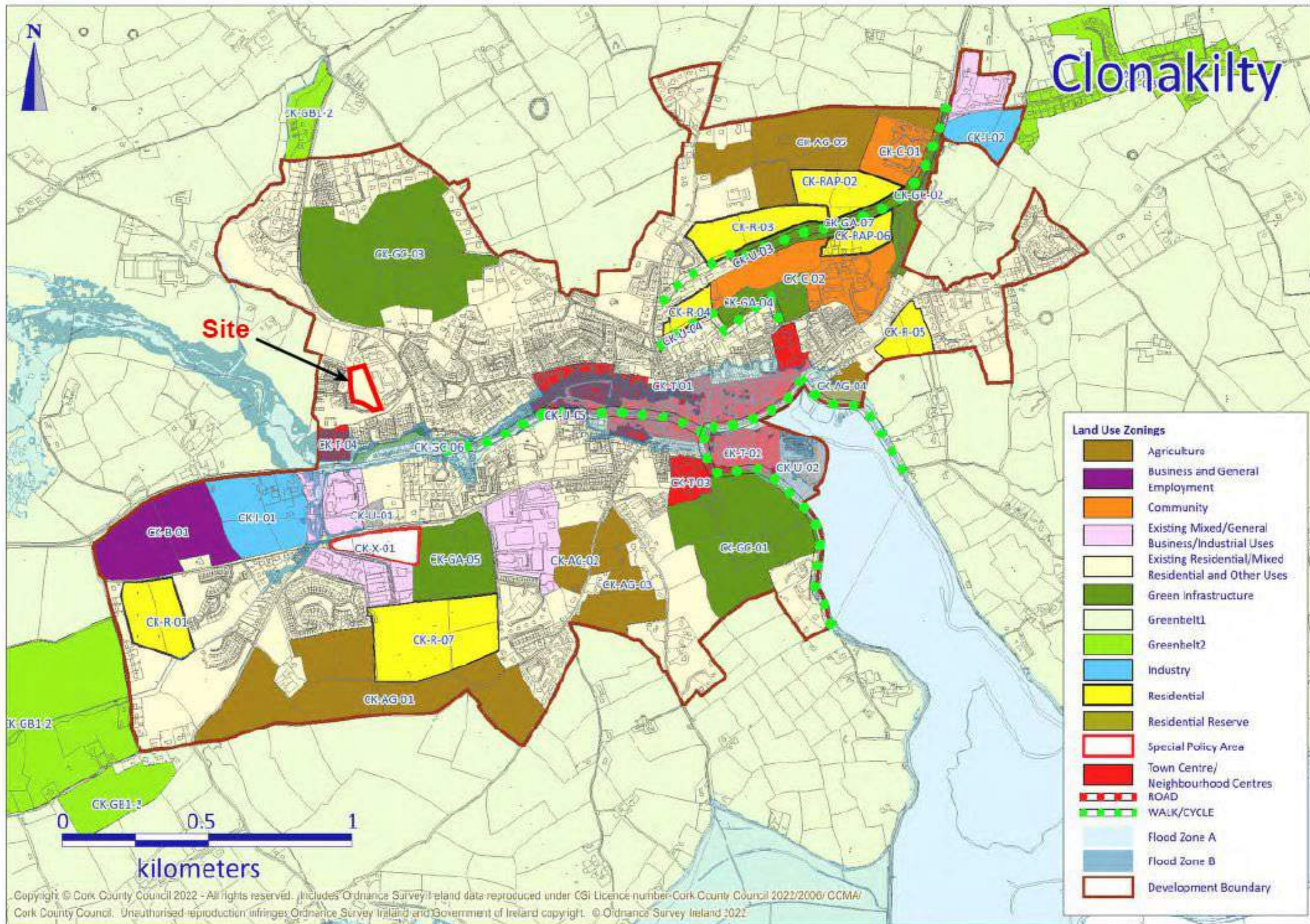
- Existing trees to be retained along western boundary.
- Existing tree-lined bank to be retained along southern boundary.
- Existing school to east.
- Existing residential development to west.
- Sloped topography to south of site.



Residential Development,  
Clonakilty,  
Co.Cork

# 01 SITE CONTEXT

## SITE ZONING

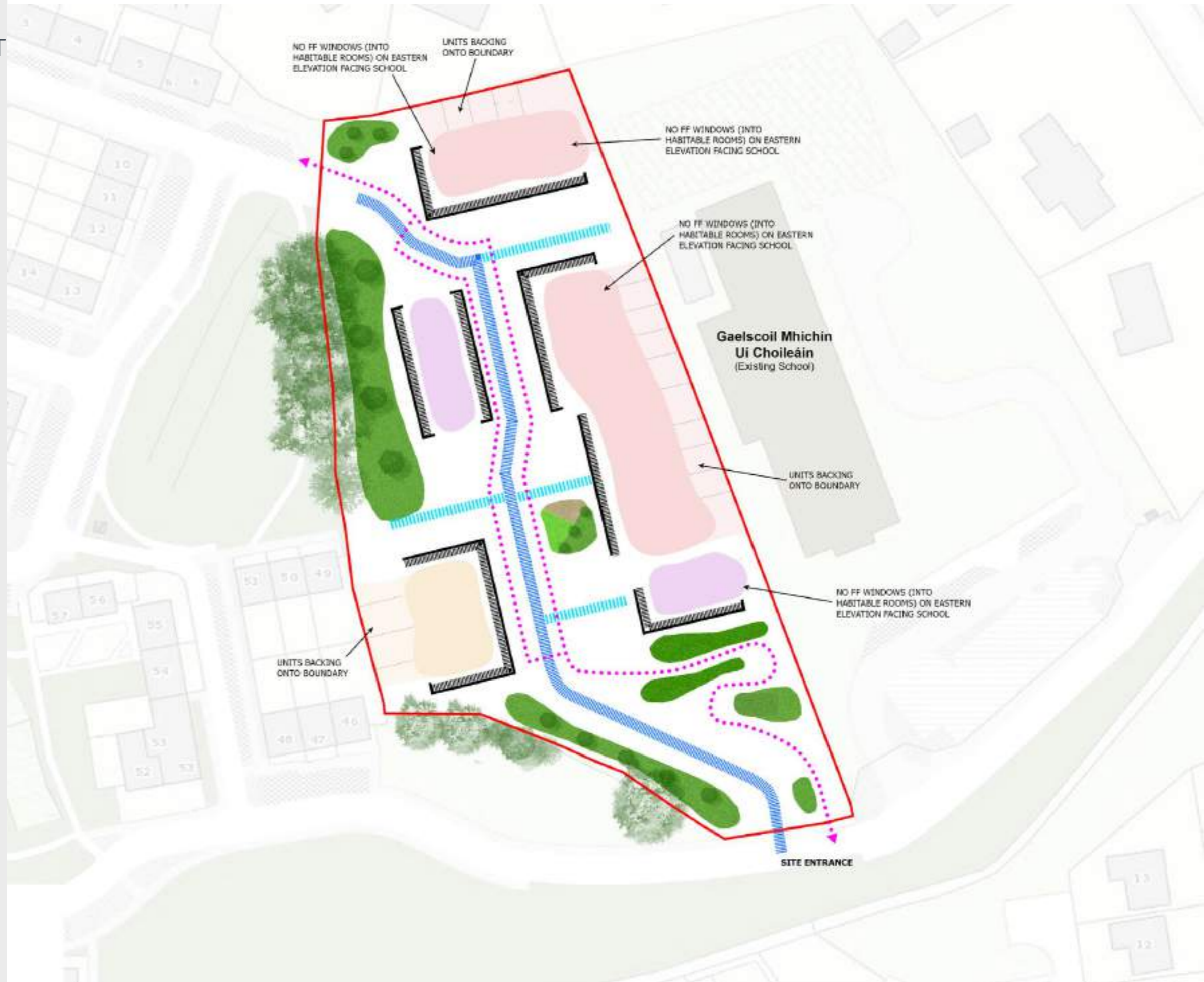
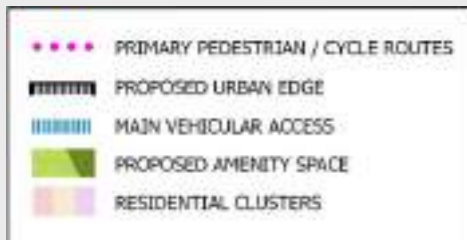




# 02 DESIGN STRATEGY PROPOSED CONCEPT

## Concept based on the following principles:

- Strategically located open space to integrate with adjoining development to west.
- Urban edge provided at entrance of proposed development.
- Built edge fronting onto proposed street through site.
- Priority pedestrian permeability through site.
- Retention of existing trees.




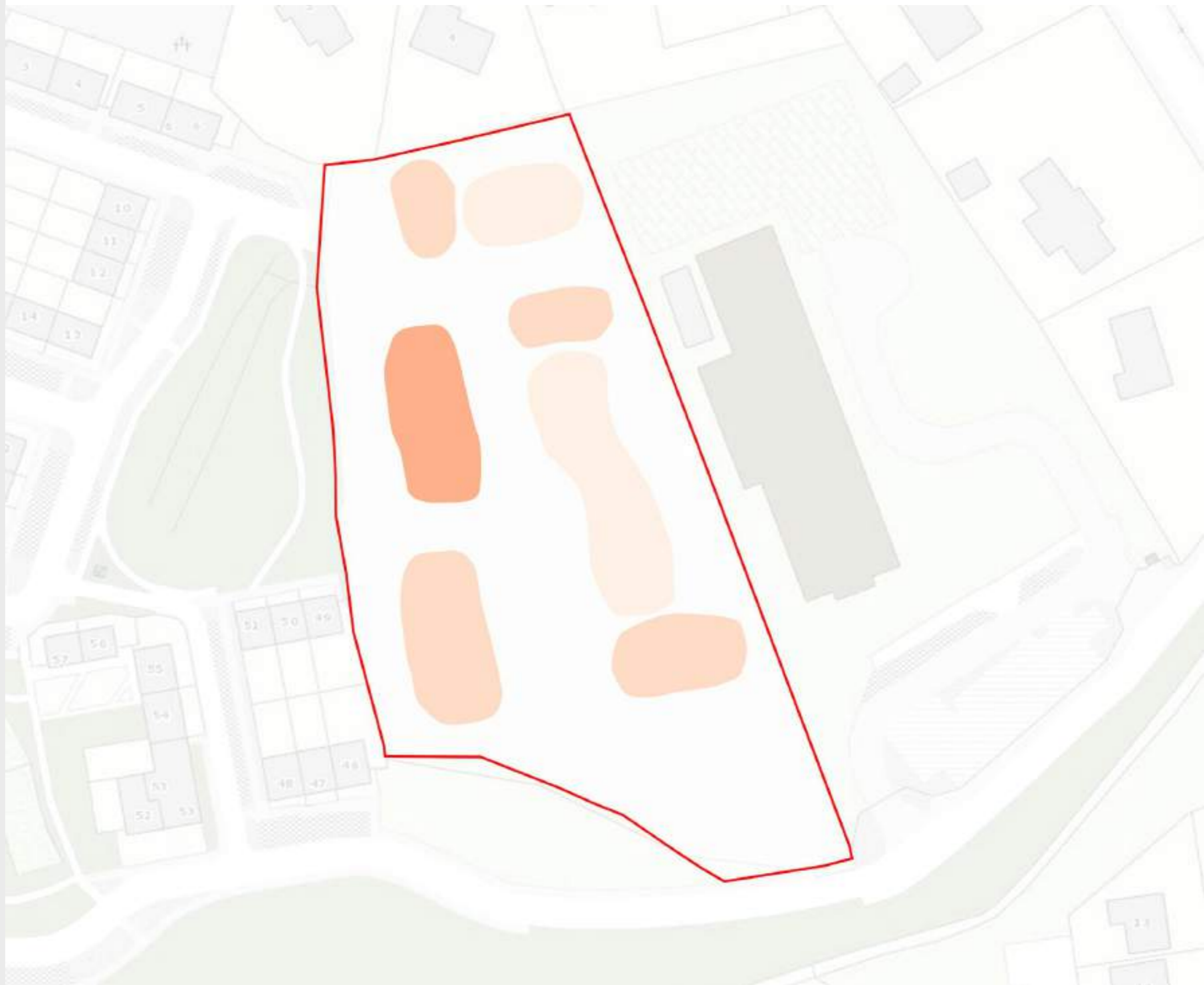
Residential Development,  
Clonakilty,  
Co. Cork

# 02 DESIGN STRATEGY

## DENSITY ANALYSIS

- Higher density overlooking open space.
- Medium - High density to create feature corner elements / node points throughout the site.
- Medium density to back onto existing buildings to avoid overlooking.

	HIGH DENSITY - 3 STOREY
	MEDIUM - HIGH DENSITY - 2 STOREY
	MEDIUM DENSITY - 2 STOREY



Residential Development,  
Clonakilty,  
Co. Cork

# 02 DESIGN STRATEGY

## STREET HIERARCHY

- Local street acts as the main route through the site and provides access from the entrance to the south.
- Several shared surfaces stem from this to promote community activity.



Residential Development,  
Clonakilty,  
Co.Cork

## 1. PRIMARY LOCAL STREET



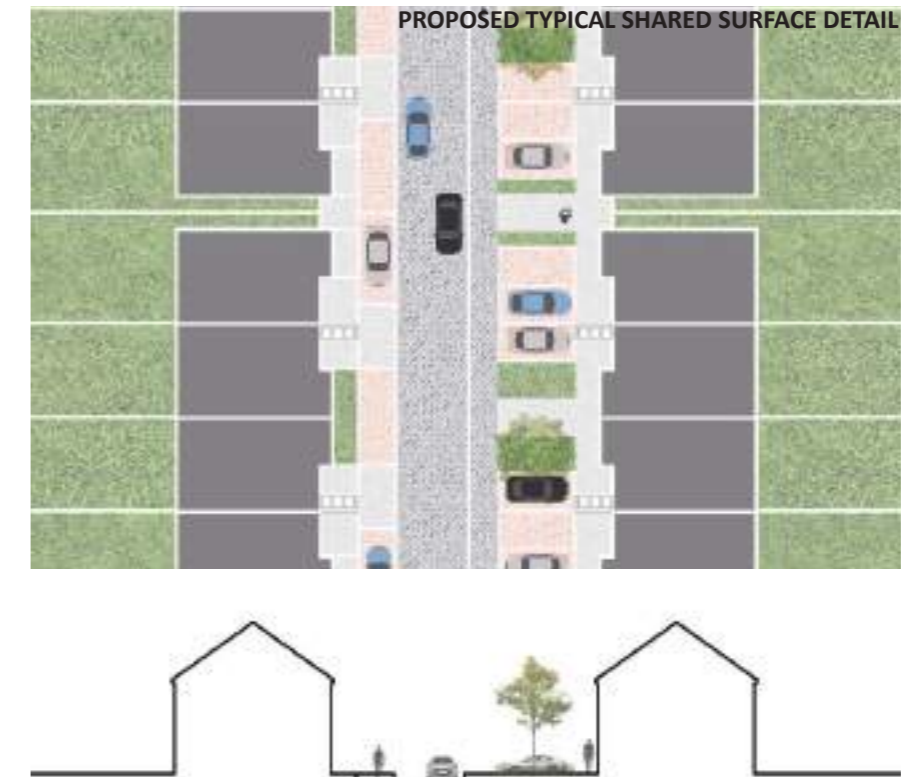
### PRIMARY LOCAL STREET FEATURES:

- BOULEVARD/AVENUE STYLE
- 6m ROAD WIDTH
- CYCLE/PEDESTRIAN PATH SEPARATED FROM ROAD
- PARALLEL PARKING
- MINIMAL DIRECT ACCESS TO UNITS



VIEW OF PROPOSED PRIMARY LOCAL STREET

## 2. SHARED SURFACE



### SHARED SURFACE FEATURES:

- 4.8-5m ROAD WIDTH
- ROAD-SIDE PEDESTRIAN PATH OR SHARED SURFACE
- PARALLEL PARKING OR ON-CURTILAGE PARKING
- DIRECT ACCESS TO UNITS
- INCORPORATING LIGHTING, BINS, PARKING & LANDSCAPING



VIEW OF A TYPICAL SHARED SURFACE

# 02 DESIGN STRATEGY

## LANDSCAPE PROPOSAL



Cycle / Pedestrian Path example



Communal Open Space example



Shared Space example



Cycle / Pedestrian Path example



Residential Development,  
Clonakilty,  
Co.Cork

PLEASE REFER TO THE LANDSCAPE  
REPORT PREPARED BY FORESTBIRD  
DESIGN LANDSCAPE ARCHITECTS  
FOR FURTHER INFORMATION



# 03 PROPOSED DESIGN

## SITE LAYOUT & SCHEDULE

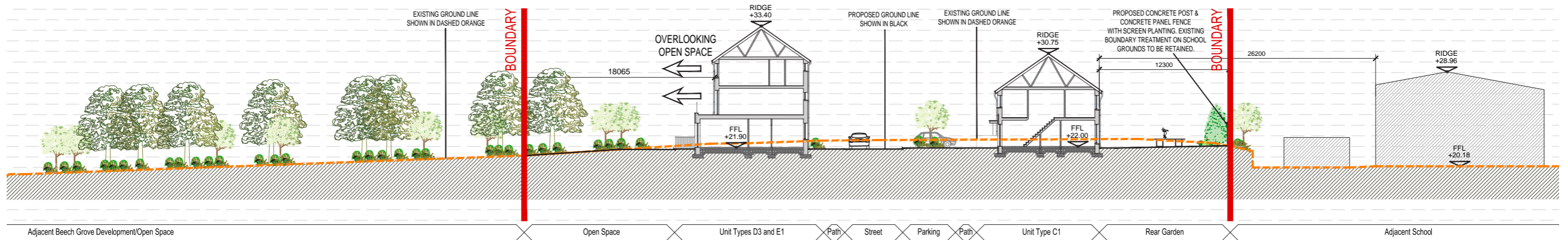
SCHEDULE OF ACCOMMODATION - CLONAKILTY					
Unit Type	Description	No. of Bedroom	No. of Bed Space	Unit Area (sq.m.)	No. of Units
A1	End Townhouse (Accessible Unit)	4	7	121.56	1
B1	End Townhouse	3	5	104.25	2
B2	Semi-detached	3	5	104.10	2
C1	End Townhouse	2	4	84.50	3
C2	Mid Townhouse	2	4	84.50	7
D1	GF Apartment	2	4	80.83	2
D2	FF Apartment	2	4	84.44	2
D3	Duplex Apartment	2	4	93.70	3
D4	Duplex Apartment	2	4	93.70	1
D5	GF Apartment	2	4	80.78	2
E1	GF Apartment	1	2	56.50	3
E2	GF Apartment	1	2	56.50	1
E3	GF Apartment	1	2	54.93	2
F1	FF Apartment	1	2	53.10	2
F2	FF Apartment	1	2	53.47	2
<b>Total No. of Units</b>					<b>35</b>

SITE SCHEDULE		
Site Area	0.99 HA	
Total No. of Units	No. 35	
Density	35.4 units/HA	
Usable Open Space	12%	
4 bed	1	3%
3 bed	4	12%
2 bed	20	57%
1 bed	10	28%

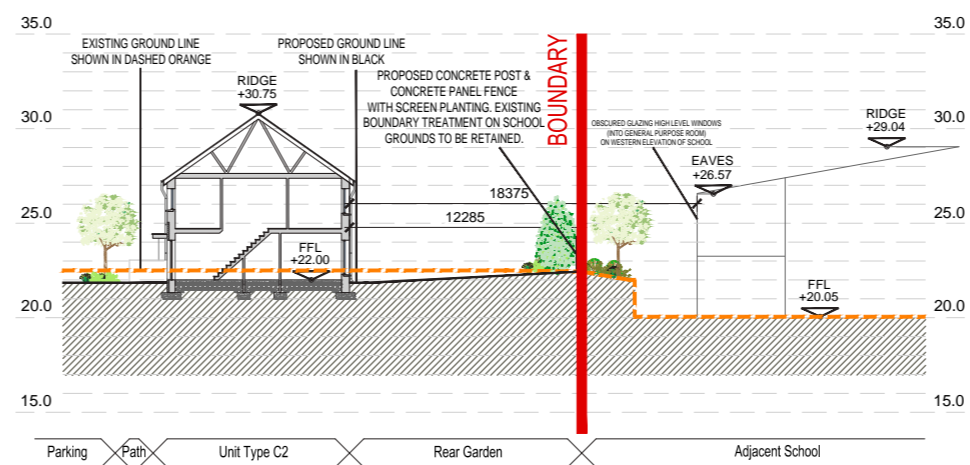
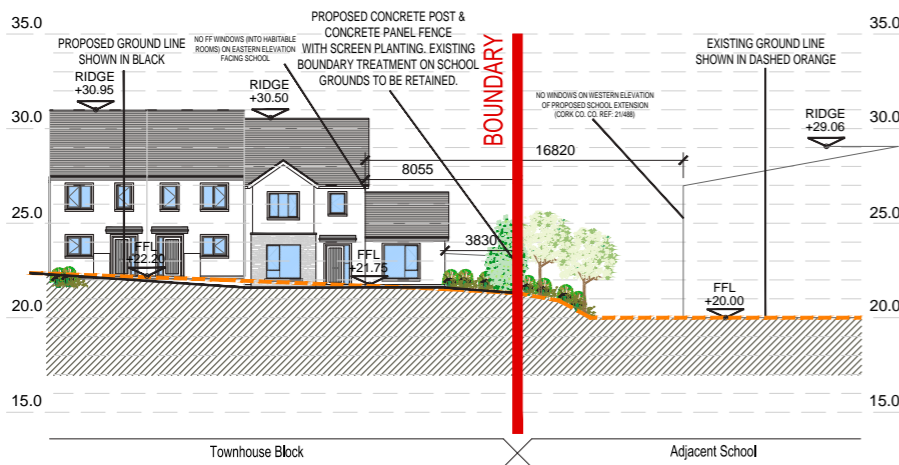


# 03 PROPOSED DESIGN

## BOUNDARY SECTION ASSESSMENT

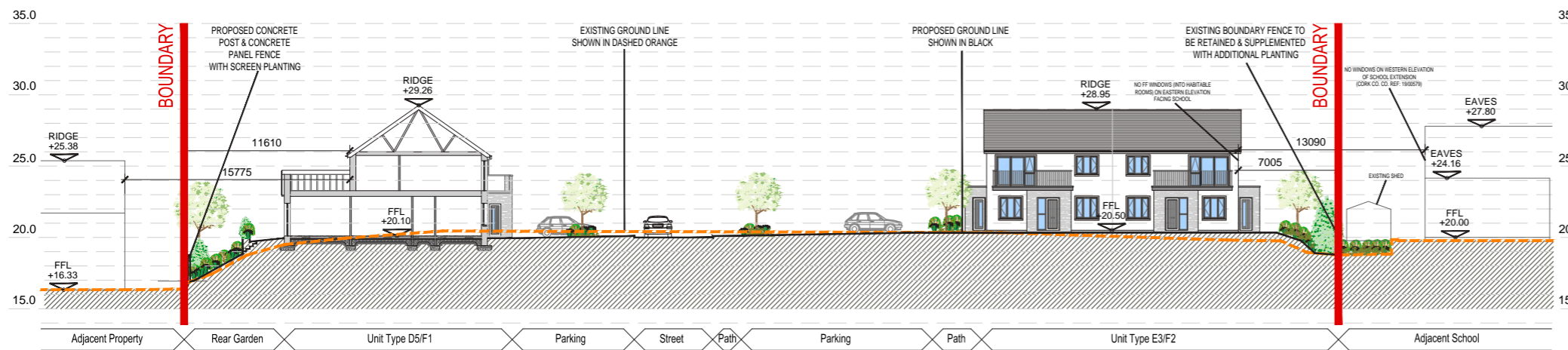


**SITE SECTION A-A**

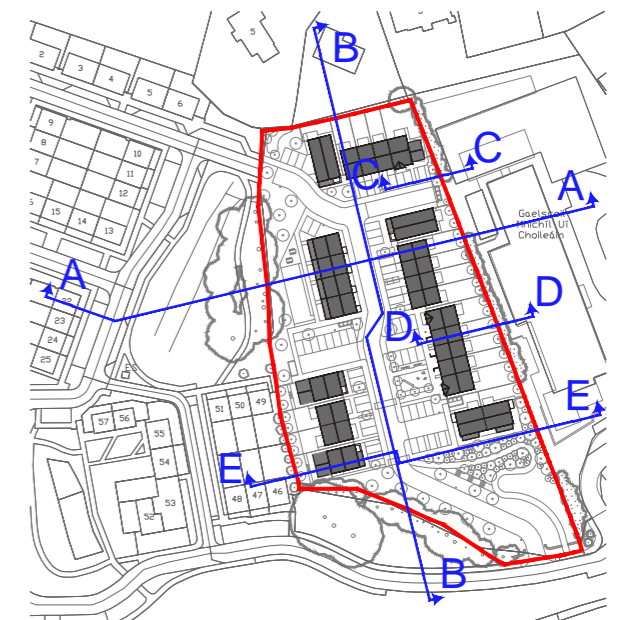


**SITE SECTION C-C**

**SITE SECTION D-D**



**SITE SECTION E-E**



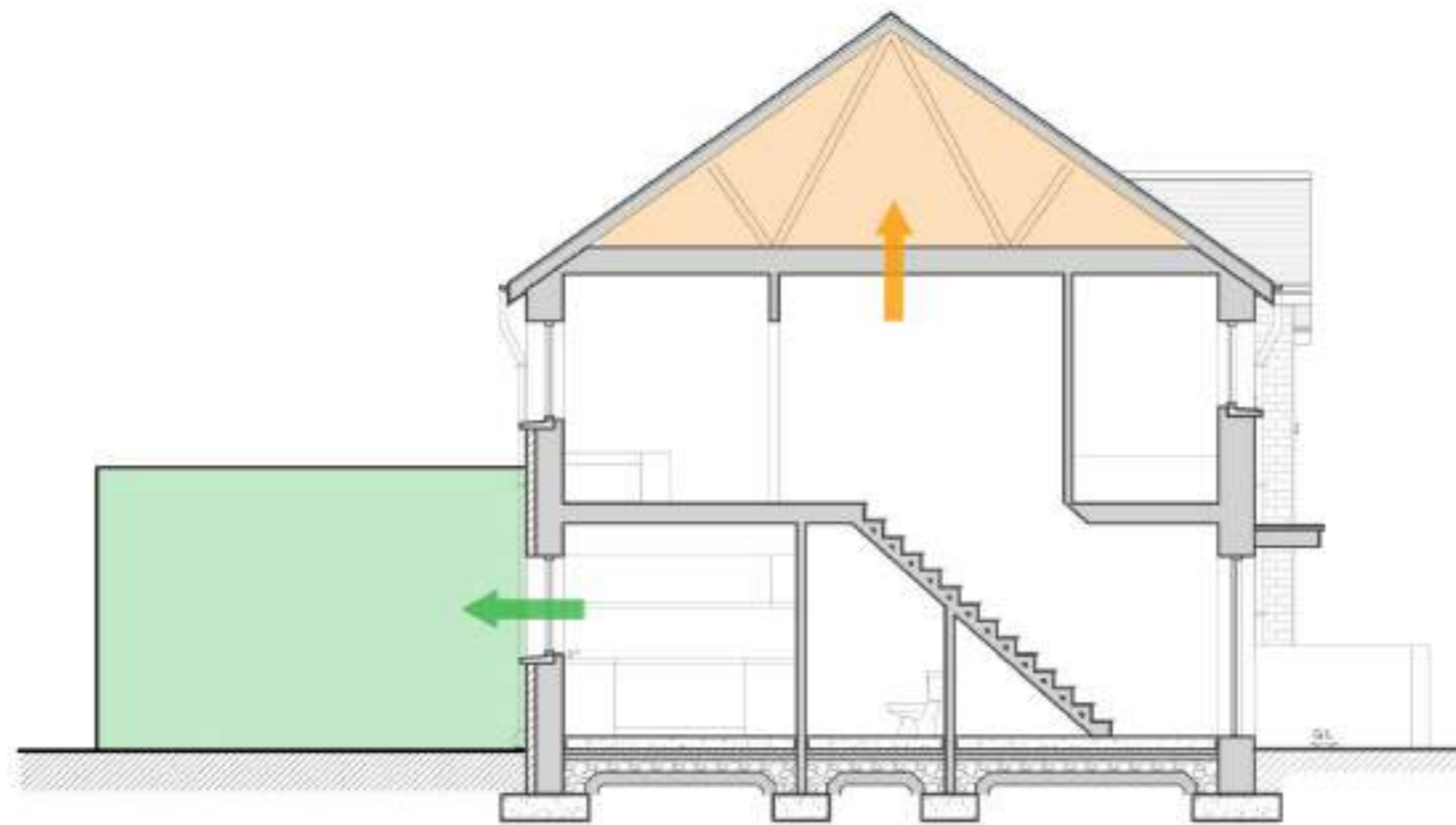
**KEY PLAN**

# 03 PROPOSED DESIGN

## ADAPTABILITY

The proposed dwellings are adaptable to respond to potential changing needs over their lifetime. The units are strategically designed which allows the owner to extend into the attic and/or to the rear if they wish.

With a selection and distribution of house types reflecting how future market challenges can be used to the advantage of the community, the enhanced distinctiveness of the units will work for the benefit of this scheme.



### DGA ADAPTABILITY OPTIONS



# 03 PROPOSED DESIGN MATERIALITY



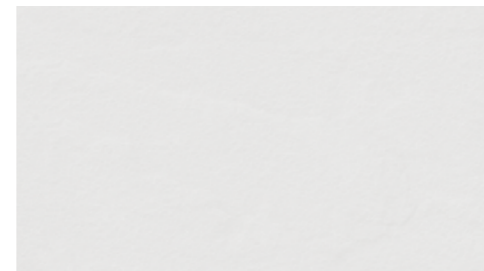
## MATERIALITY



NATURAL STONE



GREY RENDER



OFF-WHITE RENDER



SLATE/TILE ROOF



# 03 PROPOSED DESIGN UNIT TYPE EXAMPLES



00 Ground Floor Plan



01 First Floor Plan



Perspective View

1 - Bed Over 1 - Bed (Unit Types E3 / F2)



00 Ground Floor Plan



01 First Floor Plan



Perspective View

3 - Bed End Townhouse (Unit Type B1)

# 03 PROPOSED DESIGN

## PROPOSED LAYOUT

SCHEDULE OF ACCOMMODATION - CLONAKILTY					
Unit Type	Description	No. of Bedroom	No. of Bed Space	Unit Area (sq.m.)	No. of Units
A1	End Townhouse (Accessible Unit)	4	7	121.56	1
B1	End Townhouse	3	5	104.25	2
B2	Semi-detached	3	5	104.10	2
C1	End Townhouse	2	4	84.50	3
C2	Mid Townhouse	2	4	84.50	7
D1	GF Apartment	2	4	80.83	2
D2	FF Apartment	2	4	84.44	2
D3	Duplex Apartment	2	4	93.70	3
D4	Duplex Apartment	2	4	93.70	1
D5	GF Apartment	2	4	80.78	2
E1	GF Apartment	1	2	56.50	3
E2	GF Apartment	1	2	56.50	1
E3	GF Apartment	1	2	54.93	2
F1	FF Apartment	1	2	53.10	2
F2	FF Apartment	1	2	53.47	2
<b>Total No. of Units</b>					<b>35</b>

SITE SCHEDULE		
Site Area	0.99 HA	
Total No. of Units	No. 35	
Density	35.4 units/HA	
Usable Open Space	12%	
4 bed	1	3%
3 bed	4	12%
2 bed	20	57%
1 bed	10	28%

This new neighbourhood will be an aesthetically pleasing and highly efficient new residential project that will provide vital accommodation and amenities that will benefit the wider community. Its permeable layout will provide important accessible connections for future residents to public transport links, community facilities and amenities in the wider area of Clonakilty.





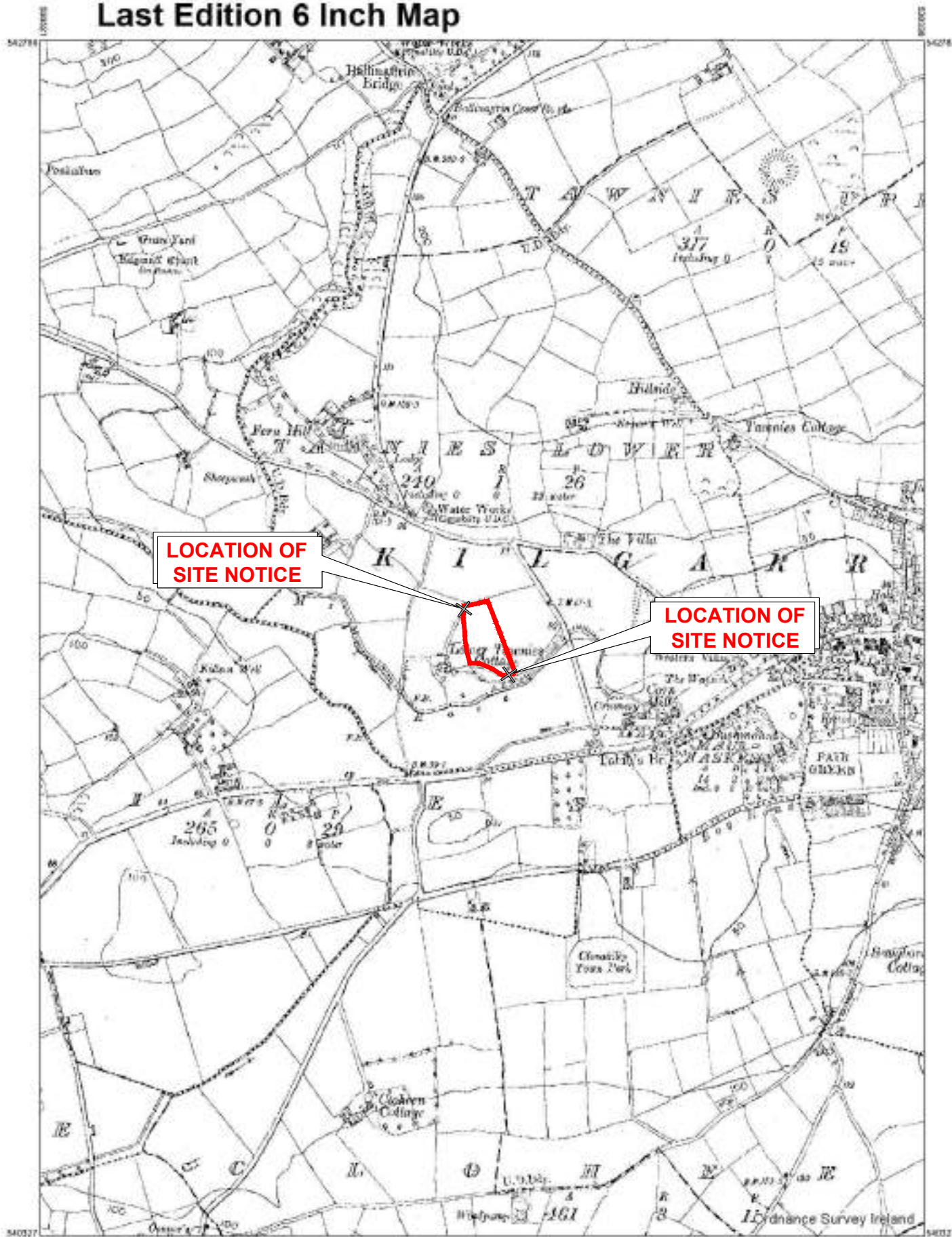


MAP DETAILS

Output Format:

**CENTRE COORDINATES:**  
ITM 537430,541558  
**PUBLISHED:** 04/12/2023  
**MAP SERIES:** 6 Inch Raster  
**ORDER NO.:** 50371792\_1  
**MAP SHEETS:** CK135

Last Edition 6 Inch Map



LOCATION OF SITE NOTICE

LOCATION OF SITE NOTICE

Copyright Licence 2023  
Ordnance Survey Ireland Licence No. CYAL 50311391  
(Copyright) ORDNANCE SURVEY IRELAND GOVERNMENT OF IRELAND



COMPILED AND PUBLISHED BY:

National Mapping Division of  
Táite Éireann,  
Phoenix Park,  
Dublin 8,  
Ireland.  
D08F6E4

[www.taiite.ie](http://www.taiite.ie)

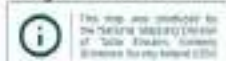
Any unauthorised reproduction  
infringes Táite Éireann copyright.

No part of this publication may  
be copied, reproduced or transmitted  
in any form or by any means without  
the prior written permission of the  
copyright owner.

The representation on this map  
of a road, track or footpath  
is not evidence of the existence  
of a right of way.

Ordnance Survey maps  
never show legal property  
boundaries, nor do they  
show ownership of physical  
features.

© National Mapping Division of  
Táite Éireann, 2023  
All rights reserved



CENTRE COORDINATES:

ITM 537430,541558

**PUBLISHED:** 04/12/2023

**MAP SERIES:** 6 inch Raster

**ORDER NO.:** 50371792\_1

**MAP SHEETS:** CK135

CAPTURE RESOLUTION:

The map objects are only accurate to the  
resolution at which they were captured.  
Output scale is not indicative of data capture  
scale.

Further information is available at:  
[www.osi.ie](http://www.osi.ie); search 'Capture Resolution'  
**LEGEND:**  
[www.osi.ie](http://www.osi.ie); search 'Large Scale Legend'



Táite  
Éireann

— DENOTES SITE BOUNDARY  
EDGED RED

P1	ISSUE FOR PLANNING	04.12.23
No.	Revision/Issue	Date

Firm Name and Address

**DEADY GAHAN**  
**DG**  
**ARCHITECTS**

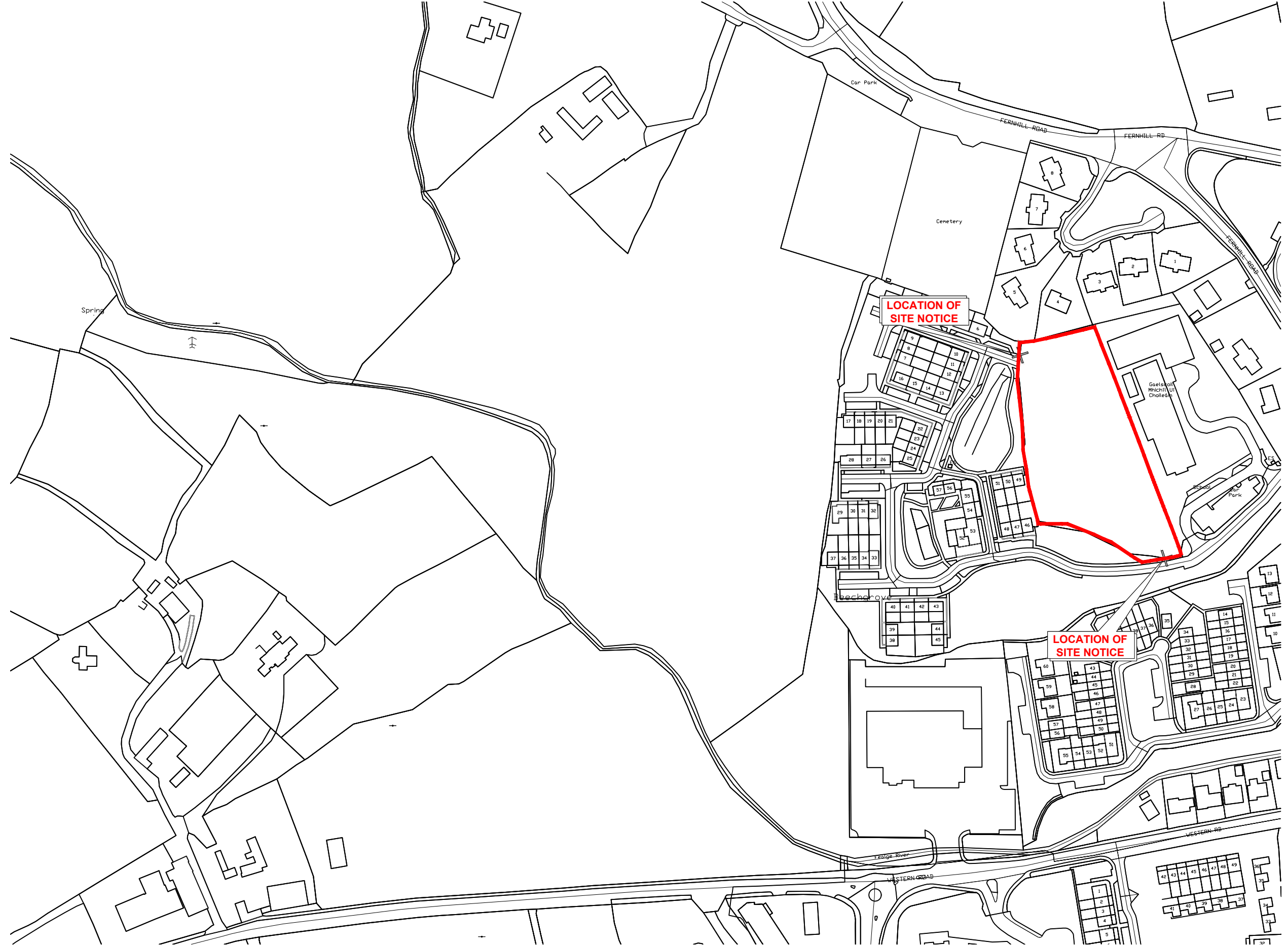
EASTGATE VILLAGE, LITTLE ISLAND, CORK  
T: 021 4355016 W: WWW.DGARCHITECTS.IE  
EMAIL: INFO@DGARCHITECTS.IE

Project Name and Address  
PROPOSED RESIDENTIAL DEVELOPMENT  
IN AN TAMMNAIGH, CLONAKILTY,  
CO. CORK.

Drawing Title	Date
SITE LOCATION MAP	04.12.23
Drawing No.	Drawn
22040/P/001	MP
Scale	Sheet No.
1:10,560 @ A3	1 OF 2

SITE LOCATION MAP

SCALE 1:10560



# SITE LOCATION MAP

SCALE 1:2500

DENOTES SITE BOUNDARY EDGED RED

## MAP DETAILS


Description:  
 File Names:  
 =====  
 6720-A.dwg / 6720-C.dwg  
 Clip Extent / Area of Interest (ADI):  
 =====  
 LLX,LLY= 537207,541242  
 URX,URY= 537686,541687  
 Data Extraction Date:  
 =====  
 Date= 21-Feb-2023



Copyright Licence 2023  
 Ordnance Survey Ireland Licence No.  
 CYAL50311391(Copyright) ORDNANCE  
 SURVEY IRELAND GOVERNMENT OF  
 IRELAND

P1	ISSUE FOR PLANNING	04.12.23
No.	Revision/Issue	Date

Firm Name and Address



**DEADY SAHAN**  
**DG**  
 ARCHITECTS

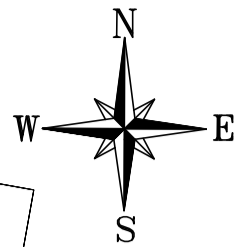
EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project Name and Address  
 PROPOSED RESIDENTIAL DEVELOPMENT  
 IN AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing Title	Date
SITE LOCATION MAP	04.12.23
Drawing No.	Drawn
22040/P/002	MP
Scale	Sheet No.
1:2500 @ A3	2 OF 2



DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



SCHEDULE OF ACCOMMODATION - CLONAKILTY					
Unit Type	Description	No. of Bedroom	No. of Bed Space	Unit Area (sq.m.)	No. of Units
A1	End Townhouse (Accessible Unit)	4	7	121.56	1
B1	End Townhouse	3	5	104.25	2
B2	Semi-detached	3	5	104.10	2
C1	End Townhouse	2	4	84.50	3
C2	Mid Townhouse	2	4	84.50	7
D1	GF Apartment	2	4	80.83	2
D2	FF Apartment	2	4	84.44	2
D3	Duplex Apartment	2	4	93.70	3
D4	Duplex Apartment	2	4	93.70	1
D5	GF Apartment	2	4	80.78	2
E1	GF Apartment	1	2	56.50	3
E2	GF Apartment	1	2	56.50	1
E3	GF Apartment	1	2	54.93	2
F1	FF Apartment	1	2	53.10	2
F2	FF Apartment	1	2	53.47	2
<b>Total No. of Units</b>					<b>35</b>

SITE SCHEDULE		
Site Area	0.99 HA	
Total No. of Units	No. 35	
Density	35.4 units/HA	
Usable Open Space	12%	
4 bed	1	3%
3 bed	4	12%
2 bed	20	57%
1 bed	10	28%

**LOCATION OF SITE NOTICE**

**LOCATION OF SITE NOTICE**

**LOCATION OF SITE NOTICE**

NO FF WINDOWS (INTO HABITABLE ROOMS) ON NORTHERN ELEVATION FACING SCHOOL

NO FF WINDOWS (INTO HABITABLE ROOMS) ON EASTERN ELEVATION FACING SCHOOL

EXISTING BOUNDARY TREATMENT ON SCHOOL GROUNDS ON EASTERN BOUNDARY TO BE RETAINED.

NO FF WINDOWS (INTO HABITABLE ROOMS) ON EASTERN ELEVATION FACING SCHOOL

EXISTING SCHOOL

NO FF WINDOWS (INTO HABITABLE ROOMS) ON EASTERN ELEVATION FACING SCHOOL

SITE ENTRANCE

EXISTING ADJACENT OPEN SPACE



**PROPOSED SITE PLAN**  
 SCALE 1:500@A2

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUED FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355018 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

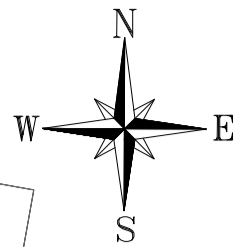
Project  
 PROPOSED RESIDENTIAL DEVELOPMENT  
 IN AN TAMIHNAIGH, CLONAKILTY, CO CORK

Drawing title  
 PROPOSED SITE PLAN

Scale	Drawn	Checked	Date
1:500 @ A2	LM	EJG	12.10.23
Project No.	Dwg. No.	Revision	
22040	22040/P/003A	P1	

Information / Comments  Tender   
 Planning  Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



**LOCATION OF  
 SITE NOTICE**

EXISTING  
 ADJACENT  
 OPEN SPACE

**LOCATION OF  
 SITE NOTICE**

**EXISTING SITE PLAN**  
 SCALE 1:500@A2

date	rev	name	chk	note
02.11.23	P1	LM	EJG	ISSUED FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355018 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

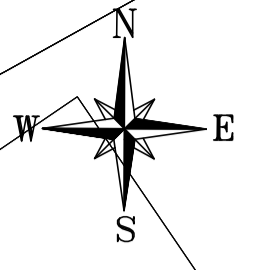
Project  
 PROPOSED RESIDENTIAL DEVELOPMENT  
 IN AN TAMHNAIGH, CLONAKILTY, CO CORK

Drawing title  
 EXISTING SITE PLAN

Scale	Drawn	Checked	Date
1:500 @ A2	LM	EJG	12.10.23
Project No.	Dwg. No.	Revision	
22040	22040/P/003B	P1	

<input type="checkbox"/> Information / Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



**BOUNDARY LEGEND**

- 01. PROPOSED 2m HIGH RENDERED TO PUBLIC FACE CONCRETE BLOCK BOUNDARY WALL WITH CAPPING
  - 02. PROPOSED 2m HIGH CONCRETE POST & CONCRETE PANEL FENCE
  - 03. PROPOSED 2m HIGH CONCRETE POST & TIMBER PANEL FENCE
  - 04. PROPOSED LOW LEVEL WALL WITH 1.1m RAILING ABOVE
  - 05. EXISTING 2m HIGH WALL TO BE RETAINED
  - 06. EXISTING BOUNDARY FENCE TO BE RETAINED AND SUPPLEMENTED WITH ADDITIONAL PLANTING WHERE REQUIRED
  - 07. PROPOSED 1m HIGH RENDERED TO PUBLIC FACE CONCRETE BLOCK WALL WITH CAPPING
  - 08. EXISTING 2m HIGH FENCE TO BE RETAINED DURING CONSTRUCTION - TO BE REMOVED ON COMPLETION OF THE SCHEME
  - 09. PROPOSED 1.1m HIGH GALVANISED METAL RAILING
- \* EXISTING BOUNDARY TREATMENT ON SCHOOL GROUNDS ON EASTERN BOUNDARY TO BE RETAINED.

**PROPOSED BOUNDARY TREATMENT PLAN**  
 SCALE 1:500@A2

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUED FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355018 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

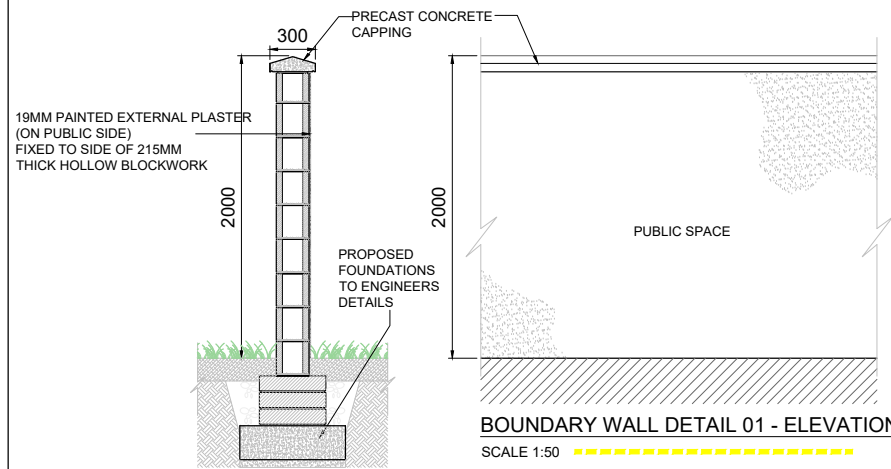
Project  
 PROPOSED RESIDENTIAL DEVELOPMENT  
 IN AN TAMHNAIGH, CLONAKILTY, CO CORK

Drawing title  
 PROPOSED BOUNDARY TREATMENT PLAN

Scale	Drawn	Checked	Date
1:500 @ A2	LM	EJG	24.10.23
Project No.	Dwg. No.	Revision	
22040	22040/P/003C	P1	

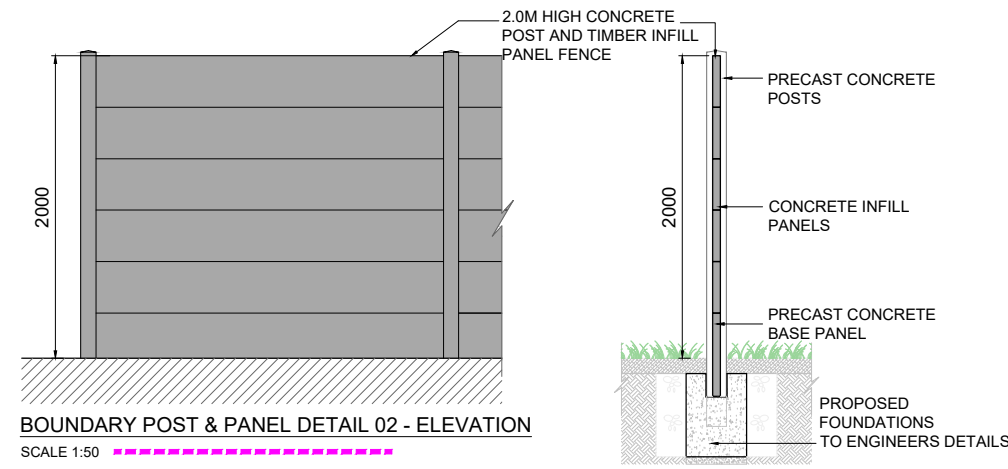
Information / Comments  Tender   
 Planning  Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



BOUNDARY WALL DETAIL 01 - ELEVATION

SCALE 1:50

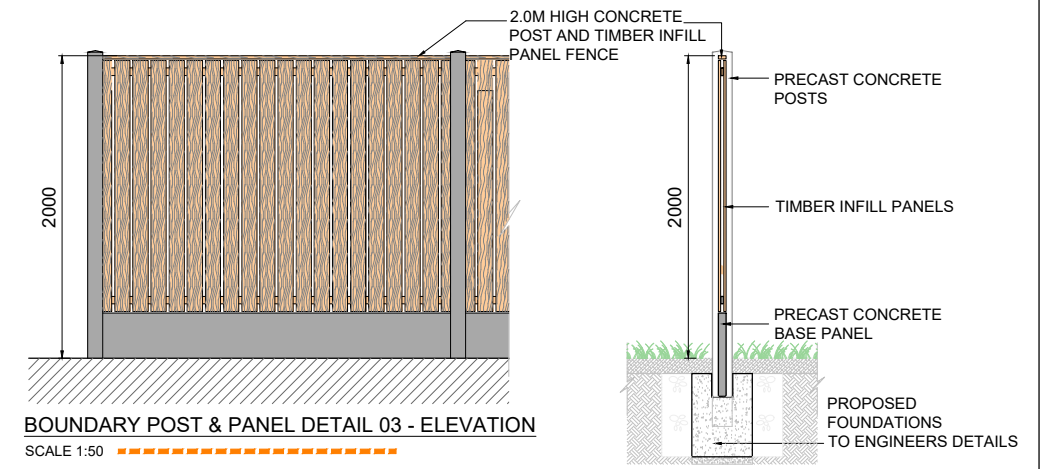


BOUNDARY POST & PANEL DETAIL 02 - ELEVATION

SCALE 1:50

BOUNDARY POST & PANEL DETAIL 02 - SECTION

SCALE 1:50

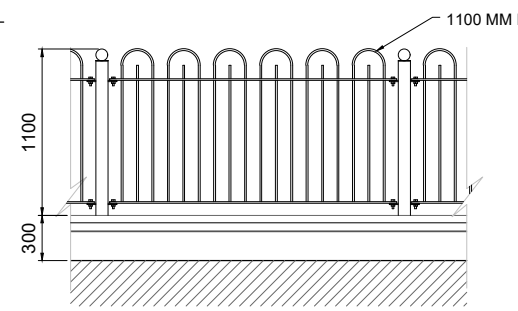


BOUNDARY POST & PANEL DETAIL 03 - ELEVATION

SCALE 1:50

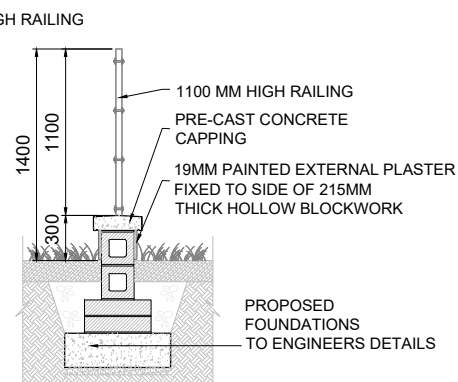
BOUNDARY POST & PANEL DETAIL 03 - SECTION

SCALE 1:50



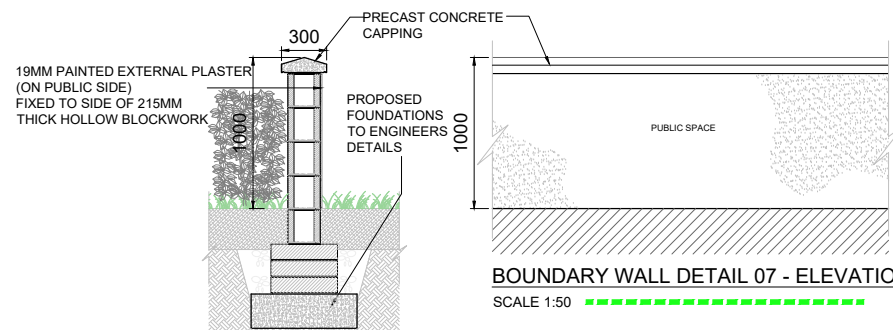
BOUNDARY WALL/RAILING DETAIL 04 - ELEVATION

SCALE 1:50



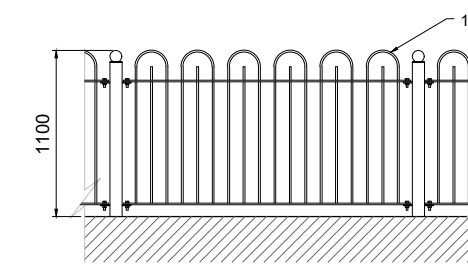
BOUNDARY WALL/RAILING DETAIL 04 - SECTION

SCALE 1:50



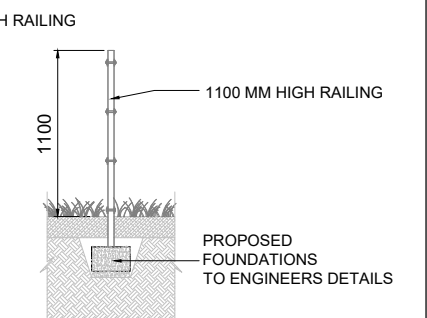
BOUNDARY WALL DETAIL 07 - SECTION

SCALE 1:50



BOUNDARY RAILING DETAIL 09 - ELEVATION

SCALE 1:50



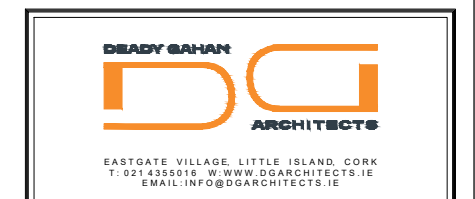
BOUNDARY RAILING DETAIL 09 - SECTION

SCALE 1:50

# PROPOSED BOUNDARY DETAILS

SCALE 1:50@A3

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



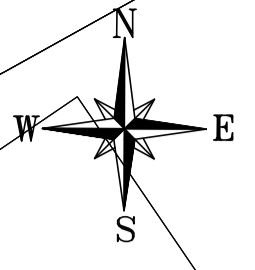
Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing title  
 PROPOSED BOUNDARY DETAILS

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 16.11.23
Project No. 22040	Drp. No. 22040/P/003D	Revision P1	

Information \ Comments	Tender
Planning	Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



VEHICLE PARKING SPACES - HOUSING			
Unit Types	No. of Units	Parking x Units	Total Parking
3 bed semi-detached	2	2no. parking spaces per unit	4
4 bed end (accessible) townhouse	1	2no. parking spaces per unit	2
3 bed end townhouse	2	1no. parking spaces per unit	2
2 bed end townhouse	3	1no. parking spaces per unit	3
2 bed mid townhouse	7	1no. parking spaces per unit	7
<b>TOTAL NUMBER OF PRIVATE PARKING SPACES</b>	<b>15</b>		<b>18</b>
<b>TOTAL NUMBER OF VISITOR PARKING SPACES</b>			<b>3</b>
<i>This equates to 1.4 spaces per house</i>			

VEHICLE PARKING SPACES - APARTMENTS			
Unit Types	No. of Units	Parking x Units	Total Parking
2 bed own-door access apartments	10	1no. parking spaces per unit	10
1 bed own-door access apartments	10	1no. parking spaces per unit	10
<b>TOTAL NUMBER OF PRIVATE PARKING SPACES</b>	<b>20</b>		<b>20</b>
<b>TOTAL NUMBER OF VISITOR PARKING SPACES</b>			<b>8</b>
<i>This equates to 1.4 spaces per apartment</i>			

date	rev	name	chk	note
01.02.24	P1	LM	EJG	ISSUED FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355018 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 PROPOSED RESIDENTIAL DEVELOPMENT  
 IN AN TAMBHAUGH, CLONAKILTY, CO CORK

Drawing title  
 PROPOSED PARKING LAYOUT

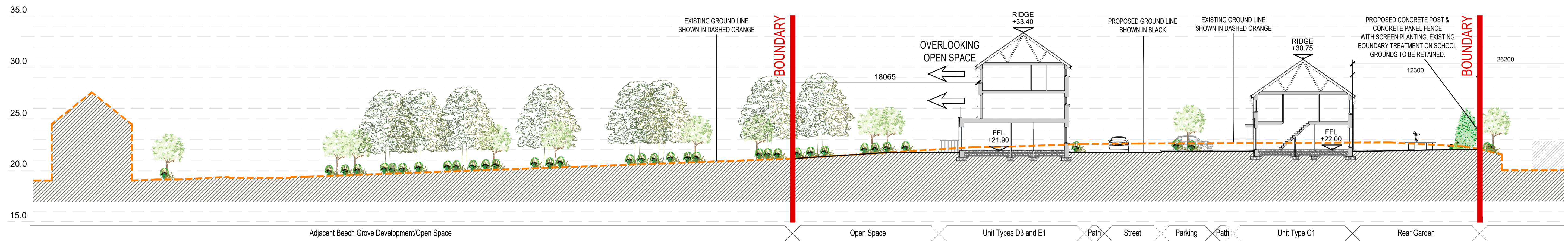
Scale	Drawn	Checked	Date
1:500 @ A2	LM	EJG	24.10.23
Project No.	Dwg. No.	Revision	
22040	22040/P/003E	P1	

Information / Comments  Tender   
 Planning  Construction

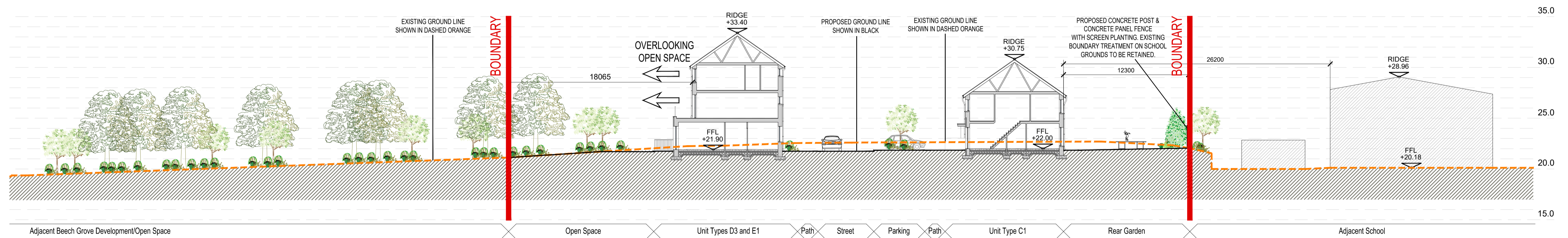
# PROPOSED PARKING LAYOUT

## SCALE 1:500@A2

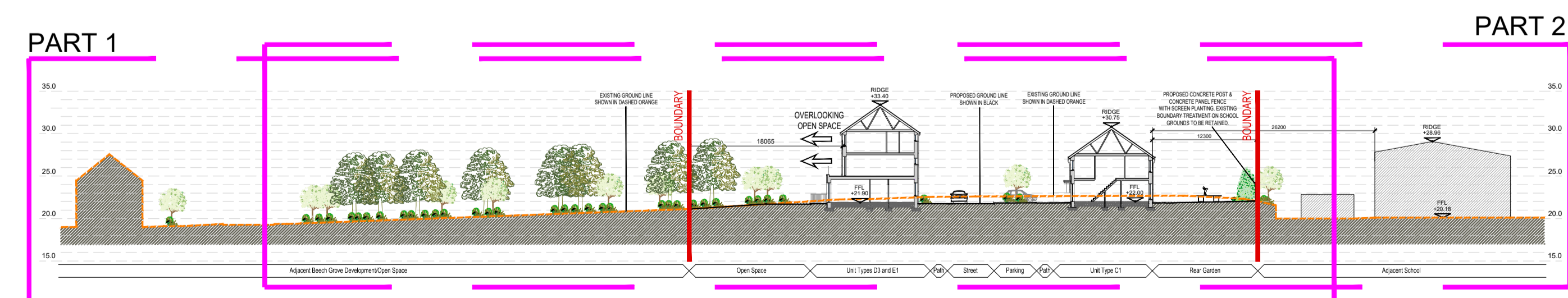
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



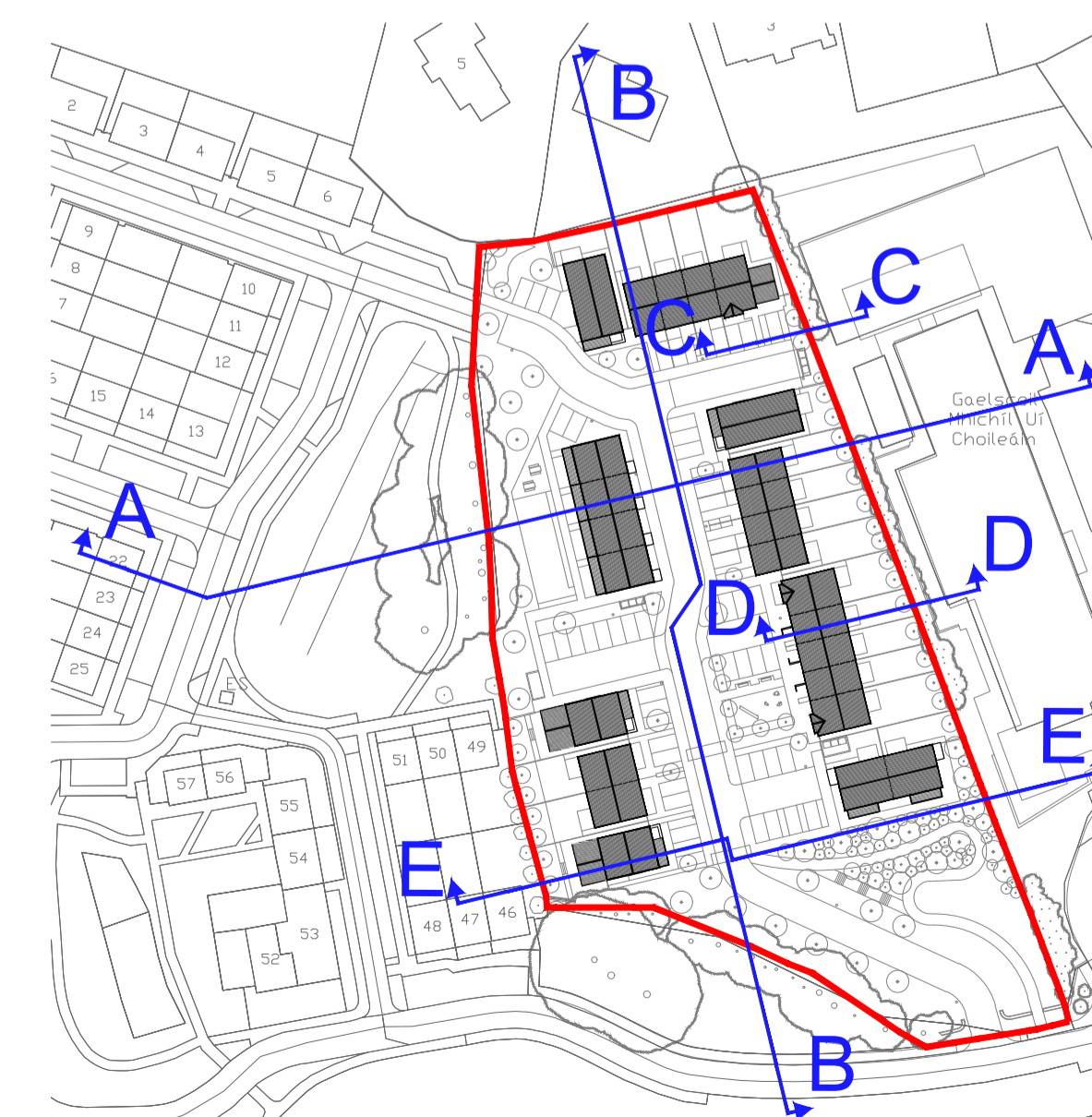
**SECTION A-A (PART 1)**  
 SCALE 1:200@A1



**SECTION A-A (PART 2)**  
 SCALE 1:200@A1



**SECTION A-A KEY**  
 SCALE 1:500@A1



**KEY PLAN**  
 SCALE 1:1250@A1

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4385016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing title  
 SITE SECTION A-A

Scale 1:200/1:500 @ A1	Drawn MP	Checked EJG	Date 28.03.23
Project No. 22040	Drawn No. 22040/P/004A	Revision P1	

<input type="checkbox"/> Information / Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

**PROPOSED SITE SECTION A-A**  
 SCALE 1:200/1:500@A1

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



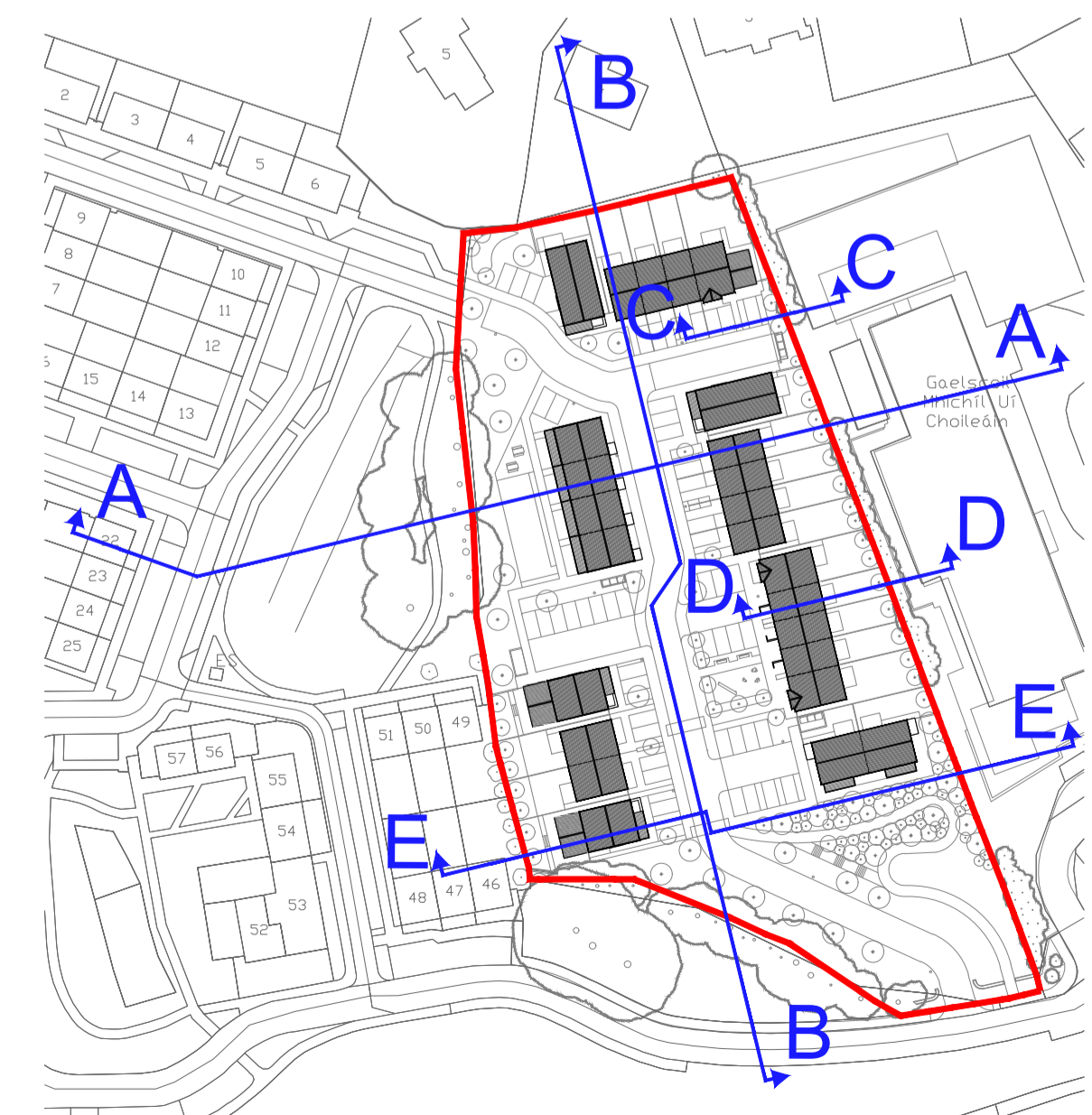
**SECTION B-B (PART 1)**  
 SCALE 1:200@A1



**SECTION B-B (PART 2)**  
 SCALE 1:200@A1

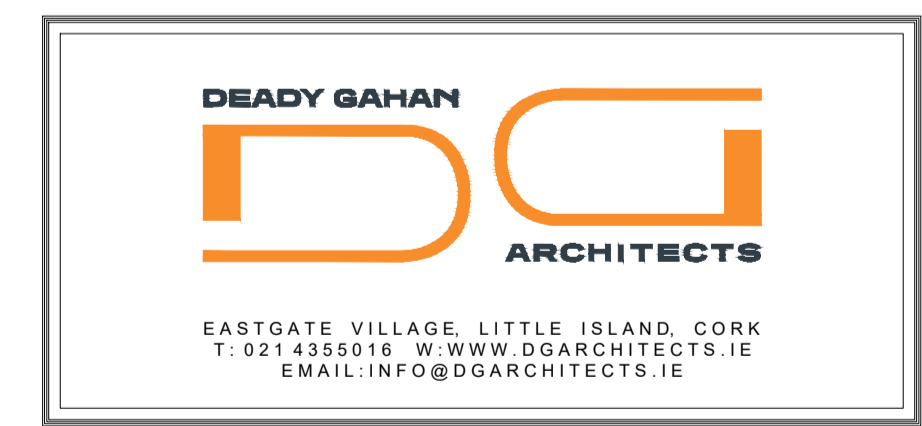


**SECTION B-B KEY**  
 SCALE 1:500@A1



**KEY PLAN**  
 SCALE 1:1250@A1

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



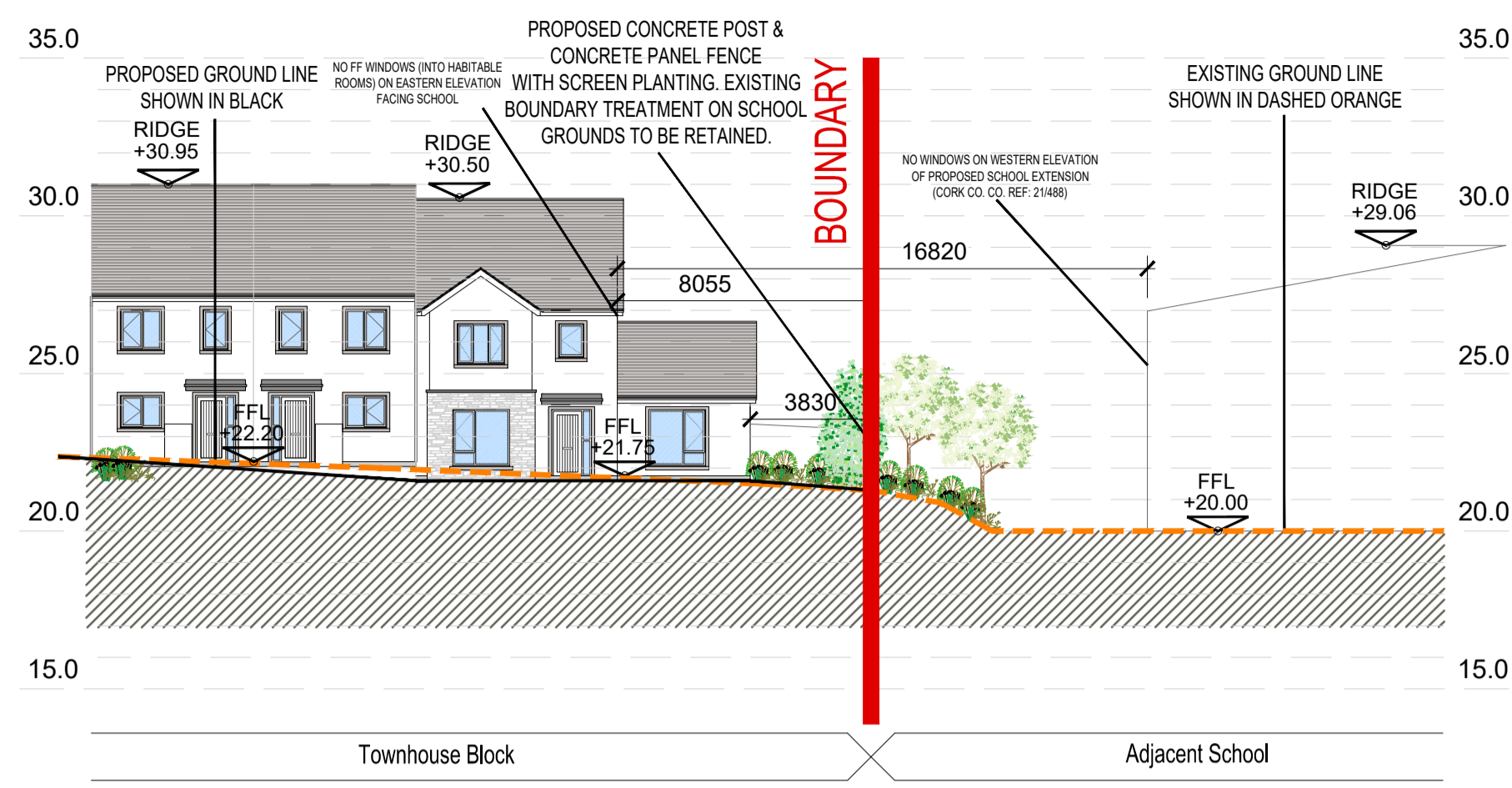
Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing title  
 SITE SECTION B-B

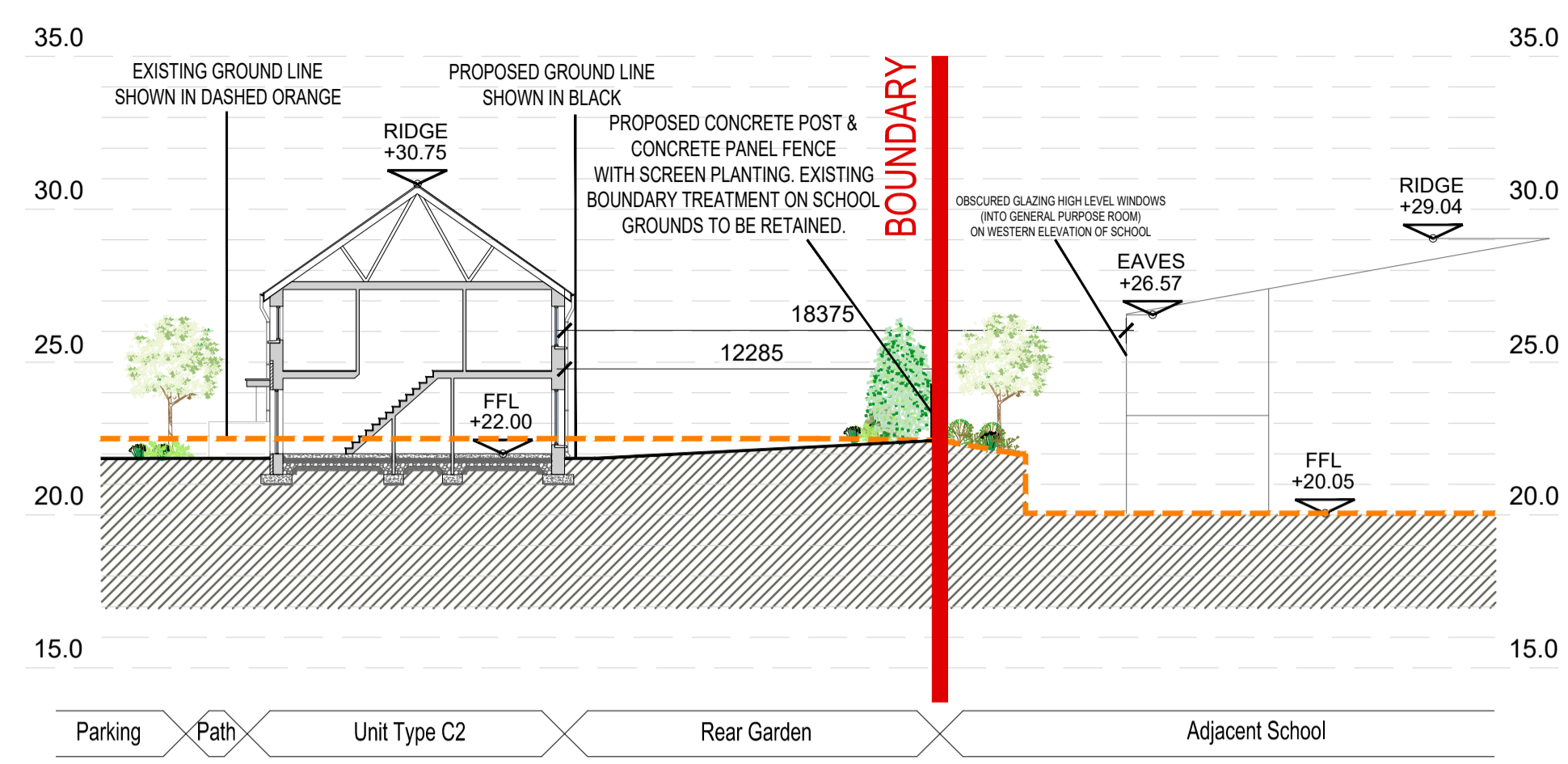
Scale	Drawn	Checked	Date
1:200/1:500 @ A1	MP	EJG	28.03.23
Project No.	Dwg. No.	Revision	
22040	22040/P/004B	P1	

<input type="checkbox"/> Information / Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

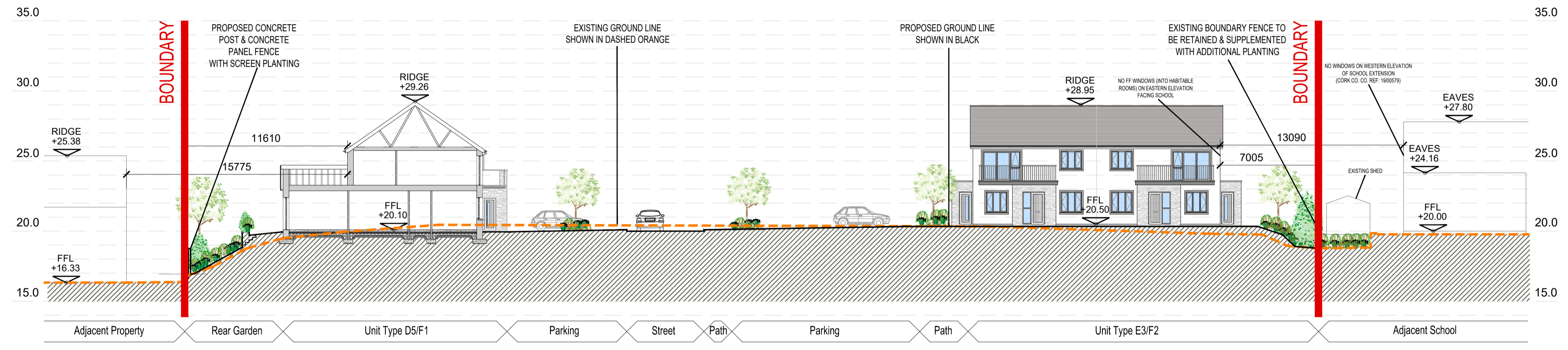
**PROPOSED SITE SECTION B-B**  
 SCALE 1:200/1:500@A1



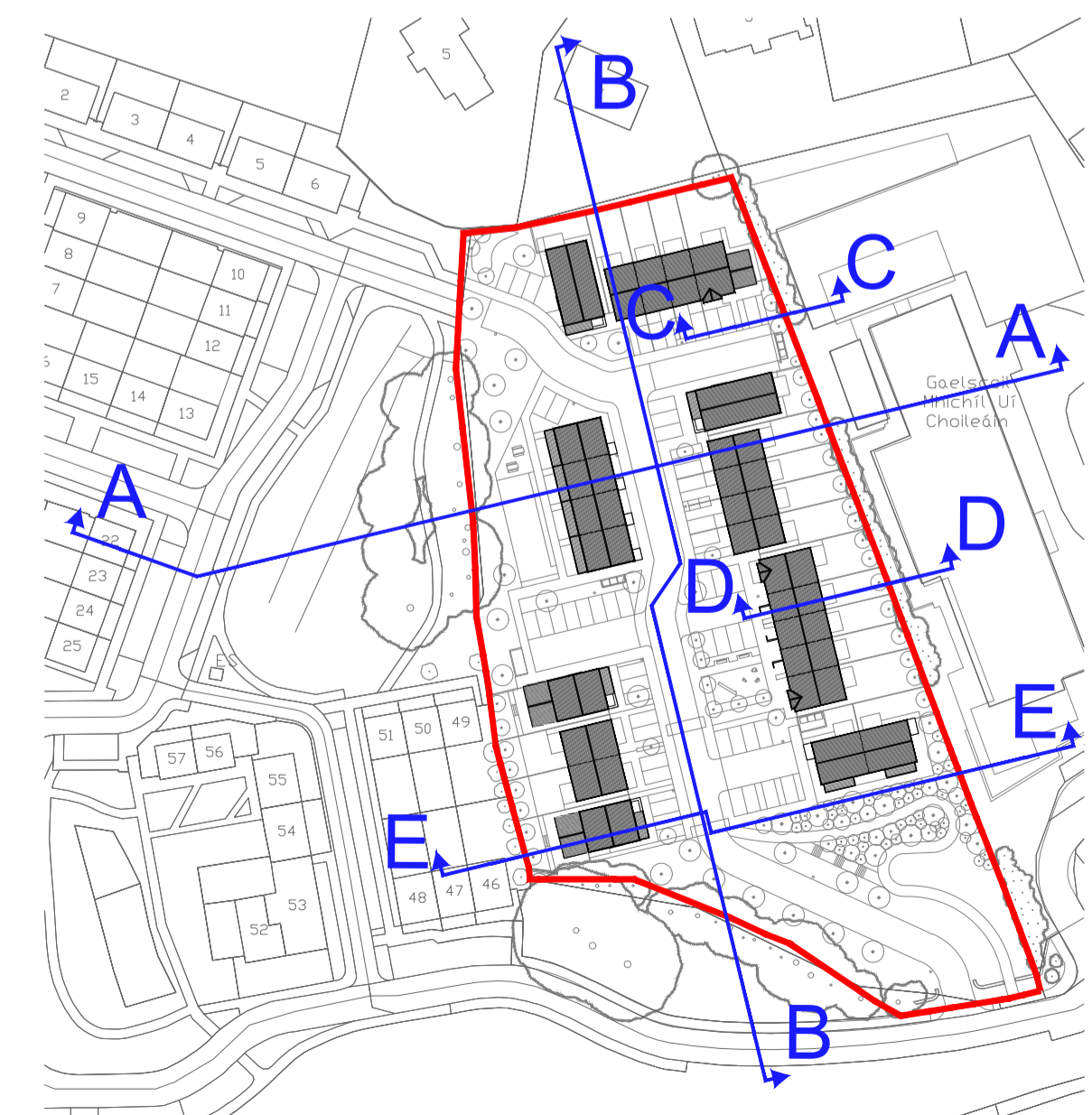
**SECTION C-C**  
 SCALE 1:200@A1



**SECTION D-D**  
 SCALE 1:200@A1



**SECTION E-E**  
 SCALE 1:200@A1



**KEY PLAN**  
 SCALE 1:1250@A1

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4358916 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing title  
 SITE SECTION C-C, D-D & E-E

Scale 1:200 @ A1	Drawn MP	Checked EJG	Date 28.03.23
Project No. 22040	Dir. No. 22040/P/004C	Revision P1	

<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction



### Schedule of Accomodation and Housing Quality Assesment



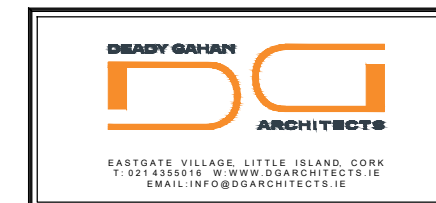
UNIT NO.	UNIT TYPE	DESCRIPTION	BED SPACES	DUAL ASPECT	MIN. UNIT AREA (m <sup>2</sup> )	UNIT AREA (m <sup>2</sup> )	MIN. AGG. LIVING AREA (m <sup>2</sup> )	AGG. LIVING AREA (m <sup>2</sup> )	BED 1 (m <sup>2</sup> )	BED 2 (m <sup>2</sup> )	BED 3 (m <sup>2</sup> )	BED 4 (m <sup>2</sup> )	MIN. AGG. BED AREA (m <sup>2</sup> )	AGG. BED AREA (m <sup>2</sup> )	MIN. STORAGE (m <sup>2</sup> )	STORAGE (m <sup>2</sup> )	MIN. PRIVATE AMENITY SPACE (m <sup>2</sup> )	PRIVATE AMENITY SPACE (m <sup>2</sup> )
1	E3	1 BED GF APARTMENT	2	YES	45.0	54.93	23.0	24.47	12.94	/	/	/	11.4	12.94	3.0	5.34	5.0	38.70
2	F2	1 BED FF APARTMENT	2	YES	45.0	53.47	23.0	26.56	12.09	/	/	/	11.4	12.09	3.0	3.30	5.0	8.24
3	F2	1 BED FF APARTMENT	2	YES	45.0	53.47	23.0	26.56	12.09	/	/	/	11.4	12.09	3.0	3.30	5.0	8.24
4	E3	1 BED GF APARTMENT	2	YES	45.0	54.93	23.0	24.47	12.94	/	/	/	11.4	12.94	3.0	5.34	5.0	72.10
5	D5	2 BED GF APARTMENT	4	YES	73.0	80.78	30.0	30.00	13.06	11.77	/	/	24.4	24.83	6.0	6.02	7.0	20.40
6	F1	1 BED FF APARTMENT	2	YES	45.0	53.10	23.0	28.07	12.23	/	/	/	11.4	12.23	3.0	3.37	5.0	7.26
7	B2	3 BED SEM-DETACHED	3	YES	92.0	104.10	34.0	34.06	13.37	12.36	8.26	/	32.0	33.99	5.0	6.12	60.0	85.80
8	B2	3 BED SEM-DETACHED	3	YES	92.0	104.10	34.0	34.06	13.37	12.36	8.26	/	32.0	33.99	5.0	6.12	60.0	87.10
9	F1	1 BED FF APARTMENT	2	YES	45.0	53.10	23.0	28.07	12.23	/	/	/	11.4	12.23	3.0	3.37	5.0	7.26
10	D5	2 BED GF APARTMENT	4	YES	73.0	80.78	30.0	30.00	13.06	11.77	/	/	24.4	24.83	6.0	6.02	7.0	16.70
11	B1	3 BED TOWNHOUSE	3	YES	92.0	104.25	34.0	34.18	14.20	12.08	8.22	/	32.0	34.50	5.0	6.20	60.0	104.80
12	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	68.40
13	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	65.10
14	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	61.00
15	B1	3 BED TOWNHOUSE	3	YES	92.0	104.25	34.0	34.18	14.20	12.08	8.22	/	32.0	34.50	5.0	6.20	60.0	82.80
16	C1	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	91.90
17	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	70.30
18	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	66.70
19	C1	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	77.80
20	D2	2 BED FF APARTMENT	4	YES	73.0	84.44	30.0	32.35	13.66	13.91	/	/	24.4	27.57	6.0	6.00	7.0	7.94
21	D1	2 BED GF APARTMENT	4	YES	73.0	80.83	30.0	30.77	13.01	11.61	/	/	24.4	24.62	6.0	6.00	7.0	55.10
22	E2	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.85
23	D4	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.95
24	E1	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.45
25	D3	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.75
26	E1	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.45
27	D3	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.75
28	E1	1 BED GF APARTMENT	2	YES	45.0	56.50	23.0	23.15	14.25	/	/	/	11.4	14.25	3.0	3.80	5.0	12.45
29	D3	2 BED DUPLEX UNIT	4	YES	73.0	93.70	30.0	30.00	13.35	11.50	/	/	24.4	24.85	6.0	6.65	7.0	10.75
30	D1	2 BED GF APARTMENT	4	YES	73.0	80.83	30.0	30.77	13.01	11.61	/	/	24.4	24.62	6.0	6.00	7.0	50.90
31	D2	2 BED FF APARTMENT	4	YES	73.0	84.44	30.0	32.35	13.66	13.91	/	/	24.4	27.57	6.0	6.00	7.0	7.94
32	C1	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	68.60
33	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	55.40
34	C2	2 BED TOWNHOUSE	4	YES	80.0	84.50	30.0	30.90	13.55	11.65	/	/	25.0	25.20	4.0	4.00	48.0	55.40
35	A1	4 BED TOWNHOUSE (ACCESSIBLE UNIT)	7	YES	110.0	121.56	40.0	40.05	13.63	12.62	12.08	8.13	43.0	46.46	6.0	6.07	60.0	136.40

**NOTE**  
 The columns highlighted in **RED** in the Housing Quality Assessment, relate to the minimum standards in the 2007 Housing Guidelines (Quality Housing for Sustainable Communities) and the 2022 Apartment Guidelines

## HOUSING QUALITY ASSESSMENT

NTS @A3

date	rev	name	chk	note
02.11.23	P1	LM	EJG	ISSUE FOR PLANNING

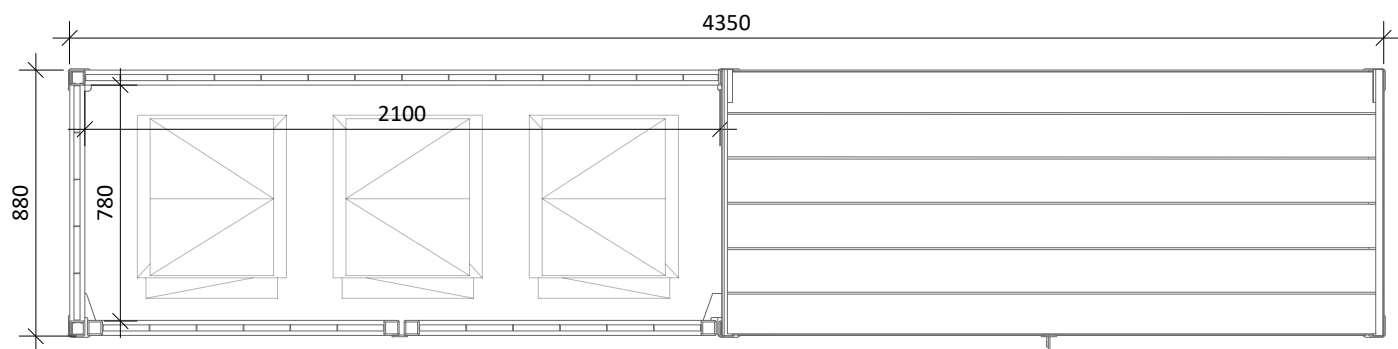


Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing title  
 HOUSING QUALITY ASSESSMENT

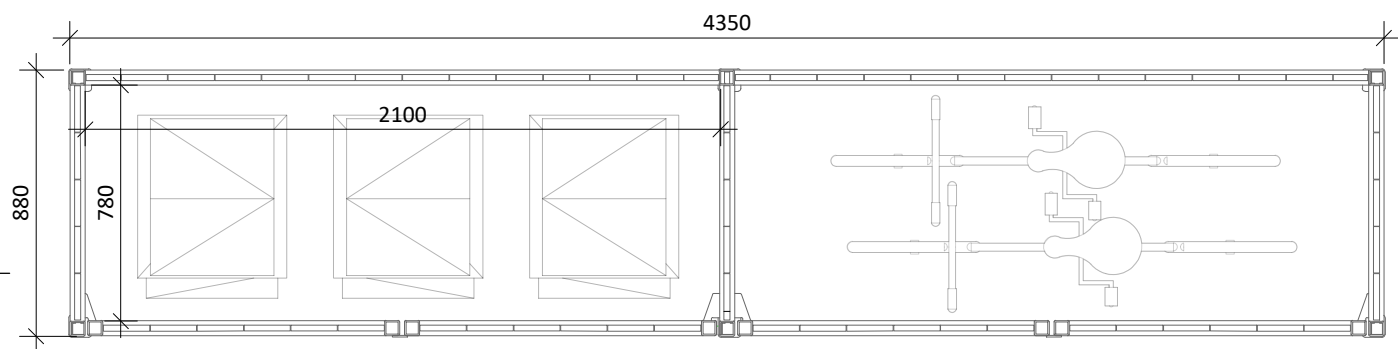
Scale NTS @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Orig. No. 22040/P/005	Revision P1	
<input type="checkbox"/> Information   Comments			<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning			<input type="checkbox"/> Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



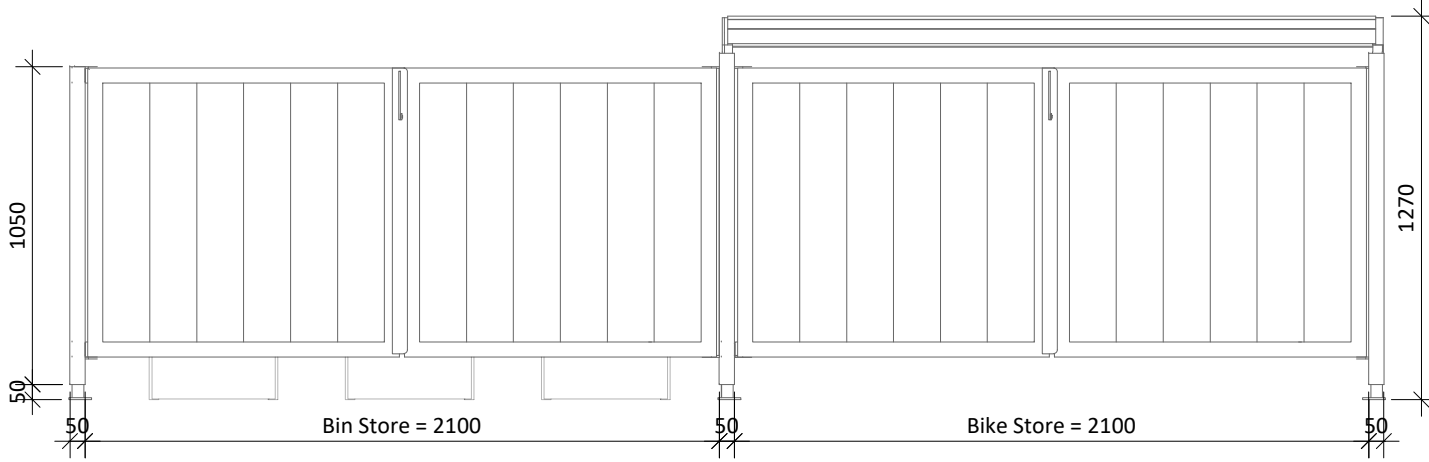
**Roof Plan**

Scale 1:25@A3



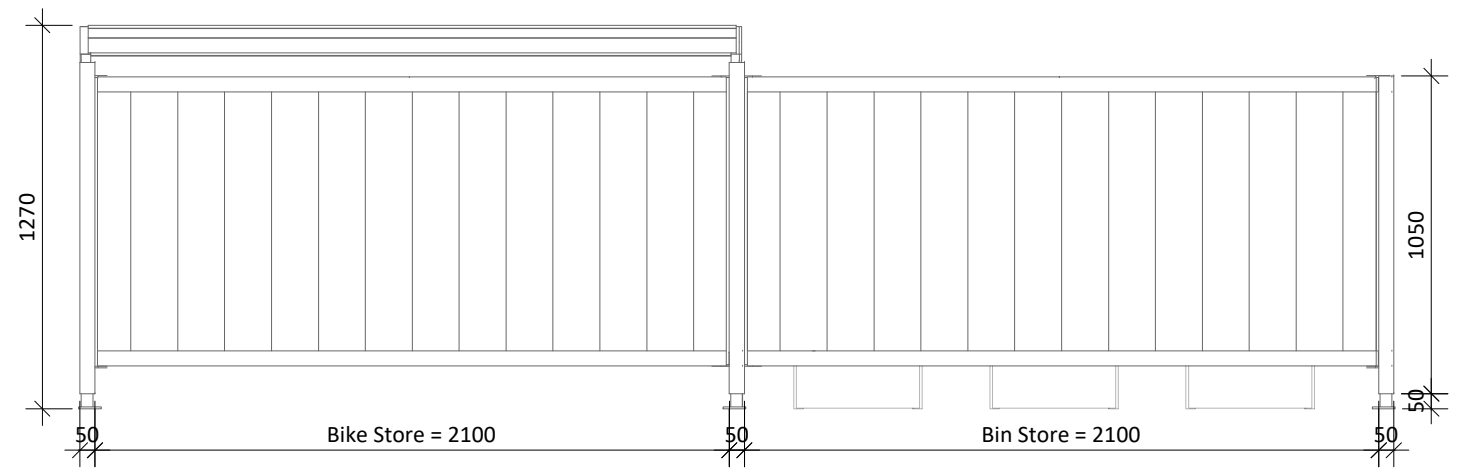
**Plan**

Scale 1:25@A3



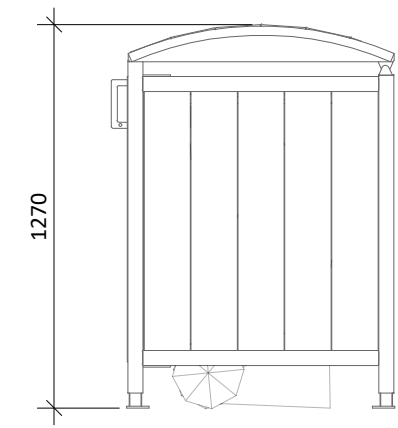
**Front Elevation**

Scale 1:25@A3



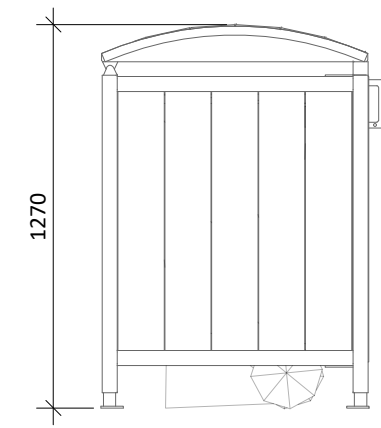
**Rear Elevation**

Scale 1:25@A3



**Side Elevation**

Scale 1:25@A3



**Side Elevation**

Scale 1:25@A3



**Key Plan**

NTS @ A3

**KEY**

- BIN & BIKE STORE (4no)
- BIKE STORE ONLY (3no)  
*(masonry bin store adjacent the entrance door in these locations)*

**Note:** units with direct access to a GF private amenity space can utilise this for bin/bike storage

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING

**DEADY GAHAN ARCHITECTS**

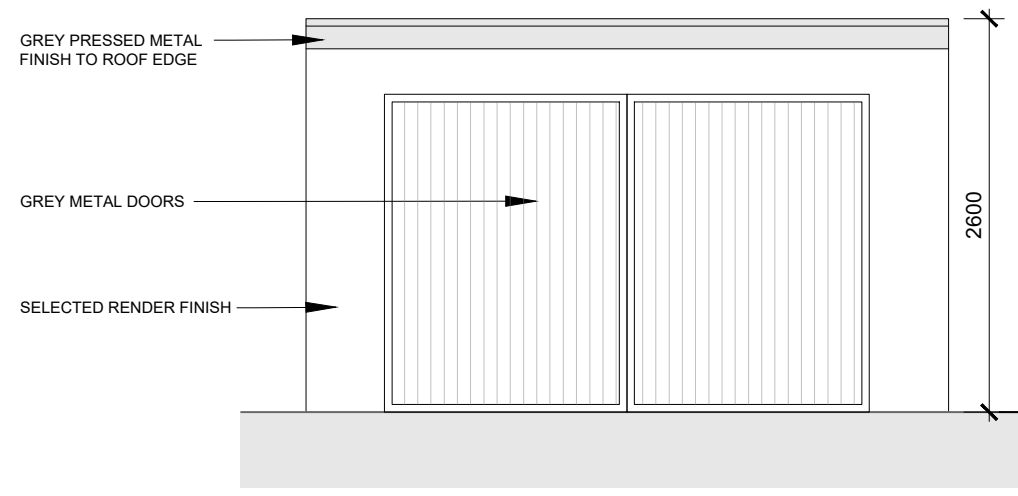
EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

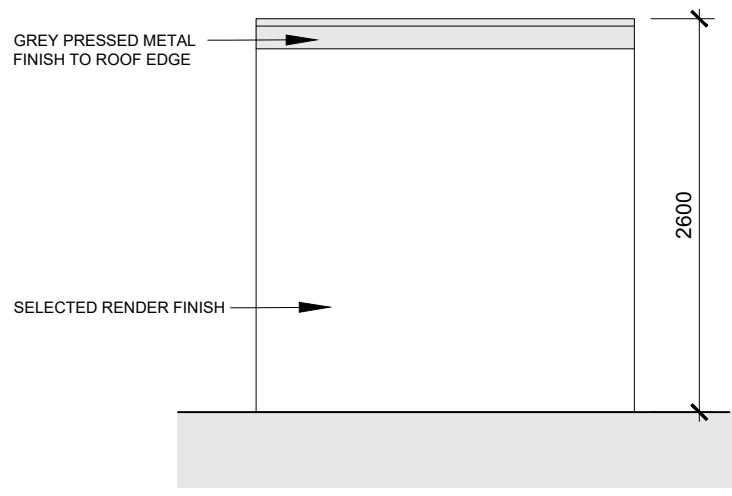
Drawing title BIN & BIKE STORE			
Scale 1:25 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P/006A	Revision P1	
<input type="checkbox"/> Information / Comments	<input type="checkbox"/> Tender		<input type="checkbox"/>
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction		<input type="checkbox"/>

**BIKE STORE ENCLOSURE (16no bike spaces)**

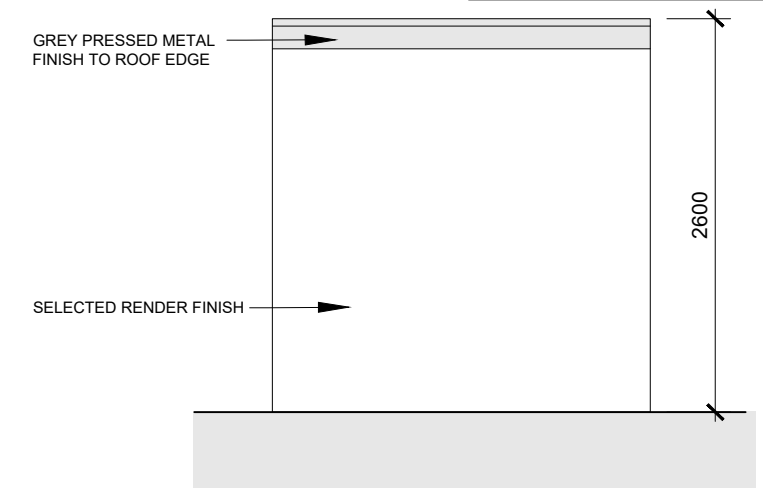
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



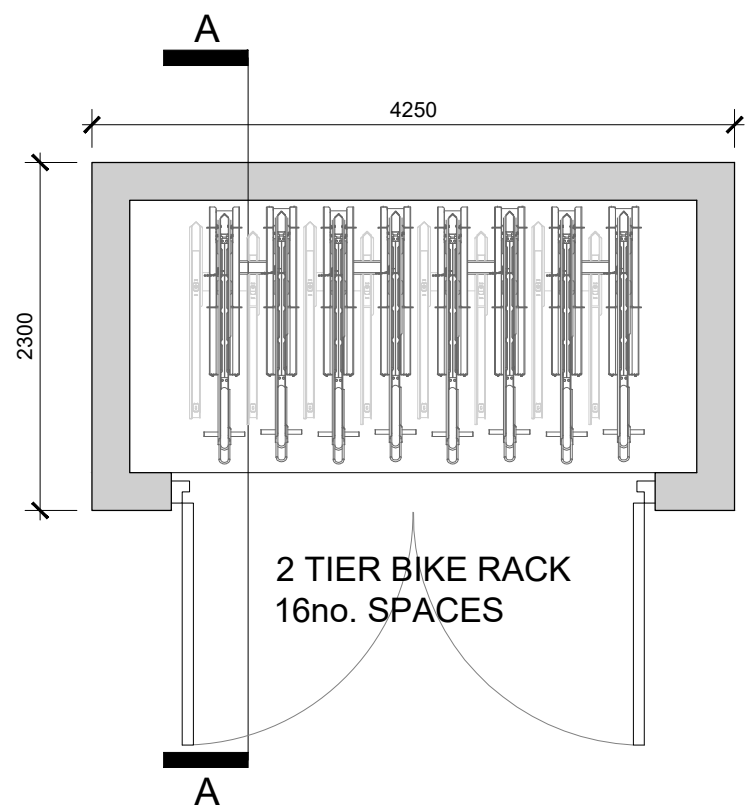
**FRONT ELEVATION**  
SCALE 1:50 @ A3



**SIDE ELEVATION**  
SCALE 1:50 @ A3

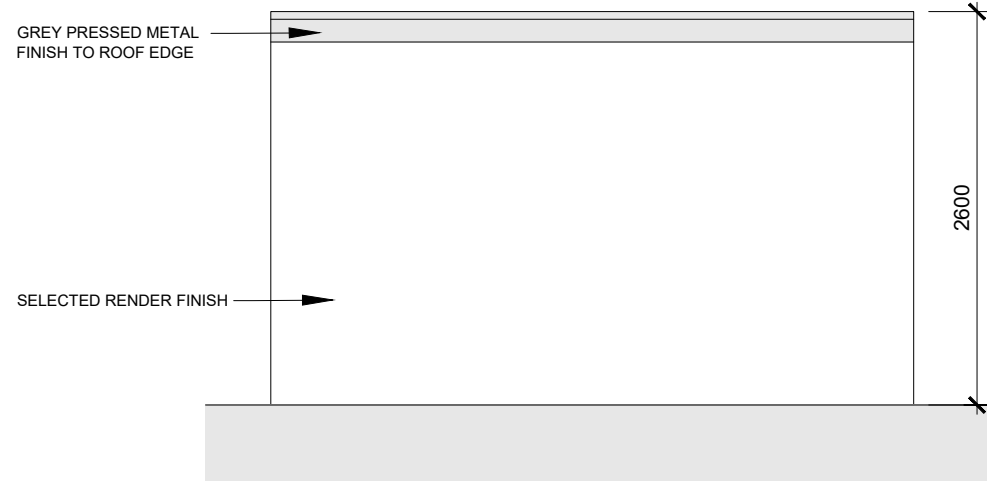


**SIDE ELEVATION**  
SCALE 1:50 @ A3

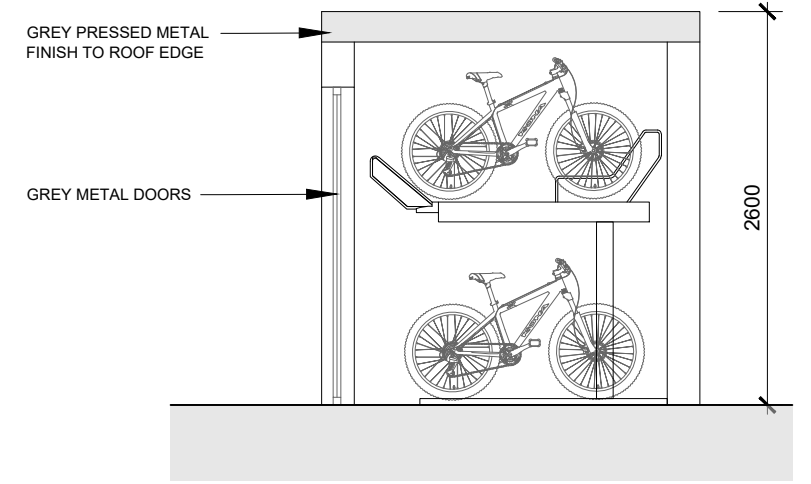


**2 TIER BIKE RACK**  
**16no. SPACES**

**PLAN**  
SCALE 1:50 @ A3



**REAR ELEVATION**  
SCALE 1:50 @ A3



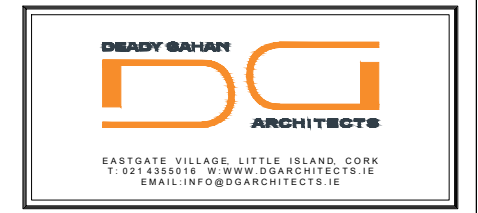
**SECTION A-A**  
SCALE 1:50 @ A3

APARTMENTS BIKE PARKING SCHEDULE	
4no FF 1B apartment units x 1.5 spaces = 6	
6no FF 2B apartment units x 2.5 spaces = 15	
<i>(these are apartments without direct access to a GF private amenity space for bike storage)</i>	
<b>- 21no. bike spaces required in total</b>	
<b>1</b>	16 no. spaces (In secure enclosure)
<b>2</b>	6 no. visitors spaces (Covered)
<b>TOTAL APARTMENT BIKE PARKING SPACES PROVIDED = 22no.</b>	
**This is in line with the bike parking standards in the 2022 Apartment Guidelines	



**Key Plan**  
NTS @ A3

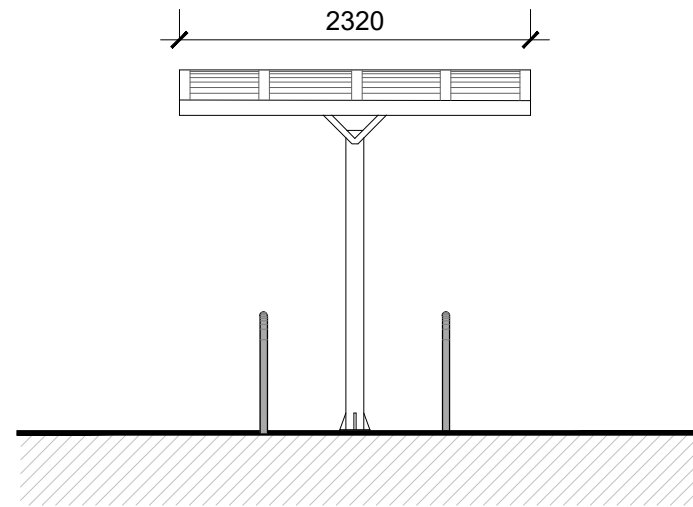
date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



Project  
PROPOSED RESIDENTIAL DEVELOPMENT AT  
AN TAMHNAIGH, CLONAKILTY,  
CO. CORK.

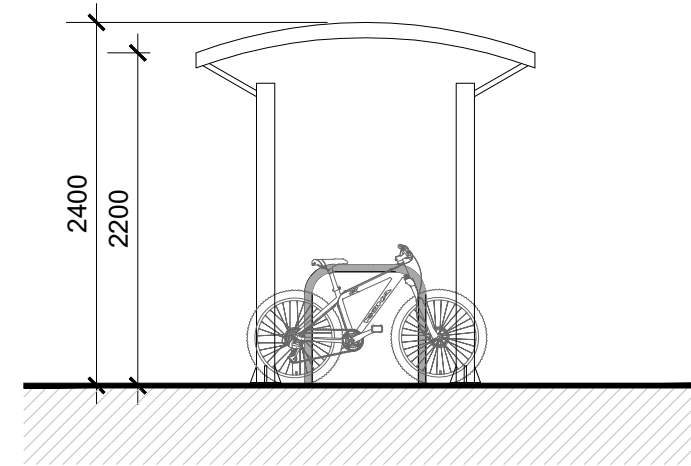
Drawing title  
BIKE STORE

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P/006B	Revision P1	Tender <input type="checkbox"/>
Information / Comments <input type="checkbox"/>			Construction <input type="checkbox"/>



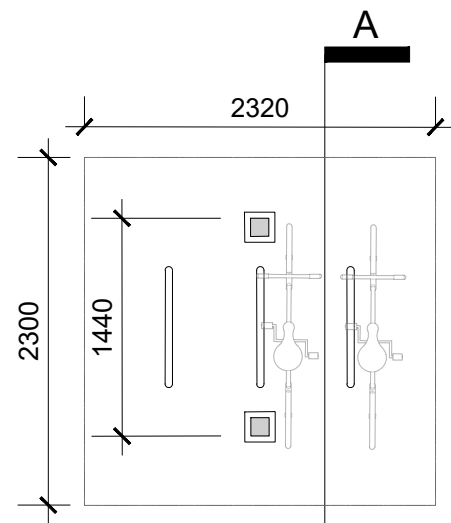
**FRONT/REAR ELEVATION**

SCALE 1:50 @ A3



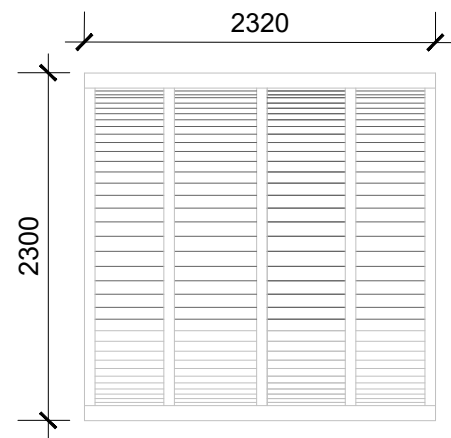
**SECTION A-A**

SCALE 1:50 @ A3



**PLAN**

SCALE 1:50 @ A3



**ROOF PLAN**

SCALE 1:50 @ A3



**Key Plan**

NTS @ A3

**APARTMENTS BIKE PARKING SCHEDULE**

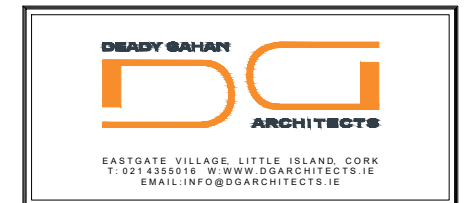
4no FF 1B apartment units x 1.5 spaces = 6  
6no FF 2B apartment units x 2.5 spaces = 15  
*(these are apartments without direct access to a GF private amenity space for bike storage)*  
**- 21no. bike spaces required in total**

- ① 16 no. spaces (In secure enclosure)
- ② 6 no. visitors spaces (Covered)

**TOTAL APARTMENT BIKE PARKING SPACES PROVIDED = 22no.**

**\*\*This is in line with the bike parking standards in the 2022 Apartment Guidelines**

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



Project  
PROPOSED RESIDENTIAL DEVELOPMENT AT  
AN TAMHNAIGH, CLONAKILTY,  
CO. CORK.

Drawing title  
BIKE STORE

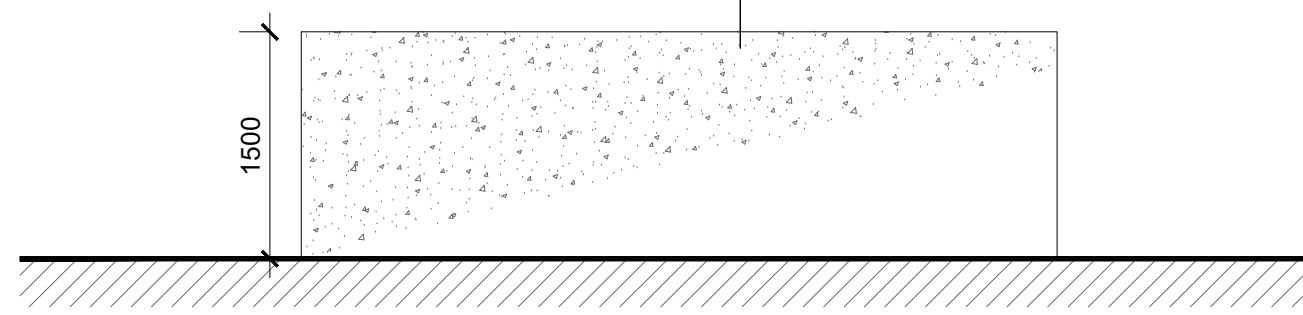
Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
--------------------	-------------	----------------	------------------

Project No. 22040	Dwg. No. 22040/P1/006C	Revision P1	Tender
----------------------	---------------------------	----------------	--------

<input type="checkbox"/> Information   Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

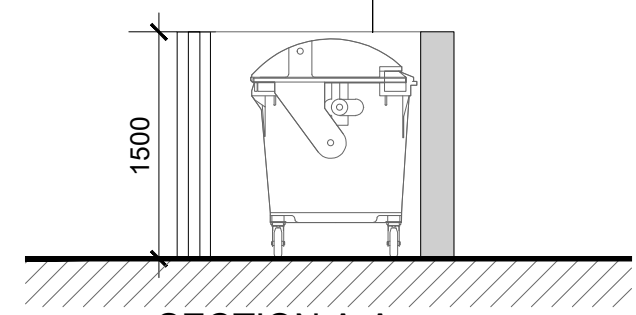
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

CONCRETE BLOCK WALL  
 WITH SMOOTH PLASTER FINISH



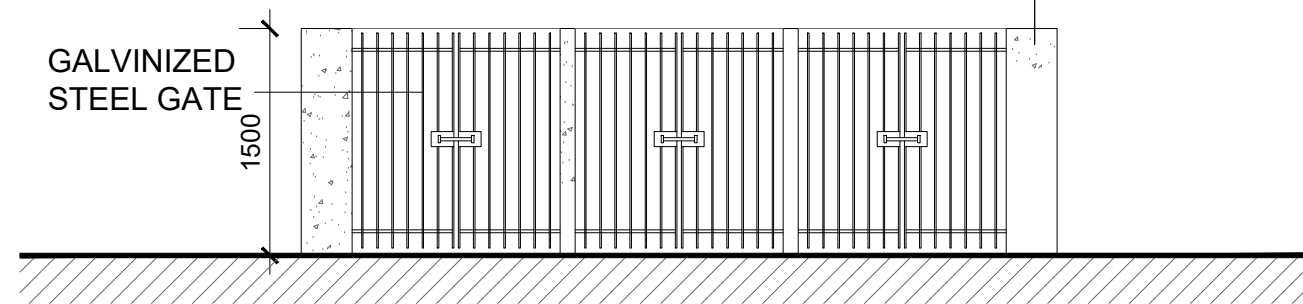
**REAR ELEVATION**  
 Scale 1:50

CONCRETE BLOCK WALL  
 WITH SMOOTH PLASTER FINISH



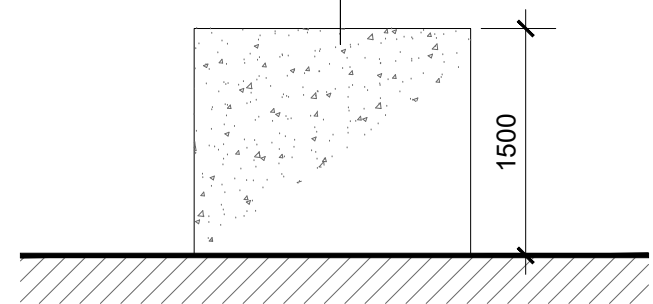
**SECTION A-A**  
 Scale 1:50

CONCRETE BLOCK WALL  
 WITH SMOOTH PLASTER FINISH

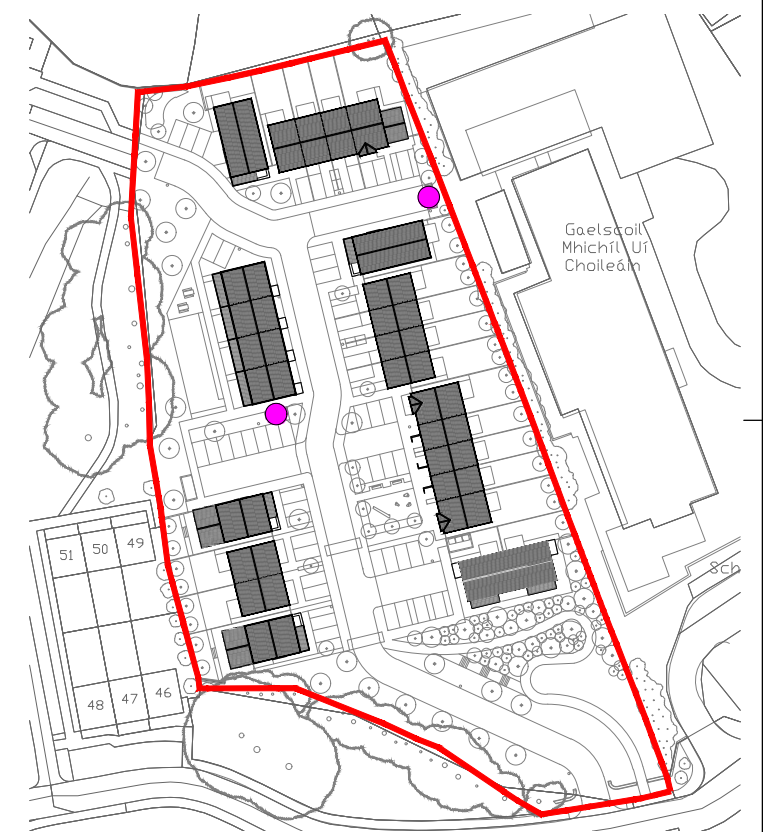


**FRONT ELEVATION**  
 Scale 1:50

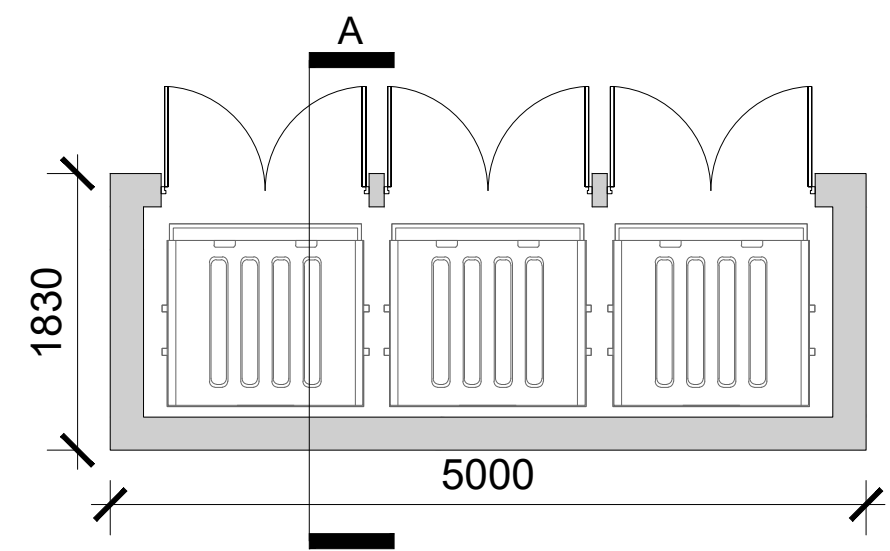
CONCRETE BLOCK WALL  
 WITH SMOOTH PLASTER FINISH



**SIDE ELEVATION**  
 Scale 1:50

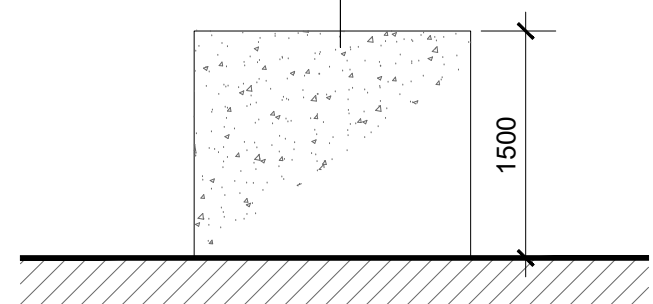


**Key Plan**  
 NTS @ A3



**PLAN**  
 Scale 1:50

CONCRETE BLOCK WALL  
 WITH SMOOTH PLASTER FINISH



**SIDE ELEVATION**  
 Scale 1:50

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING

**DEADY GAHAN**  
**ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

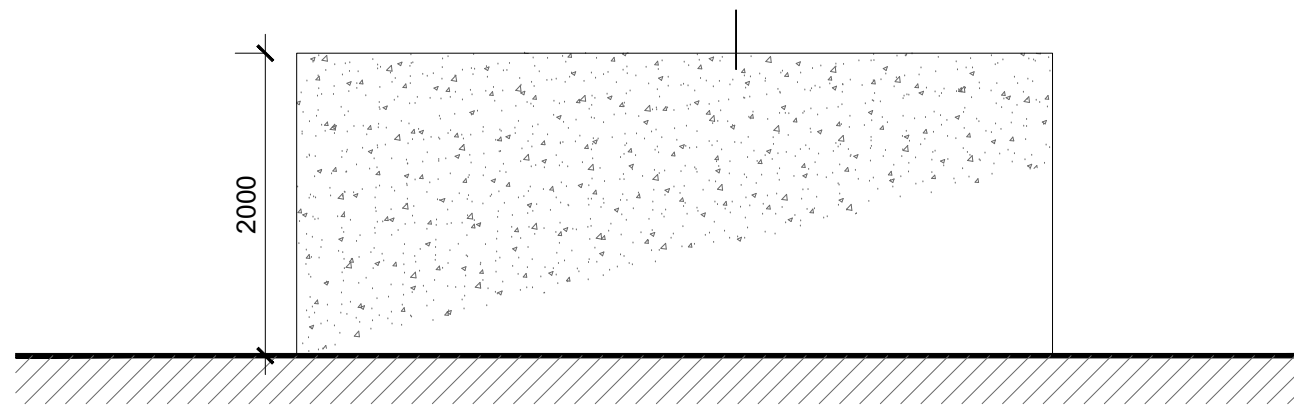
Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

Drawing title  
 BIN STORE

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
Project No. 22040	Dwg. No. 22040/P/000D	Revision P1	
<input type="checkbox"/> Information / Comments <input checked="" type="checkbox"/> Planning			<input type="checkbox"/> Tender <input type="checkbox"/> Construction

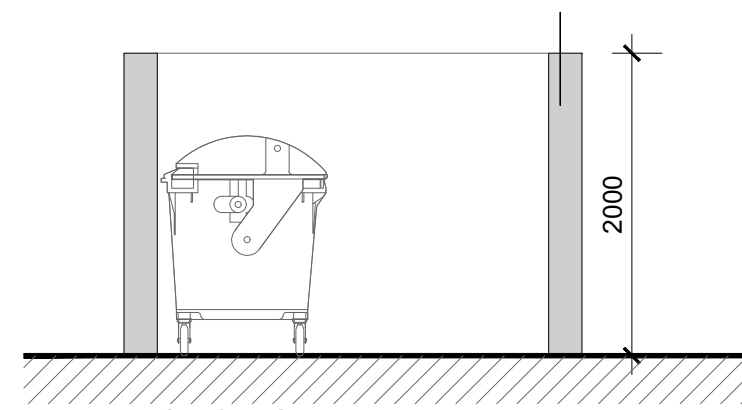
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

CONCRETE BLOCK WALL WITH SMOOTH  
 PLASTER FINISH WHERE REQUIRED



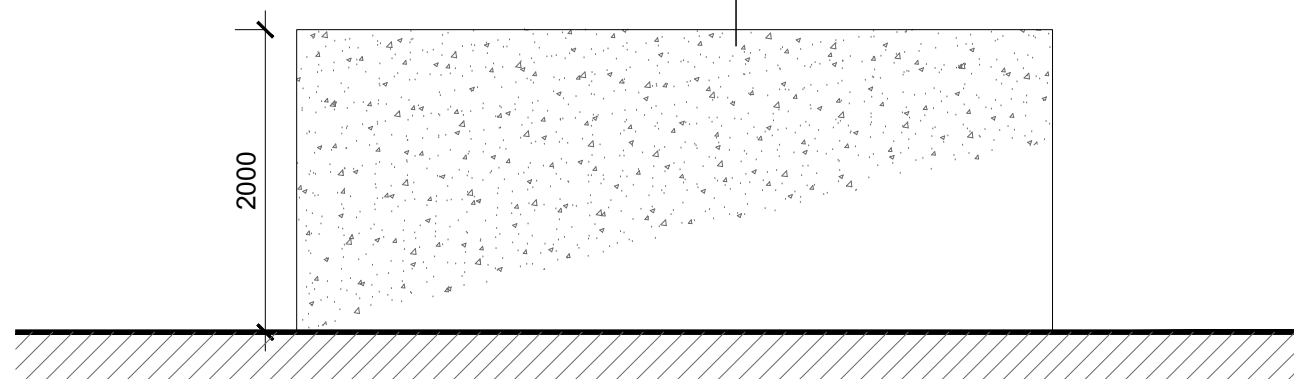
**REAR ELEVATION**  
 Scale 1:50

CONCRETE BLOCK WALL WITH SMOOTH  
 PLASTER FINISH WHERE REQUIRED



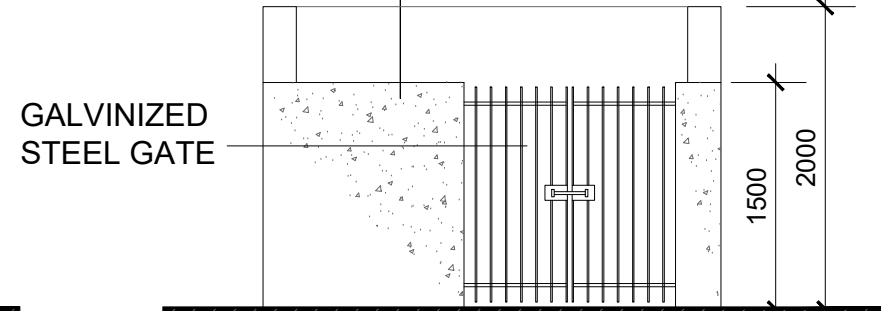
**SECTION A-A**  
 Scale 1:50

CONCRETE BLOCK WALL WITH SMOOTH  
 PLASTER FINISH WHERE REQUIRED



**FRONT ELEVATION**  
 Scale 1:50

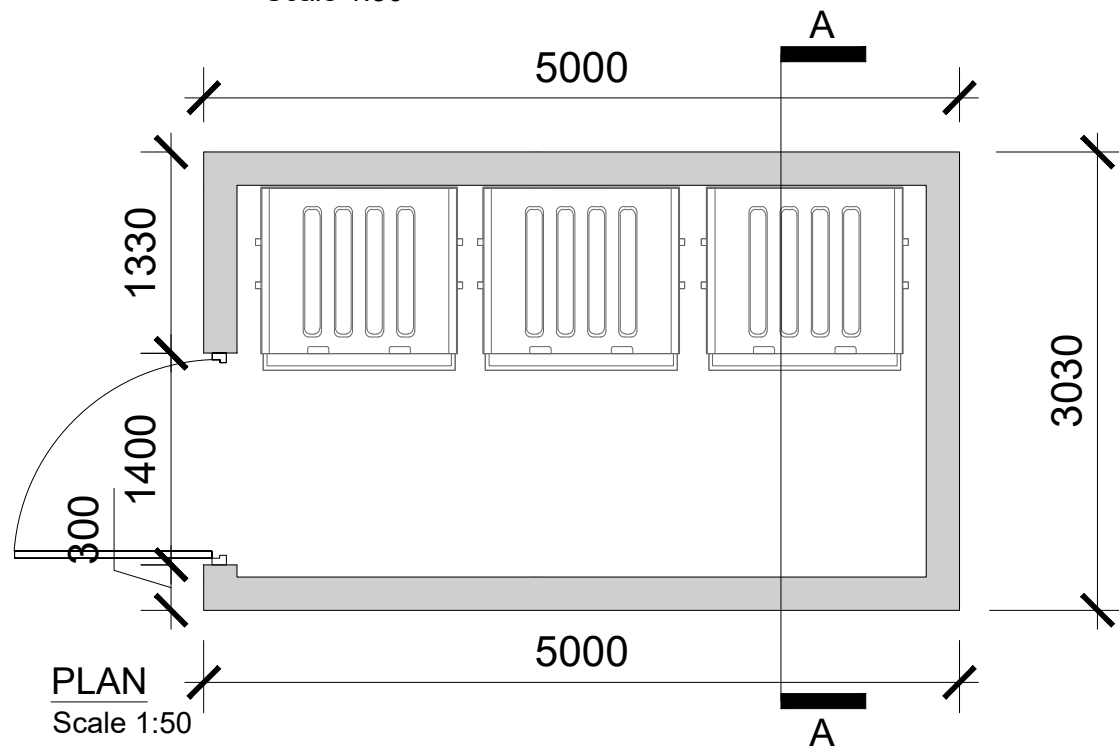
CONCRETE BLOCK WALL  
 WITH SMOOTH PLASTER FINISH



**SIDE ELEVATION**  
 Scale 1:50

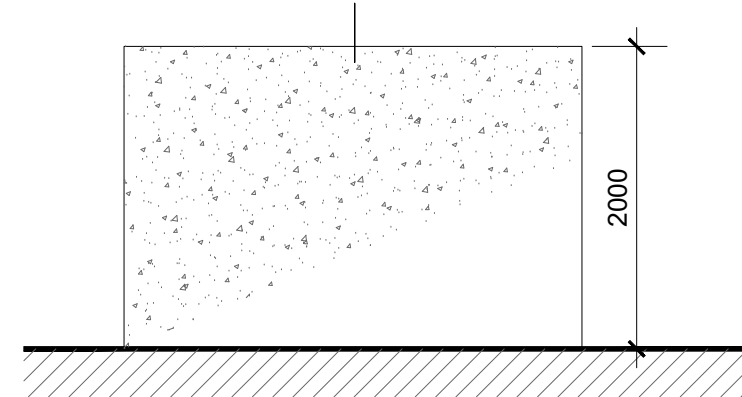


**Key Plan**  
 NTS @ A3



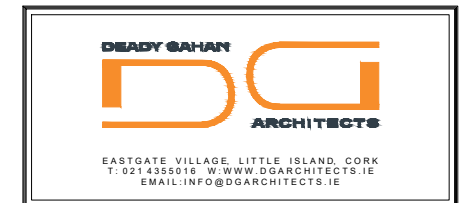
**PLAN**  
 Scale 1:50

CONCRETE BLOCK WALL WITH SMOOTH  
 PLASTER FINISH WHERE REQUIRED



**SIDE ELEVATION**  
 Scale 1:50

date	rev	name	chk	note
20.11.23	P1	LM	EJG	ISSUE FOR PLANNING



Project  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 AN TAMHNAIGH, CLONAKILTY,  
 CO. CORK.

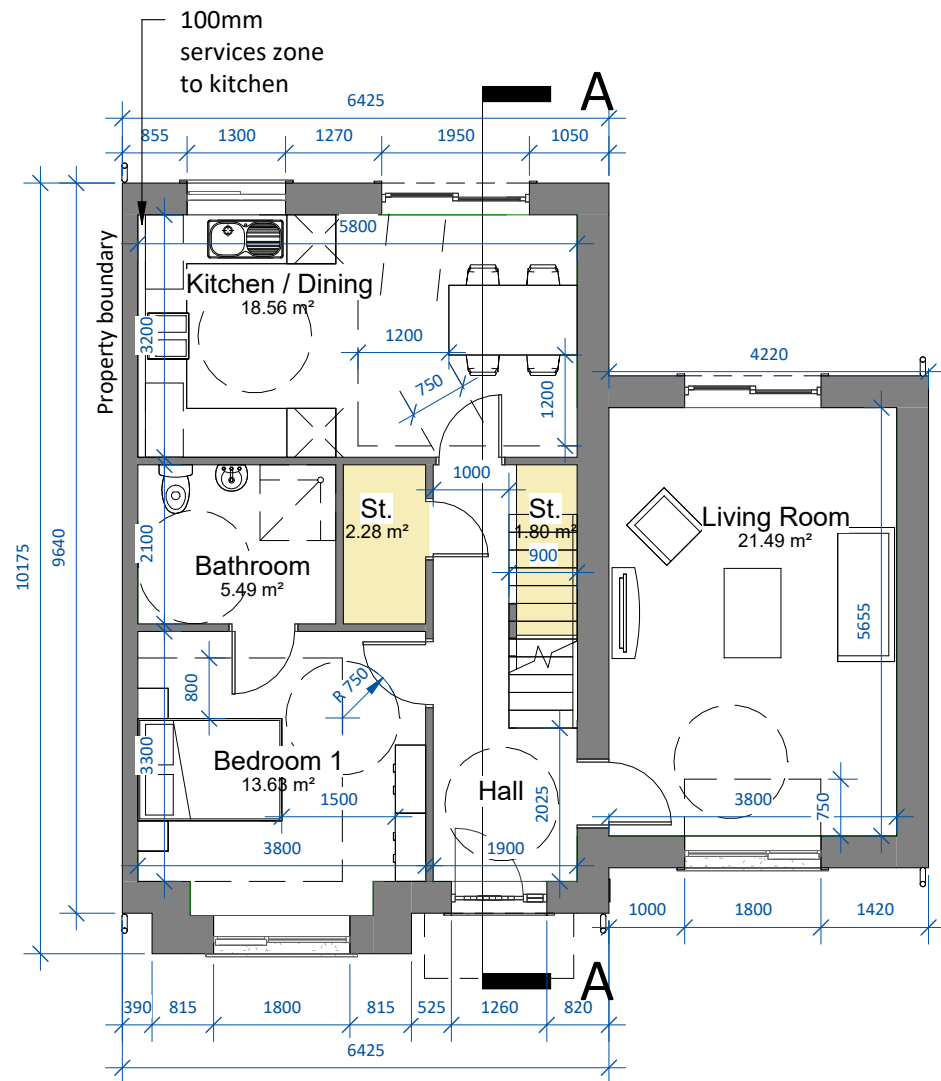
Drawing title  
 BIN STORE

Scale 1:50 @ A3	Drawn LM	Checked EJG	Date 02.11.23
--------------------	-------------	----------------	------------------

Project No. 22040	Dwg. No. 22040/P/006E	Revision P1
----------------------	--------------------------	----------------

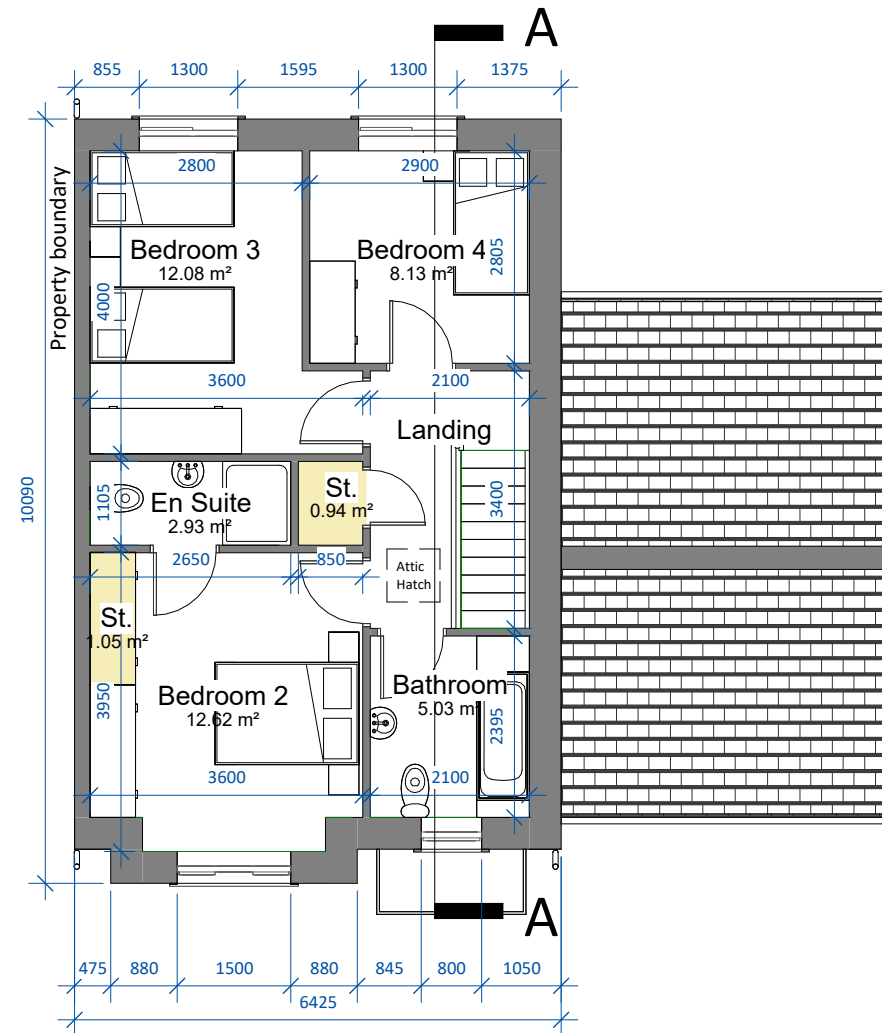
Information | Comments | Tender | Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



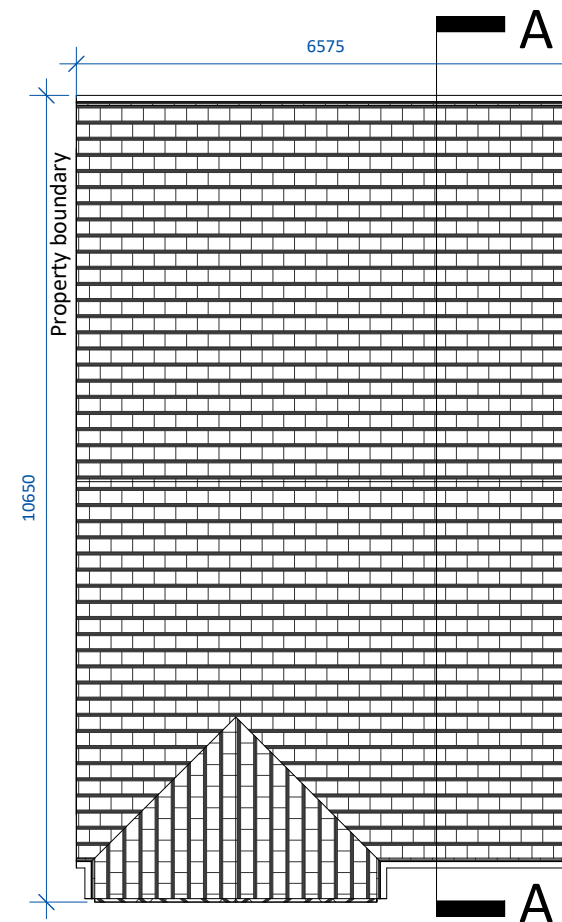
00 Ground Floor Plan

SCALE 1 : 100



01 First Floor Plan

SCALE 1 : 100



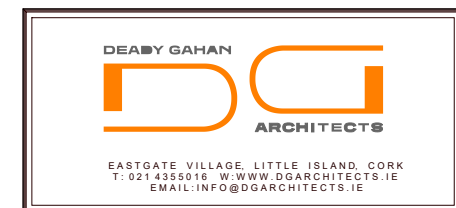
02 Attic Level

SCALE 1 : 100

Area Schedule	
Name	Area

Ground Floor Plan	69.43 m <sup>2</sup>
First Floor Plan	52.13 m <sup>2</sup>
	121.56 m <sup>2</sup>

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



Project  
 Proposed Residential Development  
 An Tammhnaigh, Clonakilly,  
 Co Cork

Drawing title  
 Unit Type A1\_4-Bed Housetype, Floor Plans

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	15/02/23
Project No.	Drwg. No.	Revision	
22040	22040 / P / 101	P1	

<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

**UNIT TYPE A1; 4 BED HOUSE (Accessible GF)**

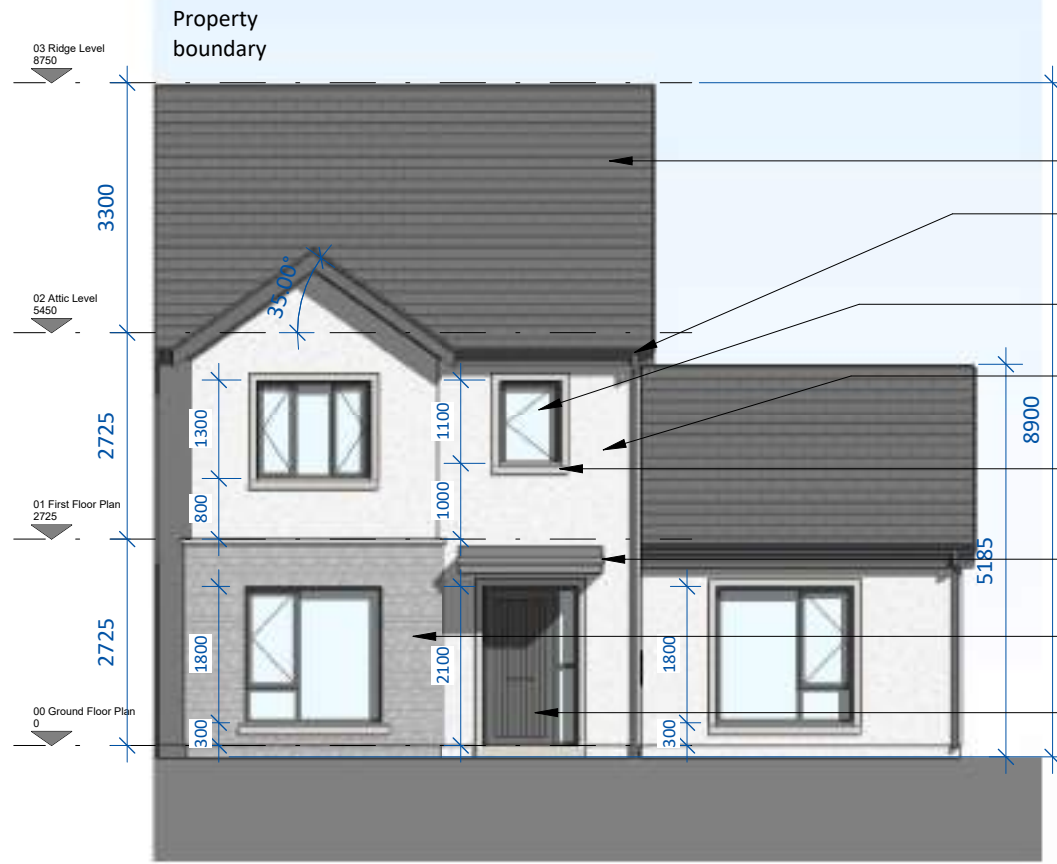
4-bed semi d. (7 person)

AREA: 121.56 SQ.M

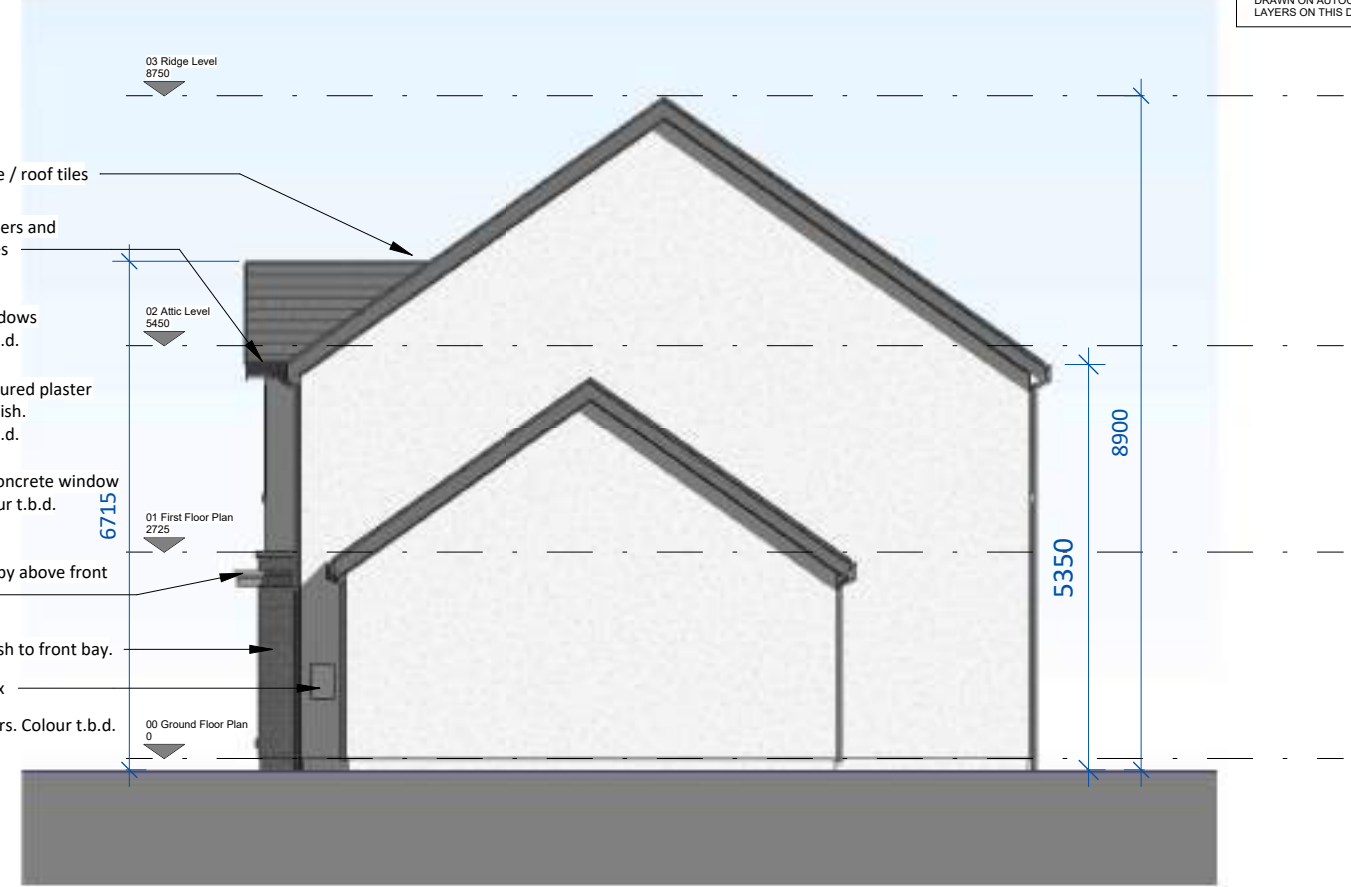
STORAGE tot. 6.07sq.m

Note: See Site Plan 22040/P/003 for orientation and FFL.

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5

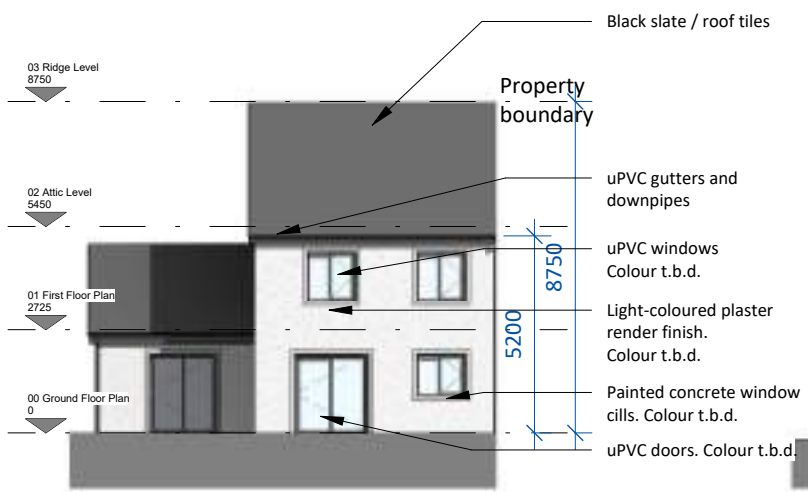


- Black slate / roof tiles
- uPVC gutters and downpipes
- uPVC windows Colour t.b.d.
- Light-coloured plaster render finish. Colour t.b.d.
- Painted concrete window cills. Colour t.b.d.
- Zinc canopy above front door.
- Stone finish to front bay.
- Meter box
- uPVC doors. Colour t.b.d.

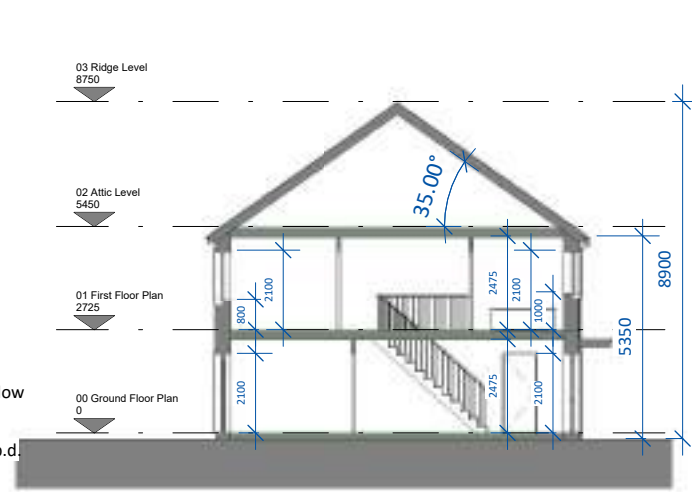


Front Elevation  
 SCALE 1 : 100

Side Elevation  
 SCALE 1 : 100



Rear Elevation  
 SCALE 1 : 200



Section A-A  
 SCALE 1 : 200



Perspective View

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN**  
**ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

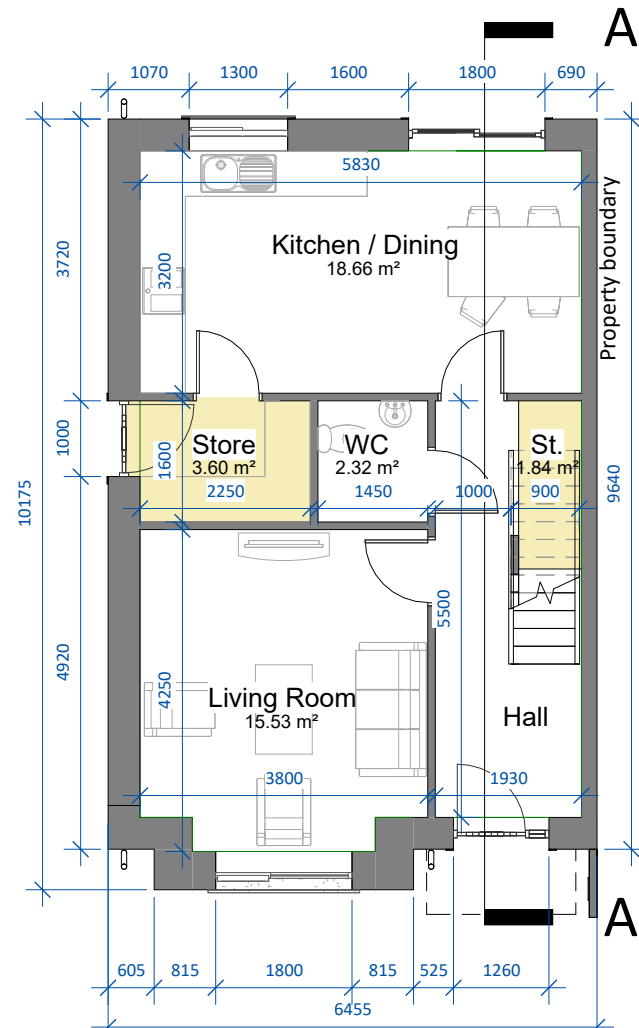
Project  
 Proposed Residential Development  
 An Tamhnaigh, Clonakilty,  
 Co Cork

Drawing title  
 Unit Type A1\_4 Bed Housetype, Elevations and Section

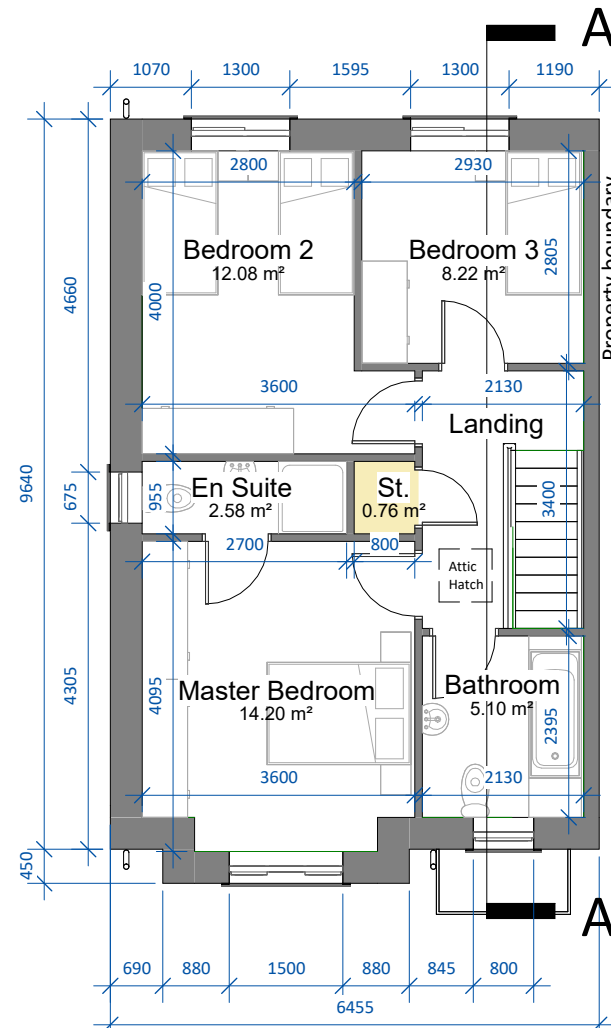
Scale As indicated @ A3	Drawn MP	Checked EJG	Date 28/02/23
Project No. 22040	Dwg. No. 22040 / P / 102		Revision P1

<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

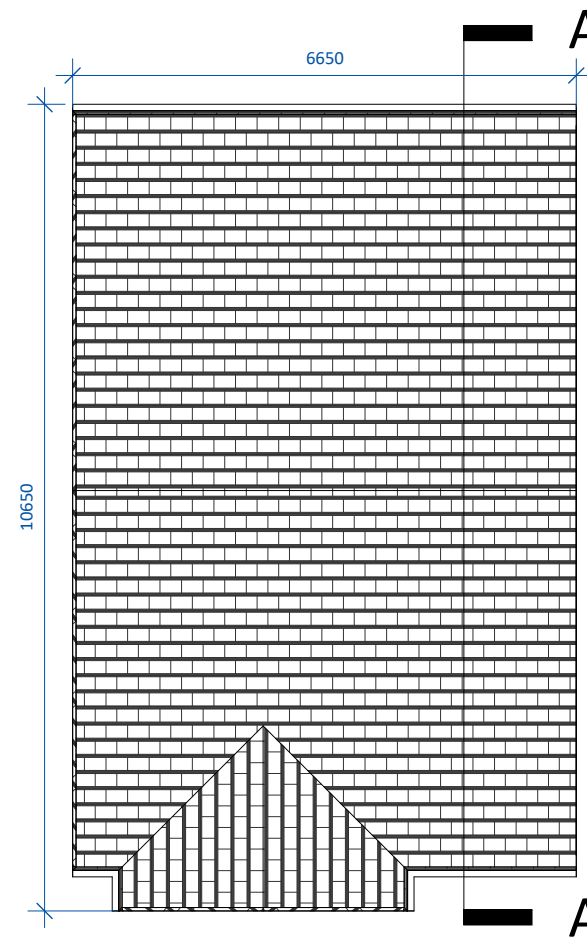




**00 Ground Floor Plan**  
 SCALE 1 : 100



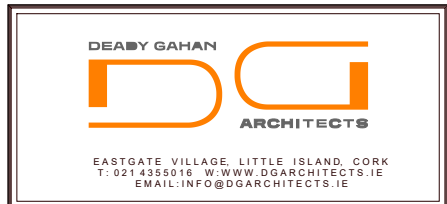
**01 First Floor Plan**  
 SCALE 1 : 100



**02 Attic Level**  
 SCALE 1 : 100

Area Schedule	
Name	Area
Ground Floor Plan	52.127 m <sup>2</sup>
First Floor Plan	52.127 m <sup>2</sup>
	104.254 m <sup>2</sup>

date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING



Project  
 Proposed Residential Development  
 An Tammhaigh, Clonakilly,  
 Co Cork

Drawing title  
 Unit Type B1\_3-Bed Housetype, Floor Plans

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	28/02/23
Project No.	Drw. No.	Revision	
22040	22040 / P / 201	P1	

Information \ Comments  Tender   
 Planning  Construction

**UNIT TYPE B1; 3 BED HOUSE-TYPE**

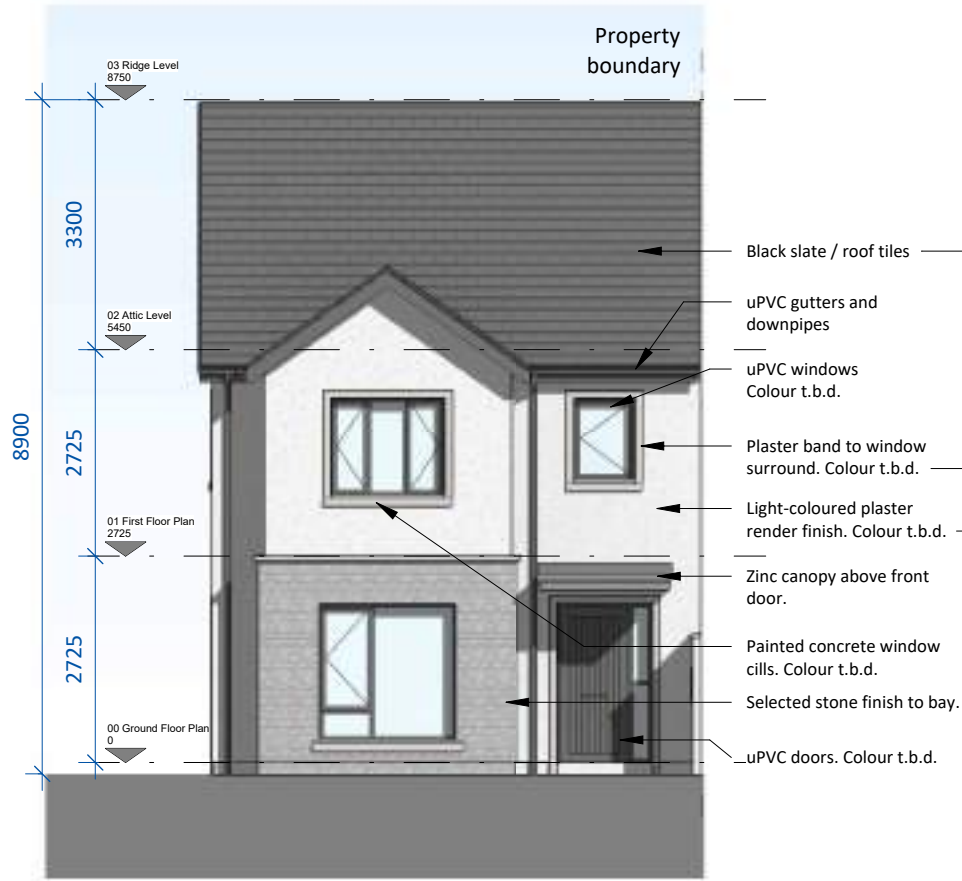
3-bed semi d. (5 person)

AREA: 104.25 SQ.M

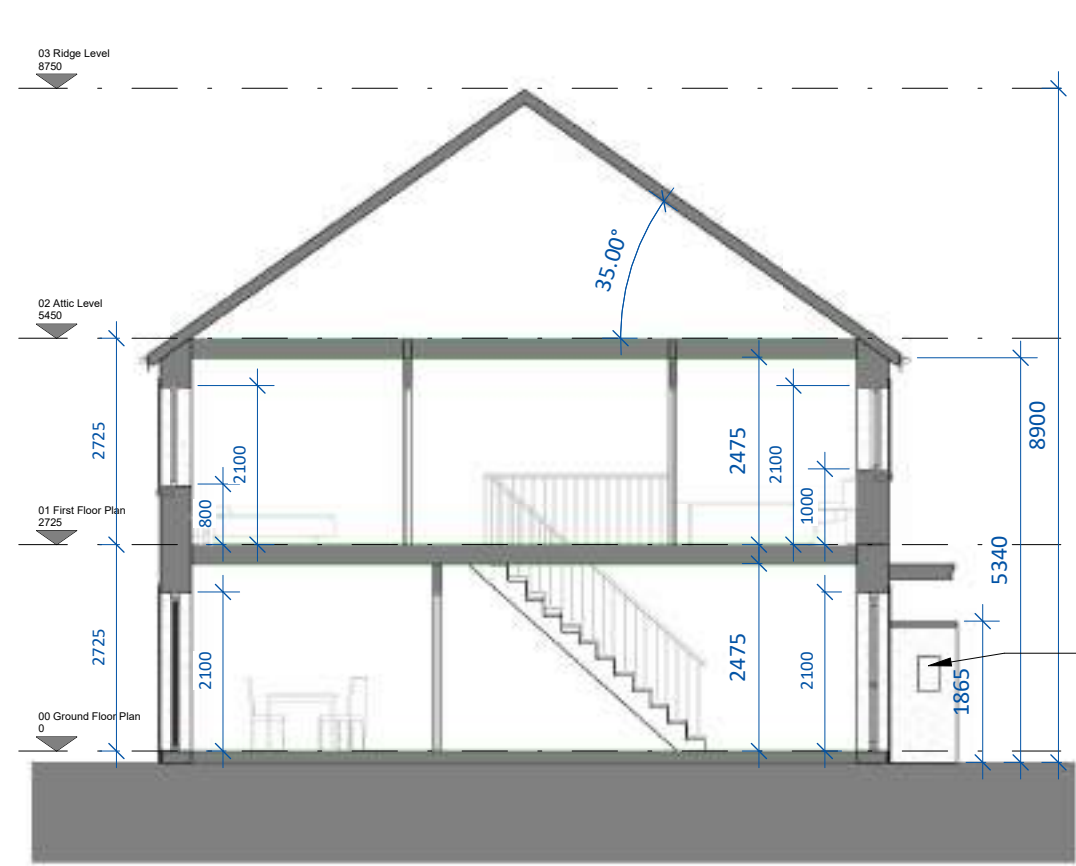
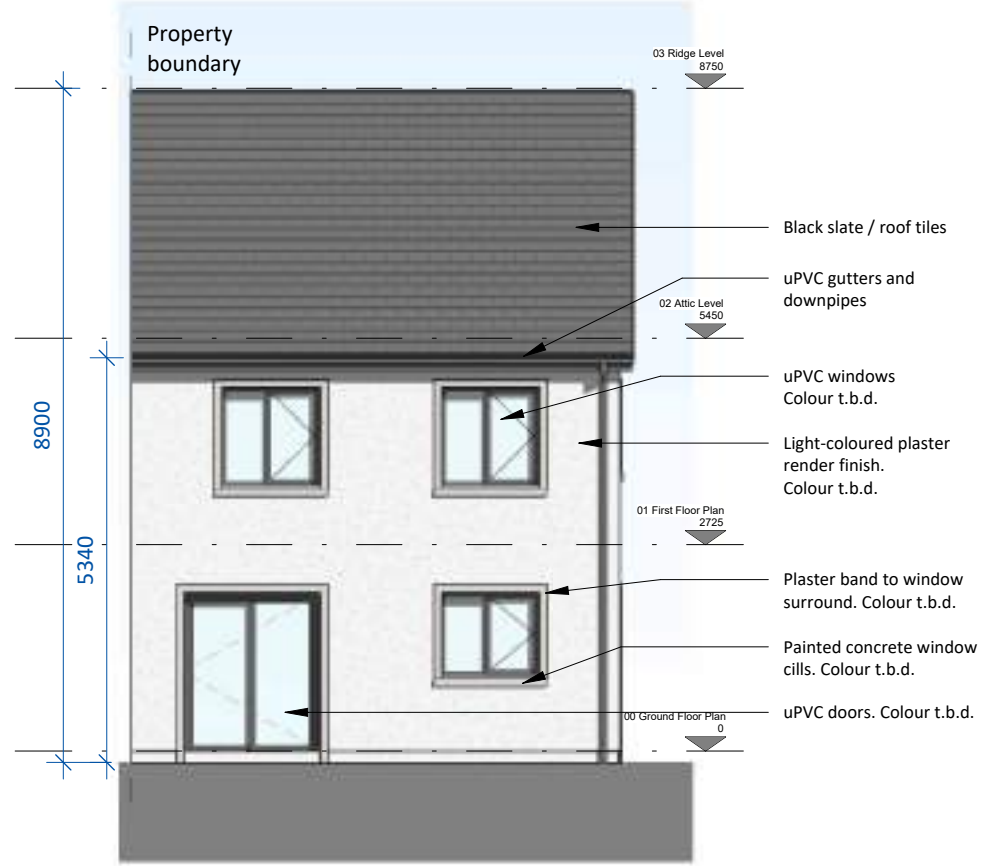
STORAGE tot. 6.20sq.m

Note: Position of north point and levels vary.  
 See Site Plan 22040/P/003 for orientation and F.F.L.

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Perspective View



date	rev	name	chk	note
22.11.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN**  
**DG**  
**ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

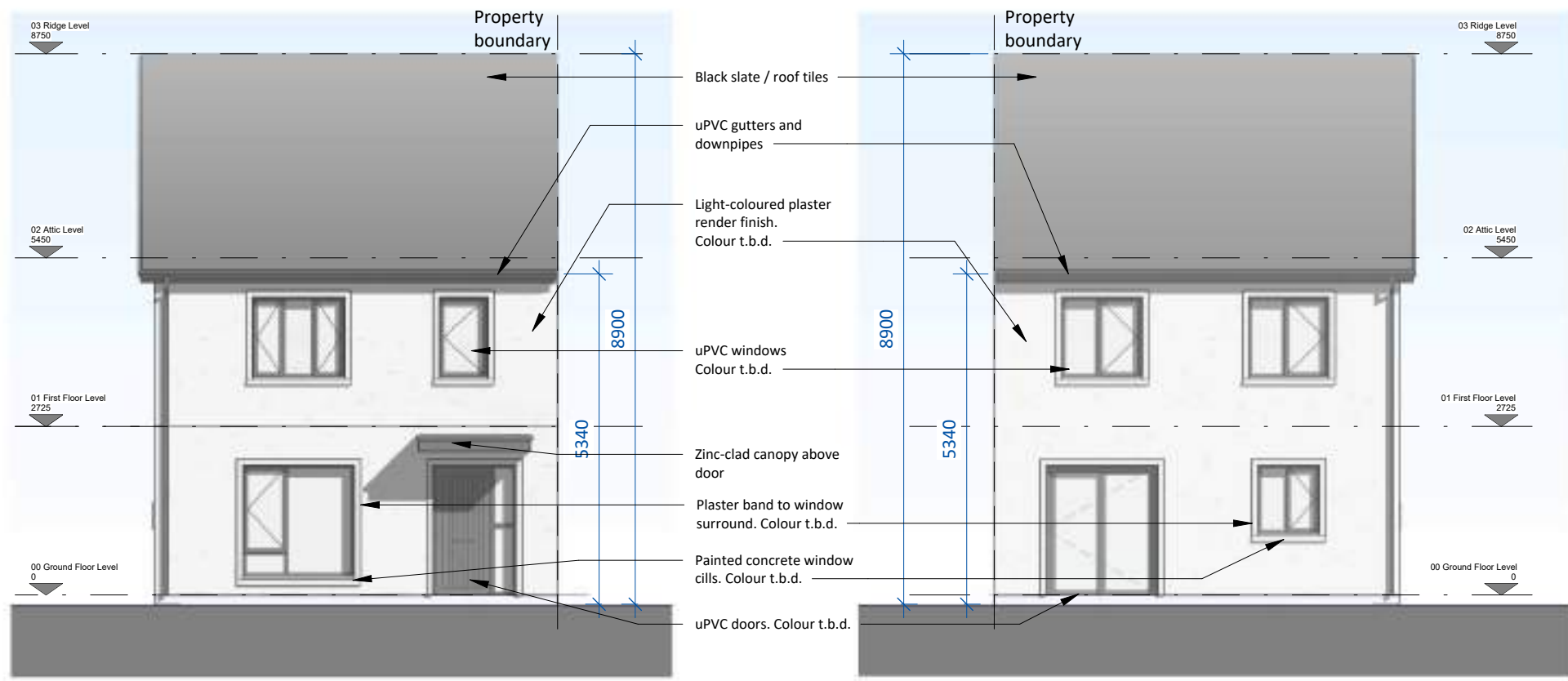
Project  
 Proposed Residential Development  
 An Tamhnaigh, Clonakilty,  
 Co Cork

Drawing title  
 Unit Type B1\_3 Bed Housetype, Elevations and Section

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	28/02/23
Project No.	Drwg. No.	Revision	
22040	22040 / P / 202	P1	

<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction

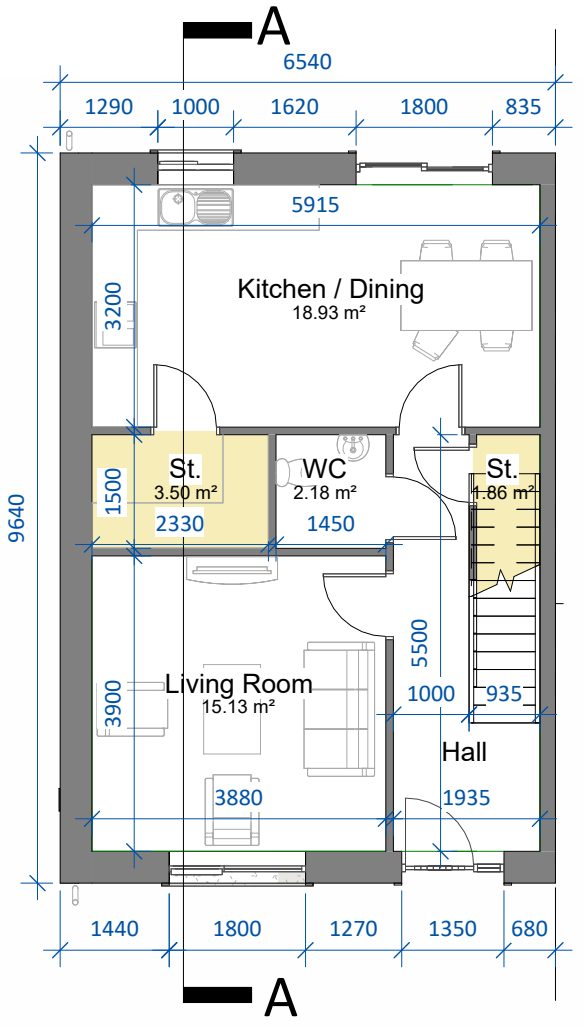
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



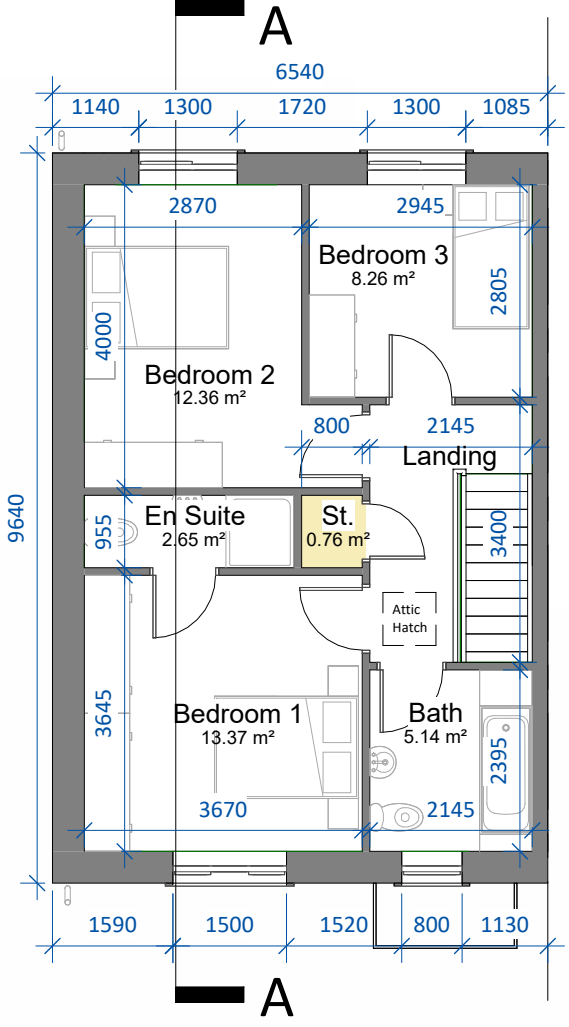
Perspective Image

Front Elevation  
 SCALE 1 : 100

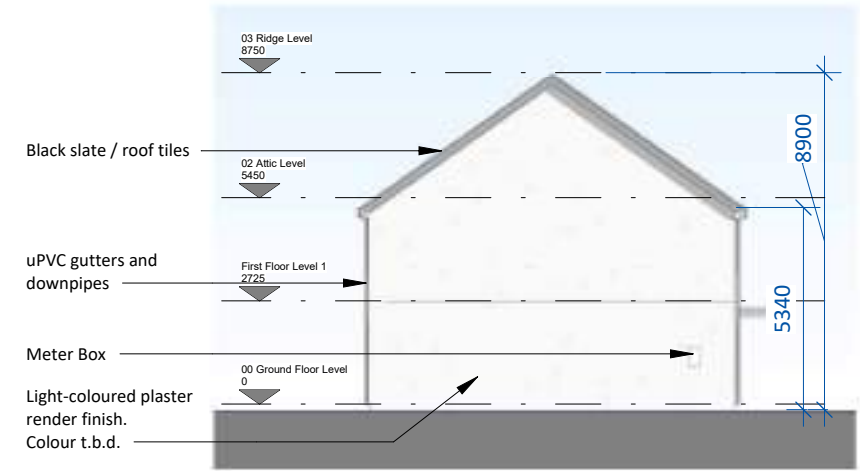
Rear Elevation  
 SCALE 1 : 100



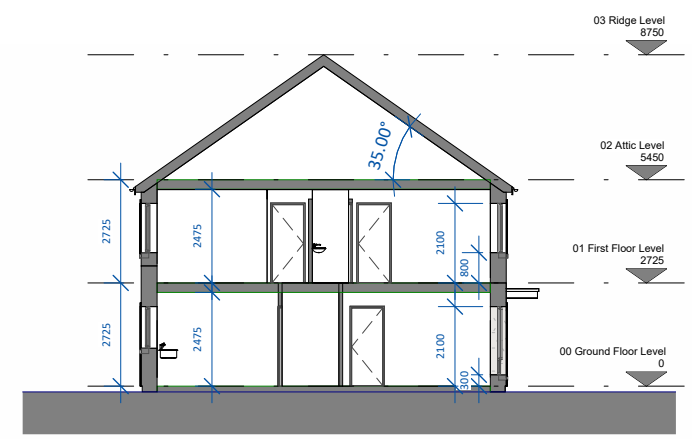
Ground Floor Plan  
 SCALE 1 : 100



First Floor Plan  
 SCALE 1 : 100



Side Elevation 1  
 SCALE 1 : 200



Section A-A  
 SCALE 1 : 200

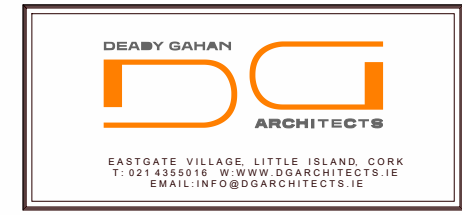
**Area Schedule (Gross Building) Copy 1**

Name	Area
0 Ground Floor Plan	52.05 m <sup>2</sup>
1 First Floor Plan	52.05 m <sup>2</sup>

Note: Position of north point and levels vary.  
 See Site Plan 22040/P/003 for orientation and F.F.L.

**UNIT TYPE B2**  
 3-bed house (5 person)  
 AREA: 104.1 SQ.M  
 STORAGE tot. 6.12sq.m

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



Project  
 Proposed residential development  
 At An Tamhnaigh  
 Clonakilty, Co Cork

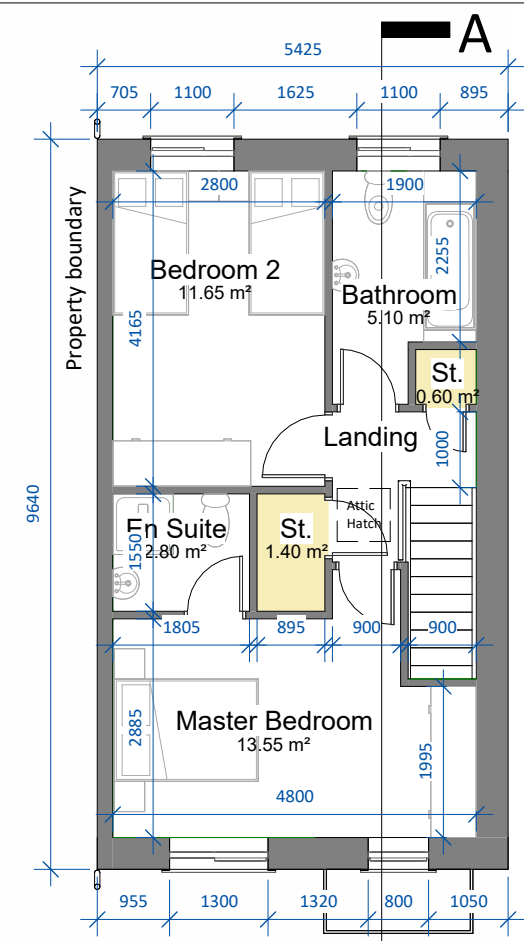
Drawing title  
 Unit Types B2, Plans, Elevations and Section A-A

Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	24/02/23

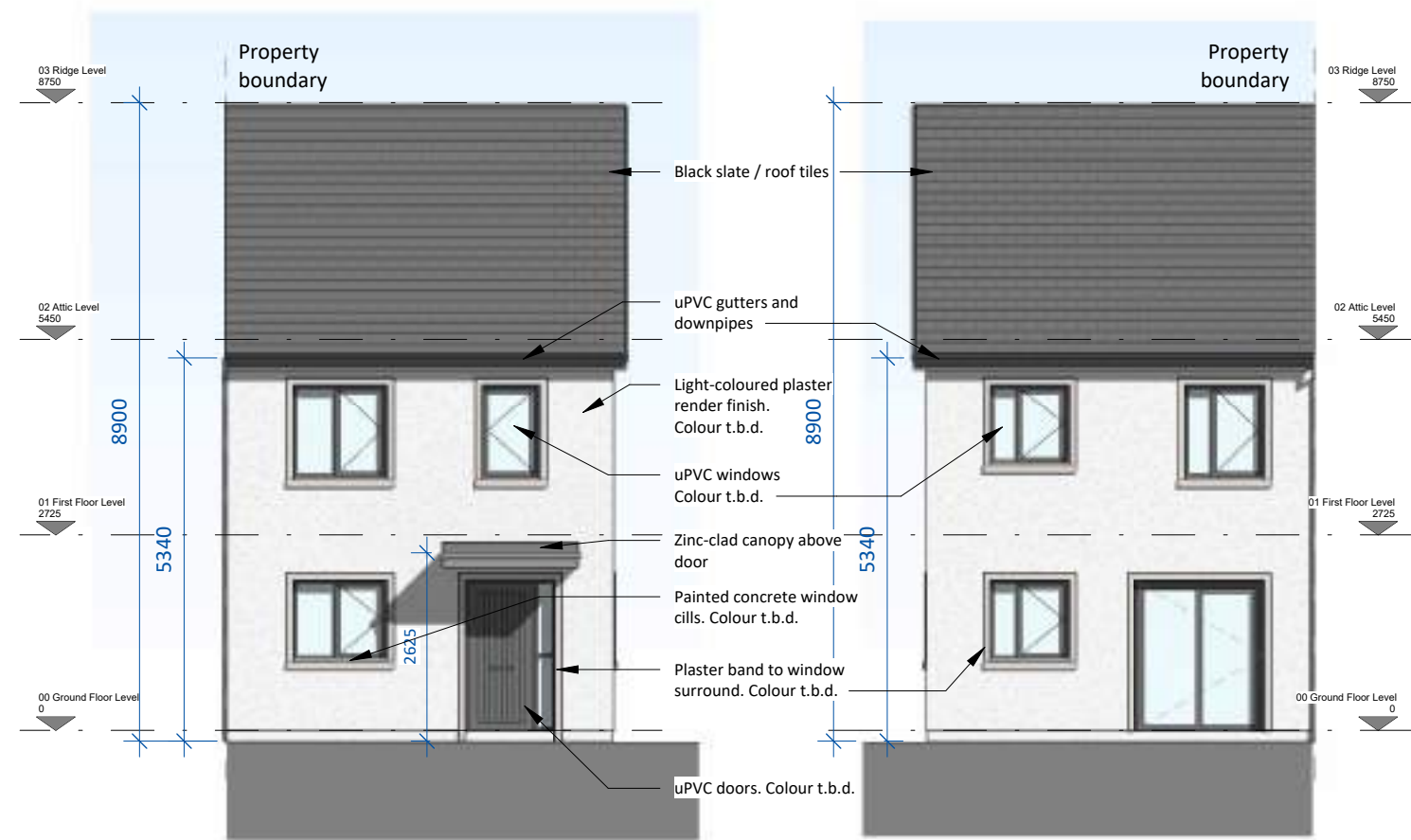
Project No.	Drw. No.	Revision
22040	22040-P-203	P1

Information \ Comments  
 Planning  Tender   
 Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



01 First Floor Level  
 SCALE 1 : 100



Front Elevation  
 SCALE 1 : 100

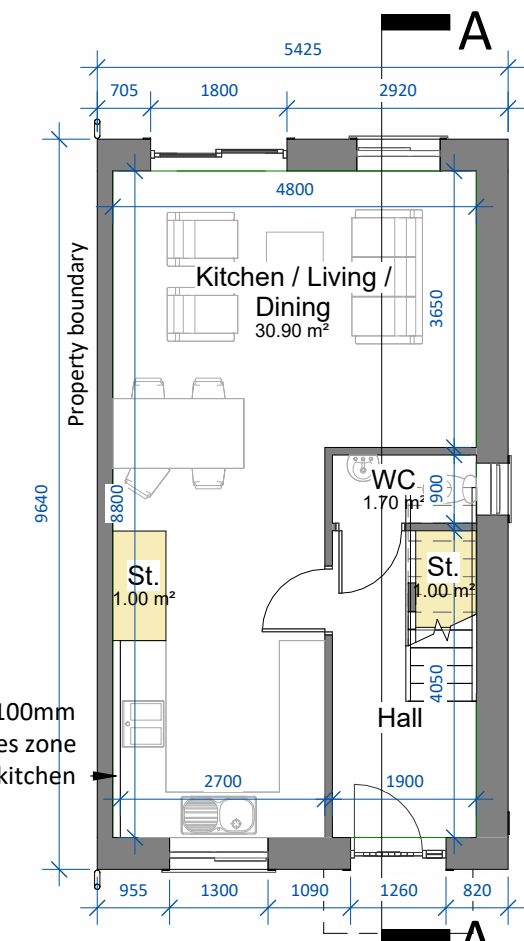
Rear Elevation  
 SCALE 1 : 100



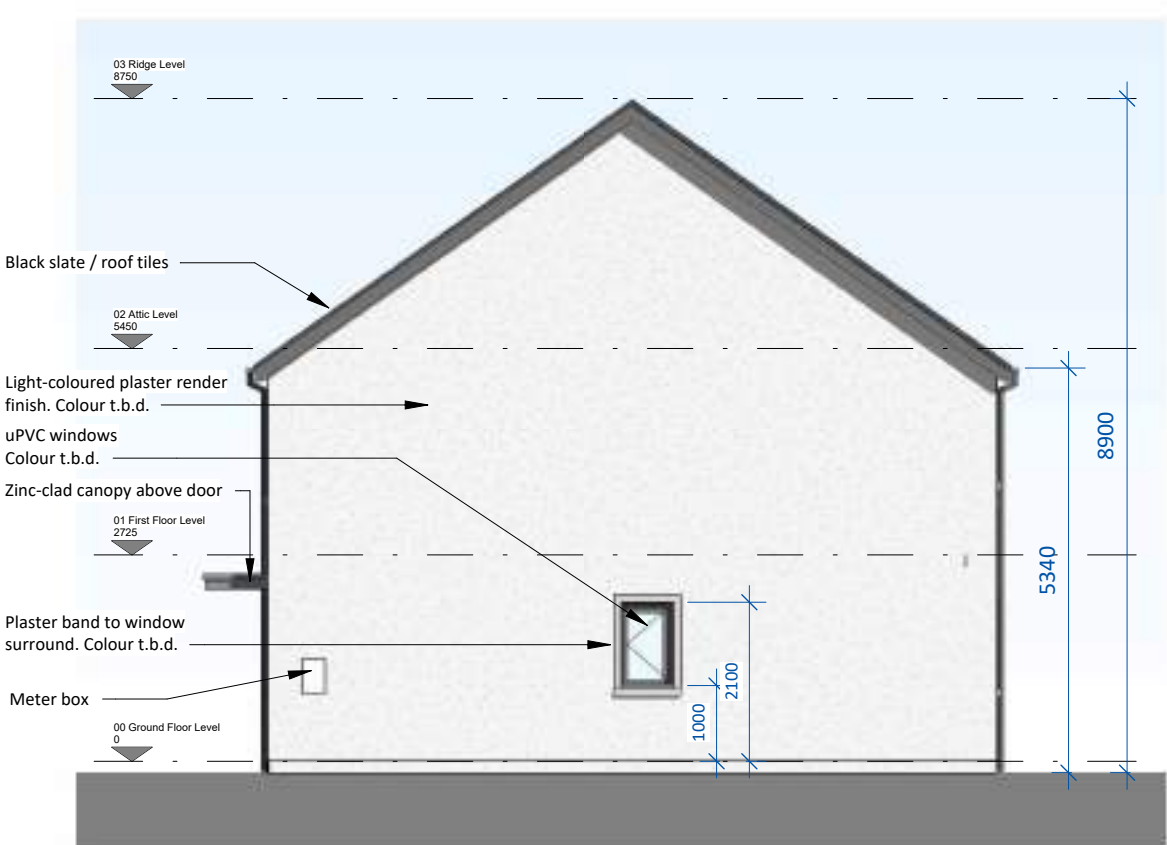
Perspective View

Area Schedule	
Name	Area
Ground Floor Plan	42.25 m <sup>2</sup>
First Floor Plan	42.25 m <sup>2</sup>
	84.50 m <sup>2</sup>

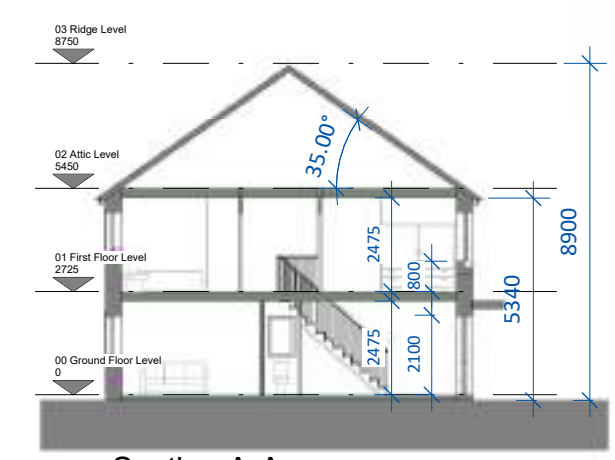
Note: Position of north point and levels vary.  
 See Site Plan 22040/P/003 for orientation and F.F.L.



00 Ground Floor Level  
 SCALE 1 : 100



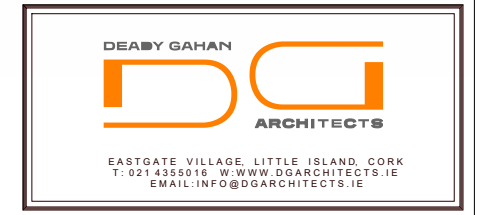
Side Elevation  
 SCALE 1 : 100



Section A-A  
 SCALE 1 : 200

**2 BED HOUSE-TYPE - C1**  
 2-bed mid-terrace. (4 person)  
 AREA: 84.5 SQ.M  
 STORAGE tot. 4sq.m

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



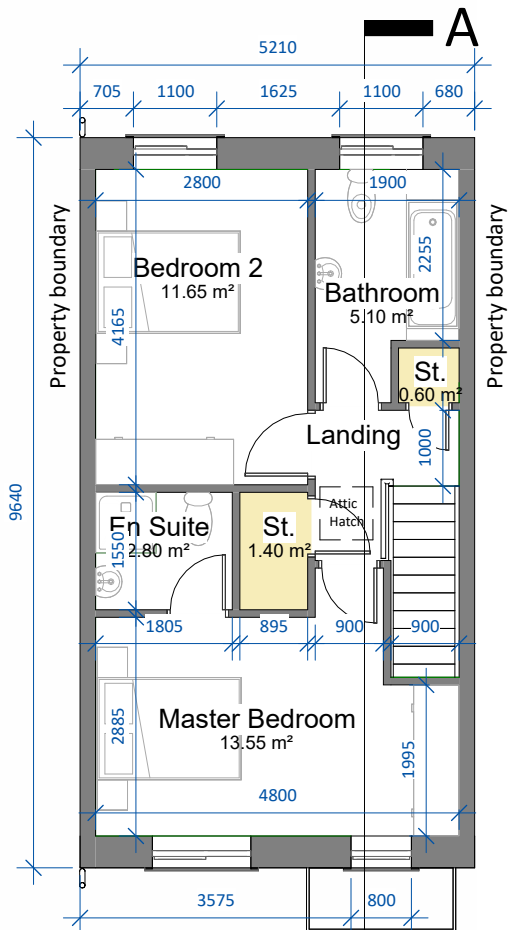
Project  
 Proposed Residential Development  
 An Tarnhaigh, Clonakilly,  
 Co Cork

Drawing title  
 2-Bed Housetype C1 (end terrace), Plans, Sections and Elevations

Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	15/02/23
Project No.	Drw. No.	Revision	
22040	22040 / P / 301	P1	

Information \ Comments  
 Planning  Tender   
 Construction

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



01 First Floor Level  
 SCALE 1 : 100



Front Elevation SCALE 1 : 100  
 Rear Elevation SCALE 1 : 100

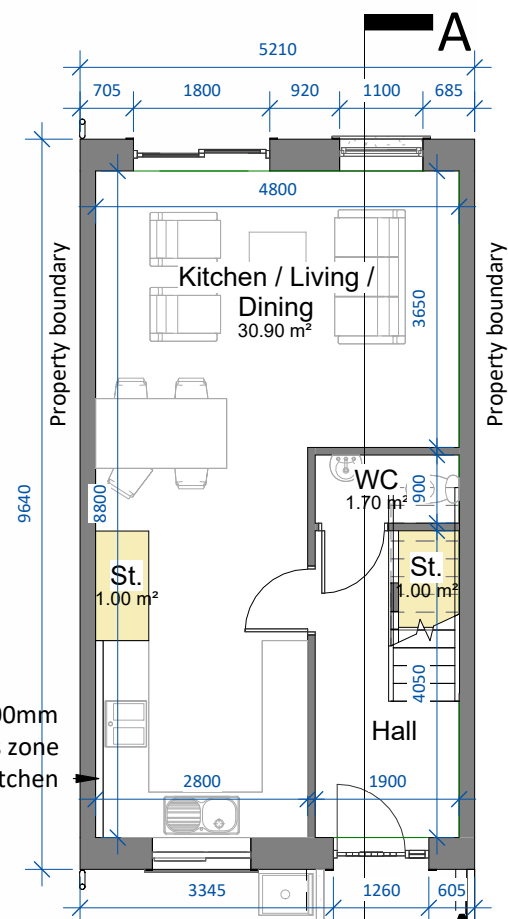


Perspective View

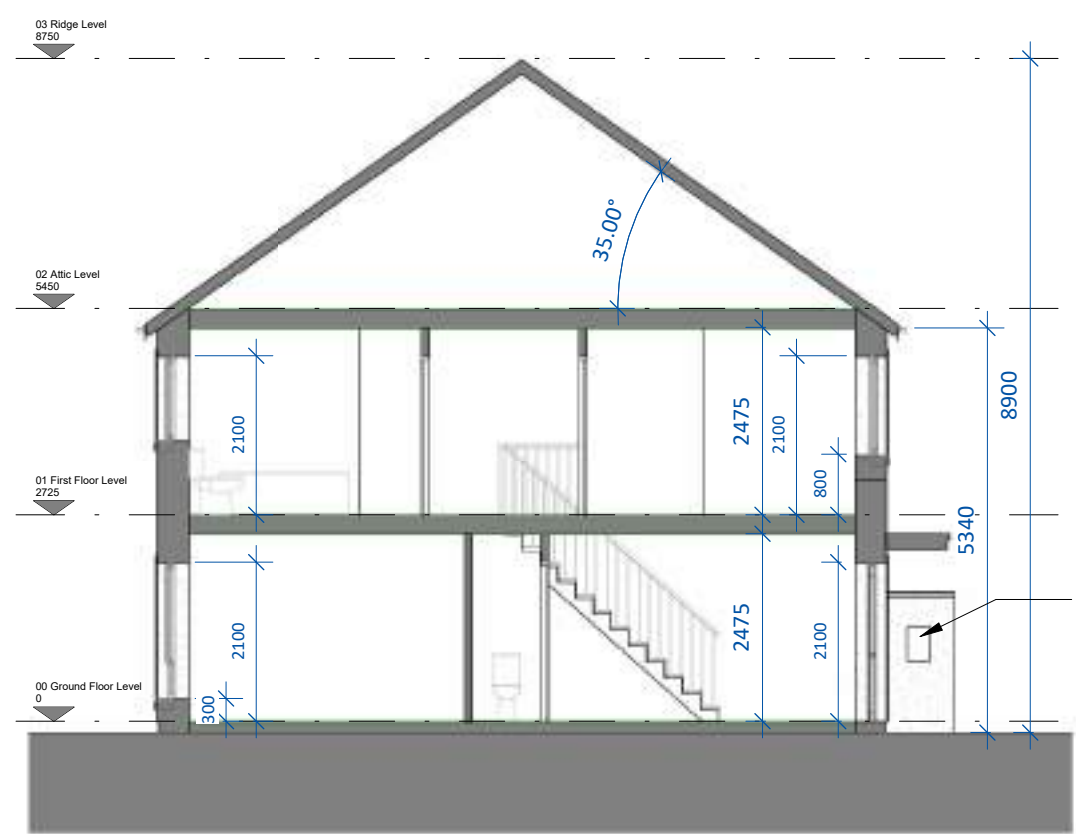
Area Schedule	
Name	Area
Ground Floor Plan	42.25 m <sup>2</sup>
First Floor Plan	42.25 m <sup>2</sup>
	84.50 m <sup>2</sup>

Note: Position of north point and levels vary.  
 See Site Plan 22040/P/003 for orientation and F.F.L.

**2 BED HOUSE-TYPE - C2**  
 2-bed mid-terrace. (4 person)  
 AREA: 84.5 SQ.M  
 STORAGE tot. 4sq.m



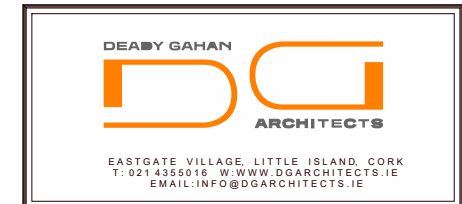
00 Ground Floor Level  
 SCALE 1 : 100



Section A-A  
 SCALE 1 : 100

Gossip wall between terraced units. Meter boxes indicative

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



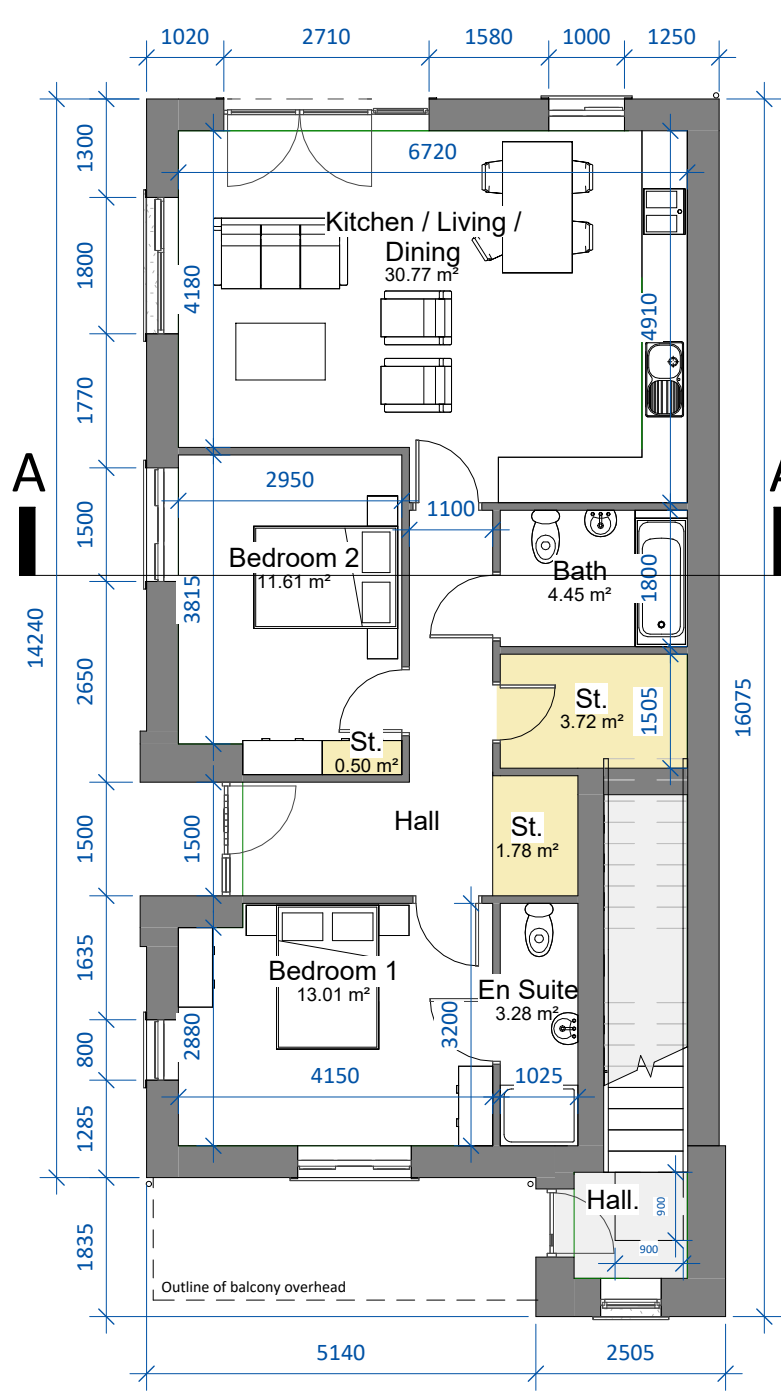
Project  
 Proposed Residential Development  
 An Tamhnaigh, Clonakilly,  
 Co Cork

Drawing title  
 2-Bed Housetype C2 (mid terrace), Plans, Sections and Elevations

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	15/02/23
Project No.	Drw. No.	Revision	
22040	22040 / P / 302	P1	

Information \ Comments  Tender   
 Planning  Construction

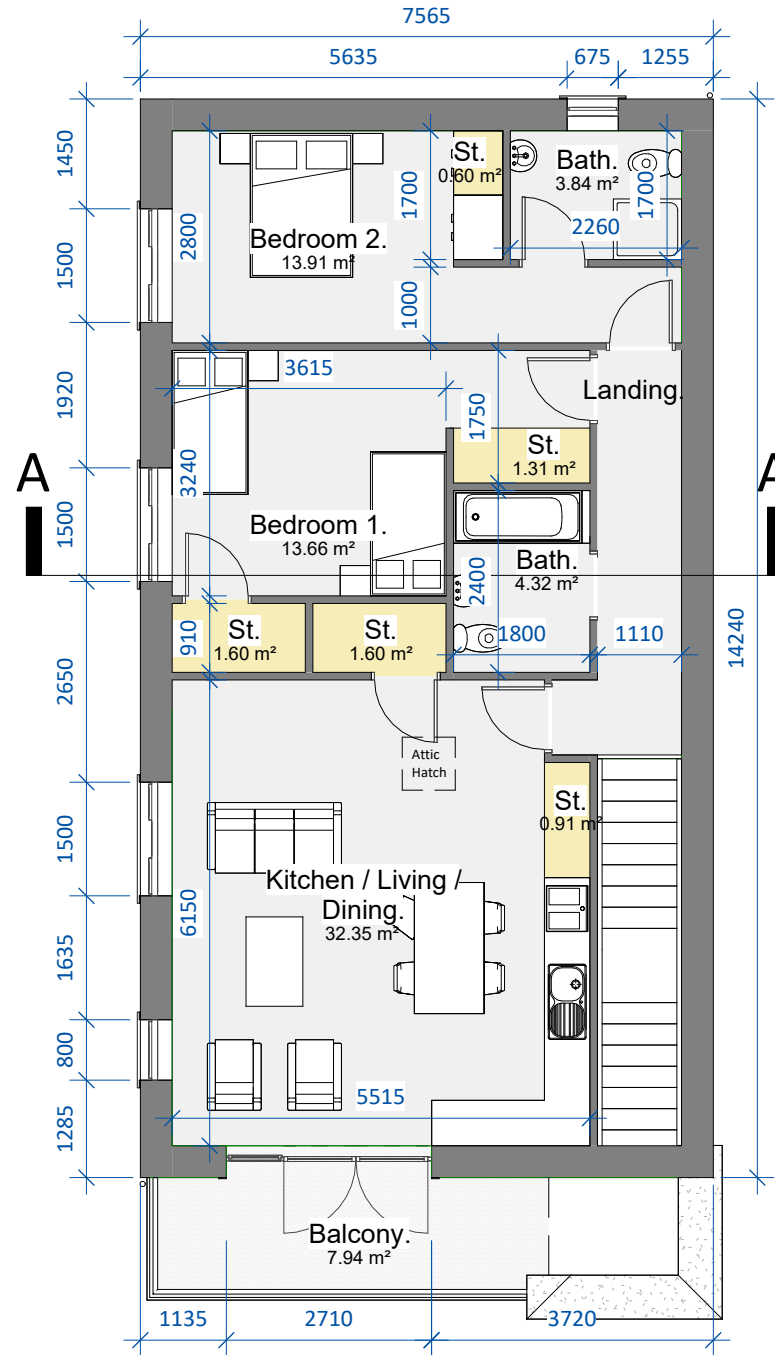
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



00 Ground Floor Plan  
 SCALE 1 : 100

**UNIT TYPE D1; 2 BED APARTMENT (GROUND)**

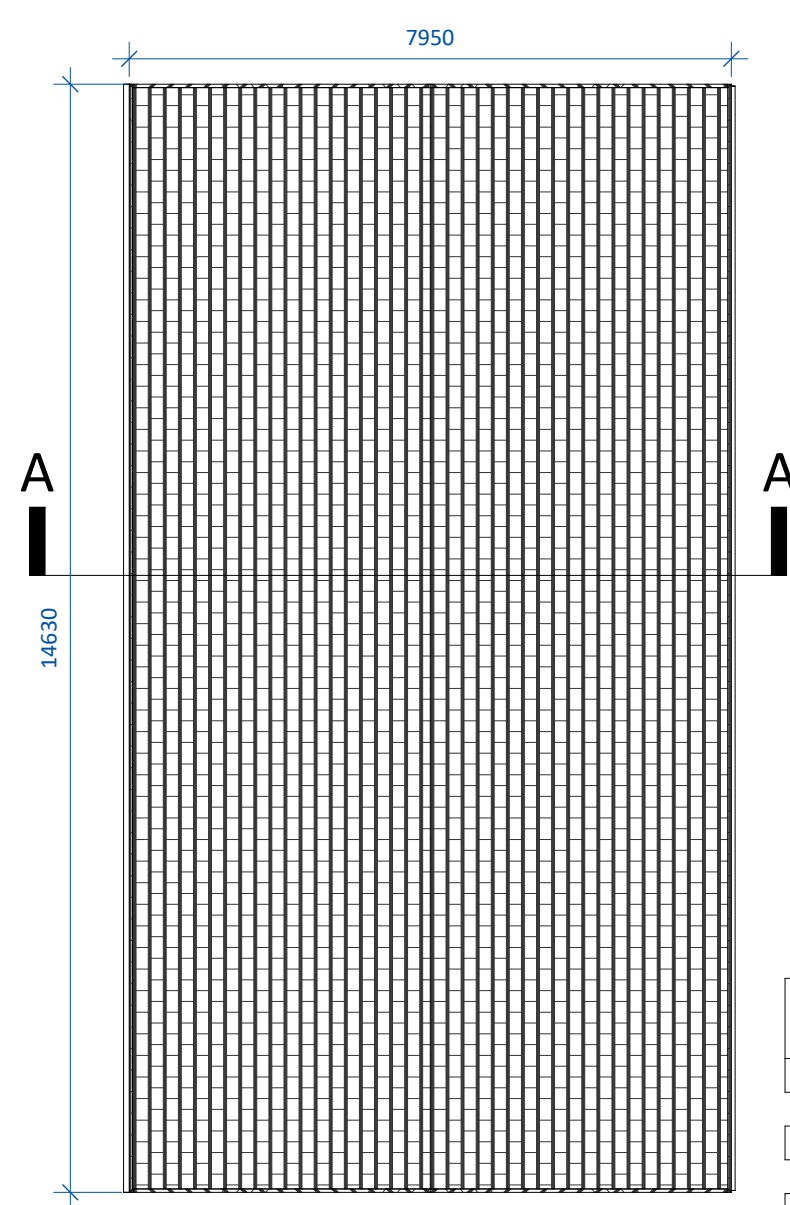
2-bed apartment (4 person)  
 AREA: 80.83 SQ.M  
 STORAGE tot. 6.0sq.m



01 First Floor Plan  
 SCALE 1 : 100

**UNIT TYPE D2; 2 BED APARTMENT (FIRST)**

2-bed apartment (4 person)  
 AREA: 84.44 SQ.M  
 AREA (Including access stairs / lobby): 92.60 SQ.M  
 STORAGE tot. 6.0sq.m



02 Attic Level  
 SCALE 1 : 100

Area Schedule (Gross Building)	
Name	Area
Lobby (2-Bed Apt D2)	8.16 m <sup>2</sup>
2 Bed Apartment Ground	80.83 m <sup>2</sup>
2 Bed Apartment First	84.44 m <sup>2</sup>

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 Proposed residential development  
 At An Tammhnaigh  
 Clonakilty, Co Cork

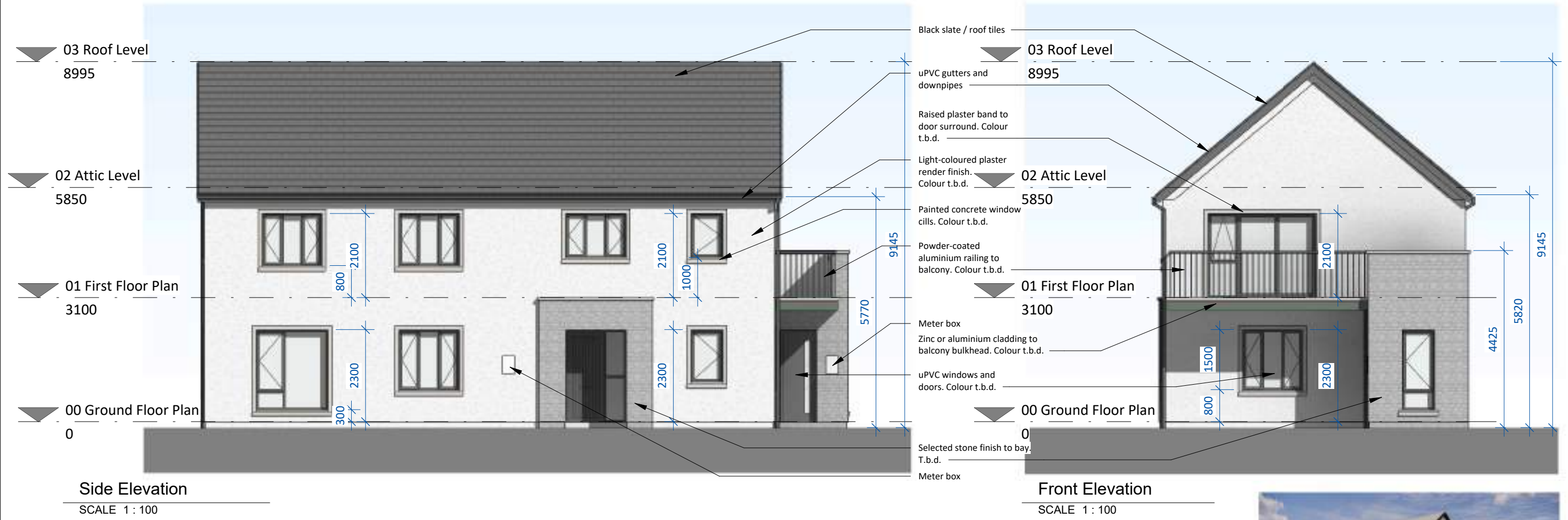
Drawing title  
 Unit Types D1 & D2, Floor Plans

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	24/02/23
Project No.	Drwg. No.	Revision	
22040	22040-P-401	P1	

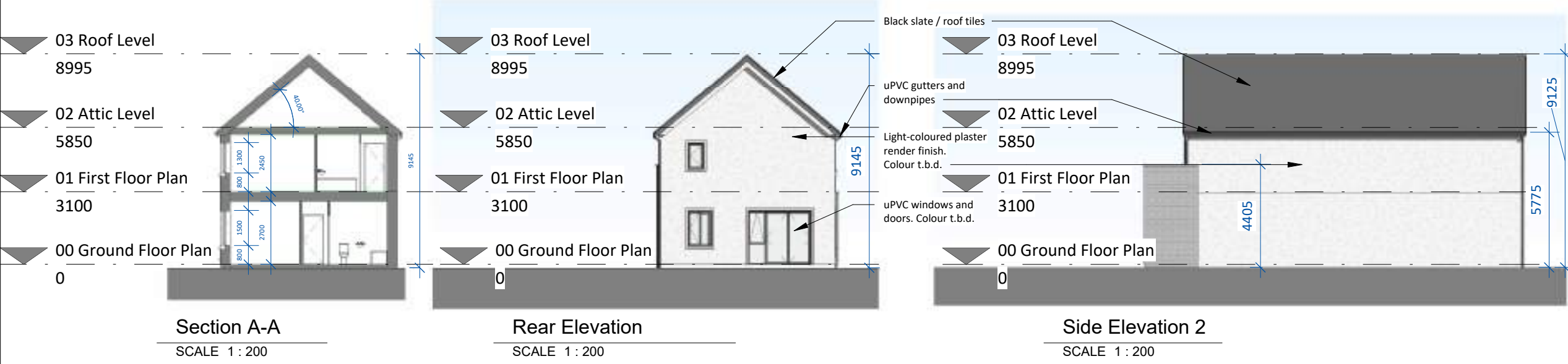
Information \ Comments  Tender   
 Planning  Construction

Note: Position of north point and levels vary.  
 See Site Plan 22040/P/003 for orientation  
 and F.F.L.

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Perspective View



date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 Proposed residential development  
 At An Tamhnaigh  
 Clonakilty, Co Cork

Drawing title  
 Unit Types D1 & D2, Elevations and Section

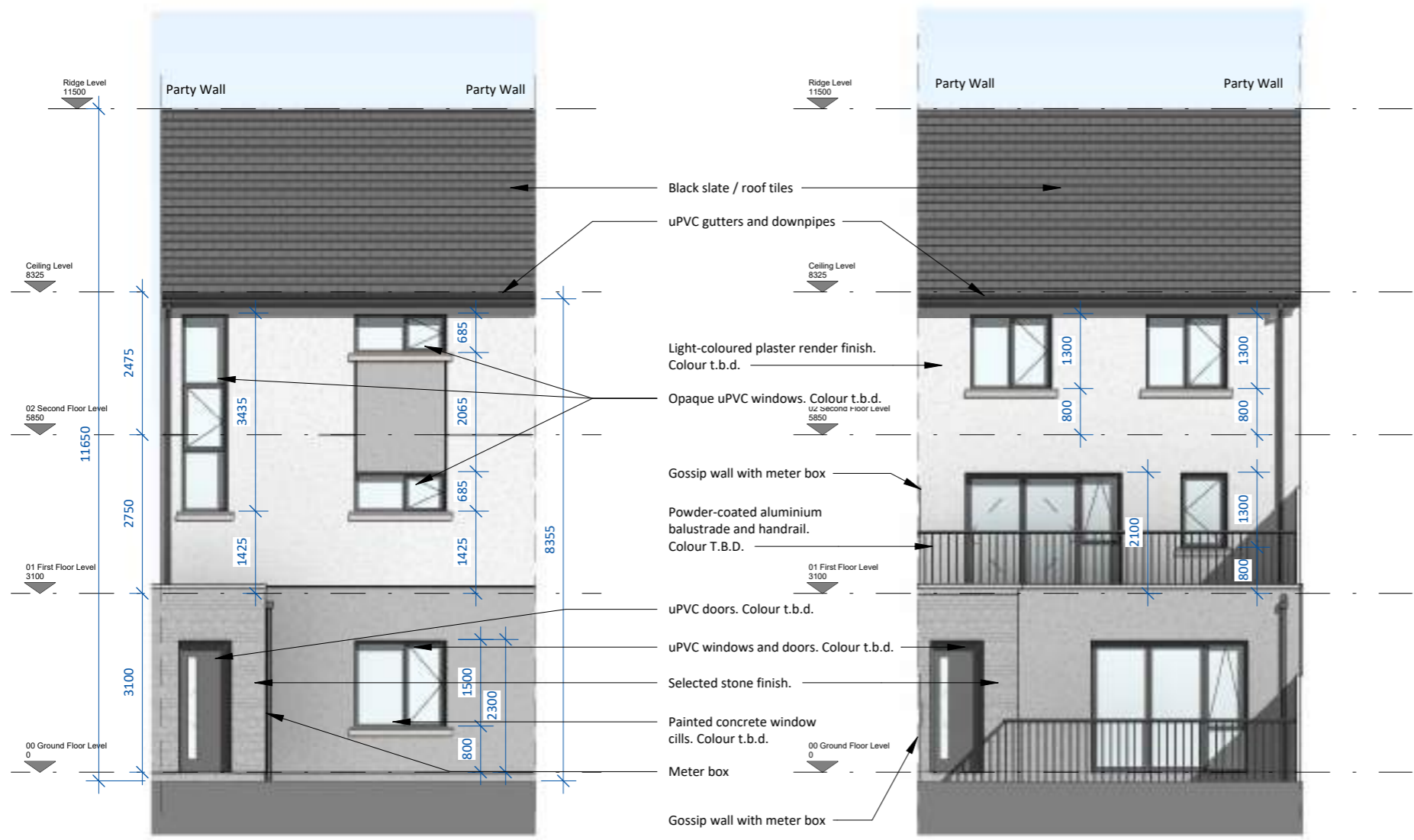
Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	16/02/23
Project No.	Drwg. No.	Revision	
22040	22040-P-402	P1	

<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction





DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Front Elevation

SCALE 1 : 100

Rear Elevation

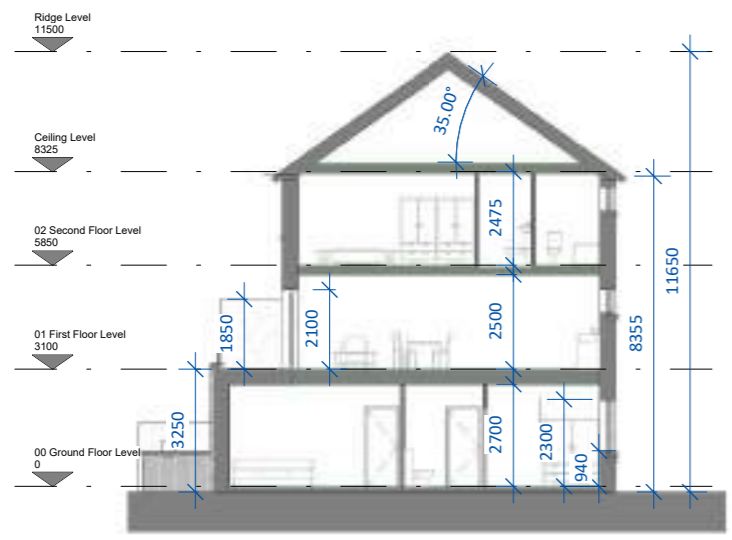
SCALE 1 : 100



Perspective view from the public open space



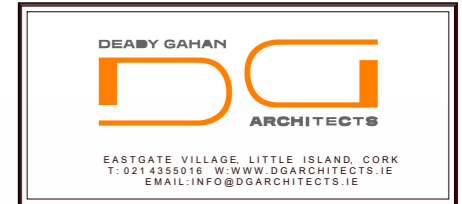
Perspective view from the road



Section A-A

SCALE 1 : 200

date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING



Project  
 Proposed Residential Development  
 at An Tamhnaigh, Clonakilty,  
 Co Cork

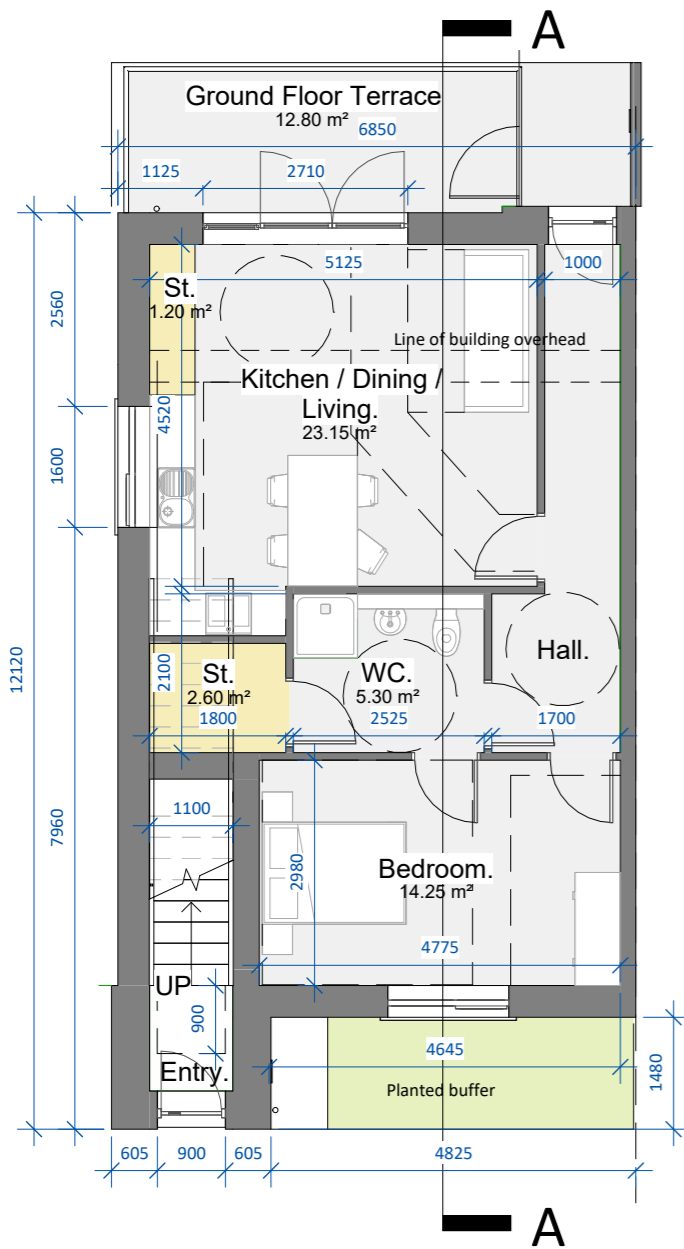
Drawing title  
 Unit Types E1 and D3, Elevations and Section A-A

Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	15/02/23

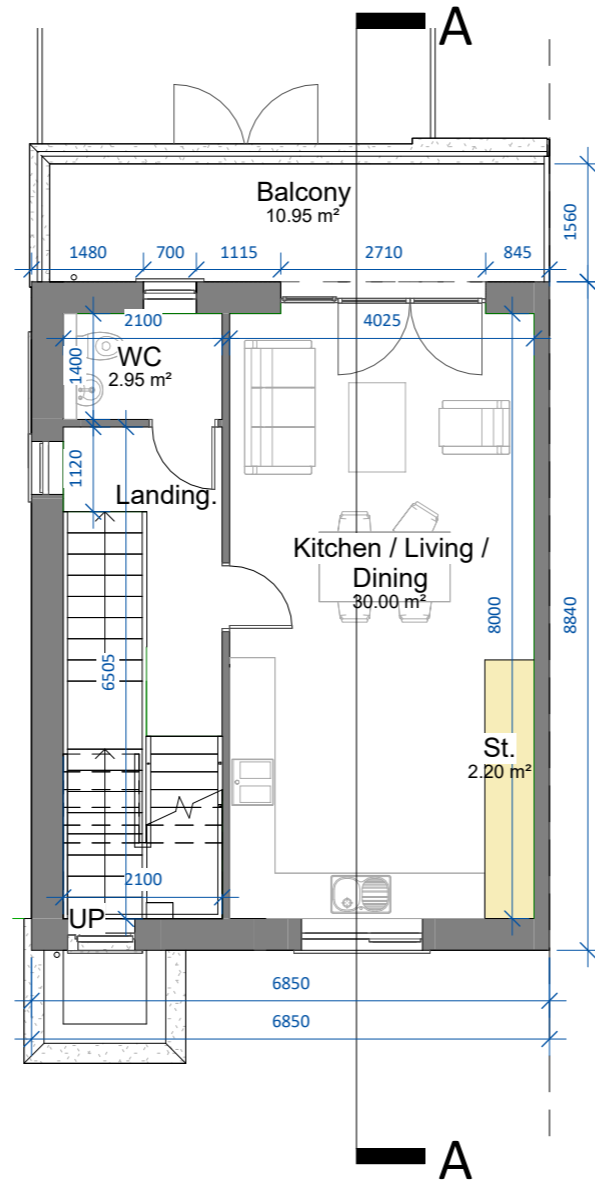
Project No.	Dwg. No.	Revision
22040	22040 - P - 502	P1

Information \ Comments  Tender  
 Planning  Construction

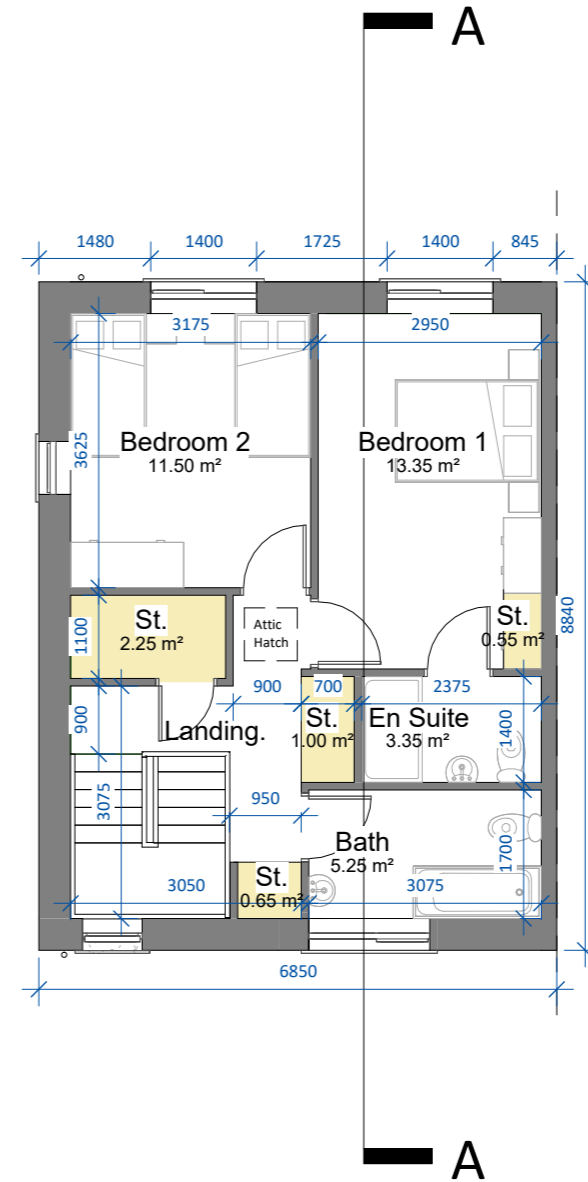
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



00 Ground Floor Plan  
 SCALE 1 : 100



01 First Floor Level  
 SCALE 1 : 100



02 Second Floor Plan  
 SCALE 1 : 100

**UNIT TYPE E2; 1 BED APARTMENT**

1-bed apartment (2 person)

AREA: 56.5 SQ.M

STORAGE tot. 3.8sq.m

**UNIT TYPE D4; 2 BED APARTMENT**

2-bed apartment (4 person)

AREA: 93.7 SQ.M

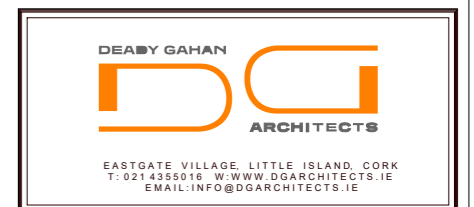
AREA (including access stairs / entrance lobby): 101.2 SQ.M

STORAGE tot. 6.65sq.m

Note: See Site Plan 22040/P/003 for orientation and FFL.

Area Schedule (Gross Building)		
Comments	Name	Area
Unit Type E2	1 Bed Apartment P1	56.5 m <sup>2</sup>
Unit Type D4	2 Bed Apartment P2	93.7 m <sup>2</sup>
	Lobby (Apt.P2)	7.5 m <sup>2</sup>
		157.7 m <sup>2</sup>

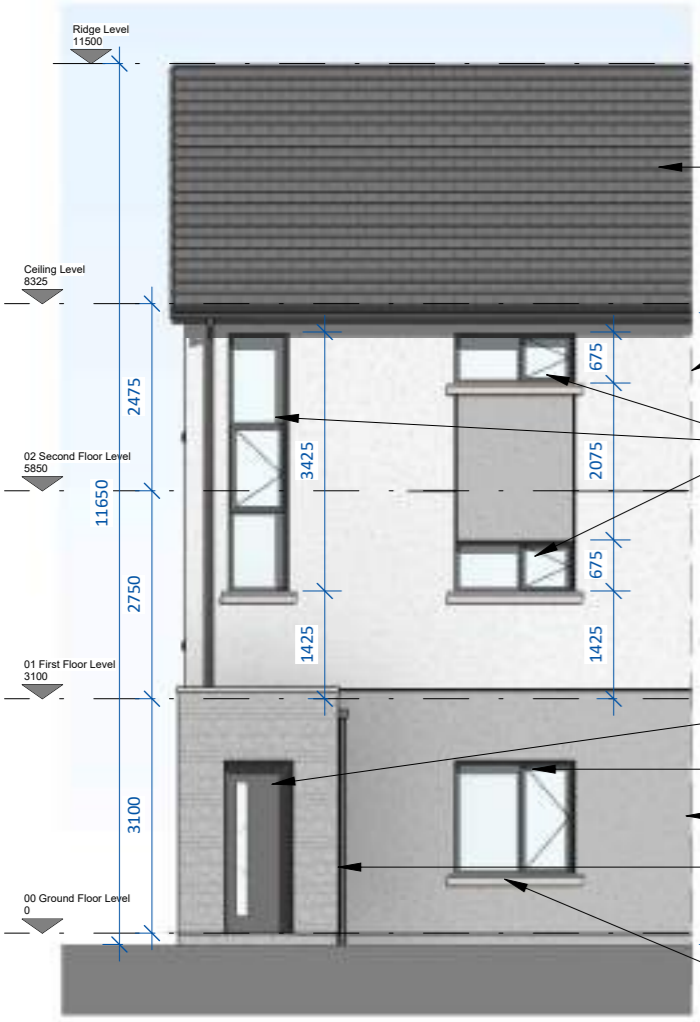
date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING



Project  
 Proposed Residential Development  
 at An Tamhnaigh Clonakilly,  
 Co Cork

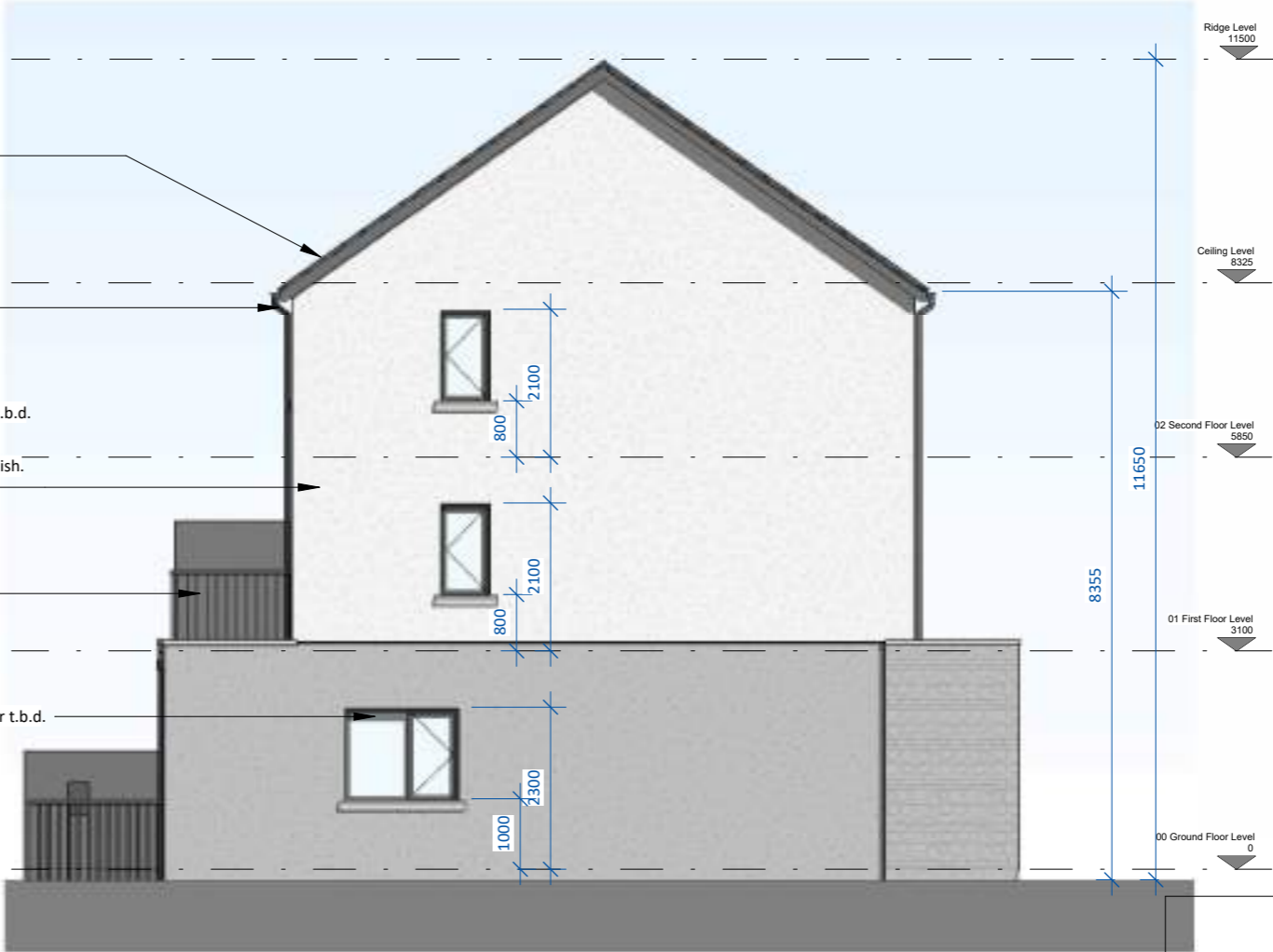
Drawing title			
Unit Types E2 and D4, Plans			
Scale 1 : 100 @ A3	Drawn MP	Checked EJG	Date 15/02/23
Project No. 22040	Dwg. No. 22040 - P - 503	Revision P1	
<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender		<input type="checkbox"/>
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction		<input type="checkbox"/>

DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



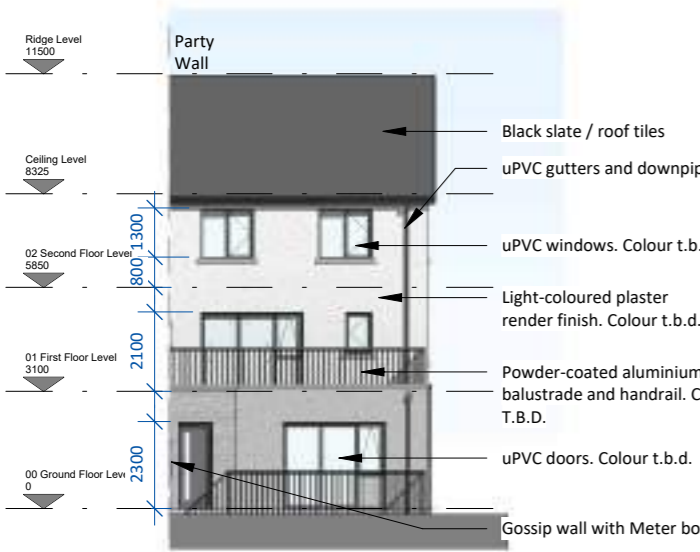
Front Elevation

SCALE 1 : 100



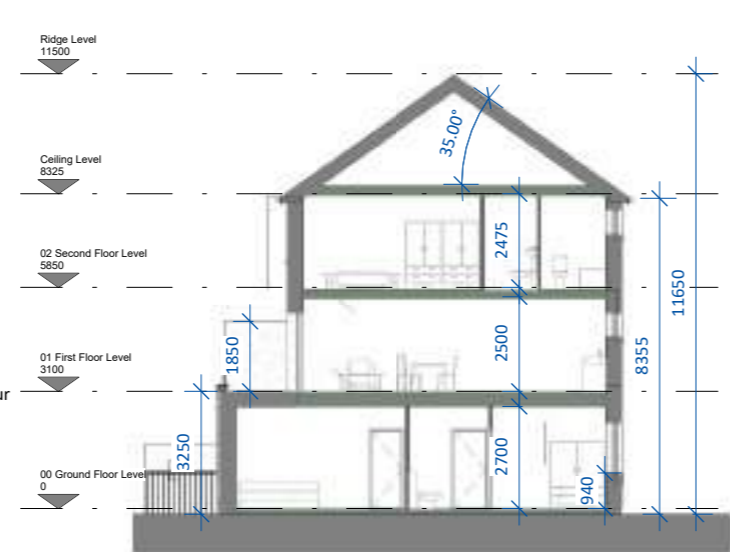
Side Elevation 2

SCALE 1 : 100



Rear Elevation

SCALE 1 : 200



Section A-A

SCALE 1 : 200



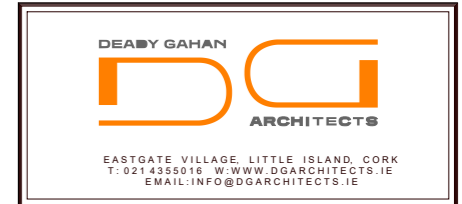
Perspective View

- Party Wall
- Black slate / roof tiles
- uPVC gutters and downpipes
- Opaque uPVC windows. Colour t.b.d.
- Light-coloured plaster render finish. Colour t.b.d.
- Powder-coated aluminium balustrade and handrail. Colour T.B.D.
- uPVC doors. Colour t.b.d.
- uPVC windows and doors. Colour t.b.d.
- Selected stone finish.
- Meter box
- Painted concrete window cills. Colour t.b.d.

Area Schedule (Gross Building)

Comments	Name	Area
Unit Type E2	1 Bed Apartment P1	56.5 m <sup>2</sup>
Unit Type D4	2 Bed Apartment P2	93.7 m <sup>2</sup>
	Lobby (Apt.P2)	7.5 m <sup>2</sup>
		157.7 m <sup>2</sup>

date	rev	name	chk	note
28.02.24	P1	MP	EJG	ISSUE FOR PLANNING

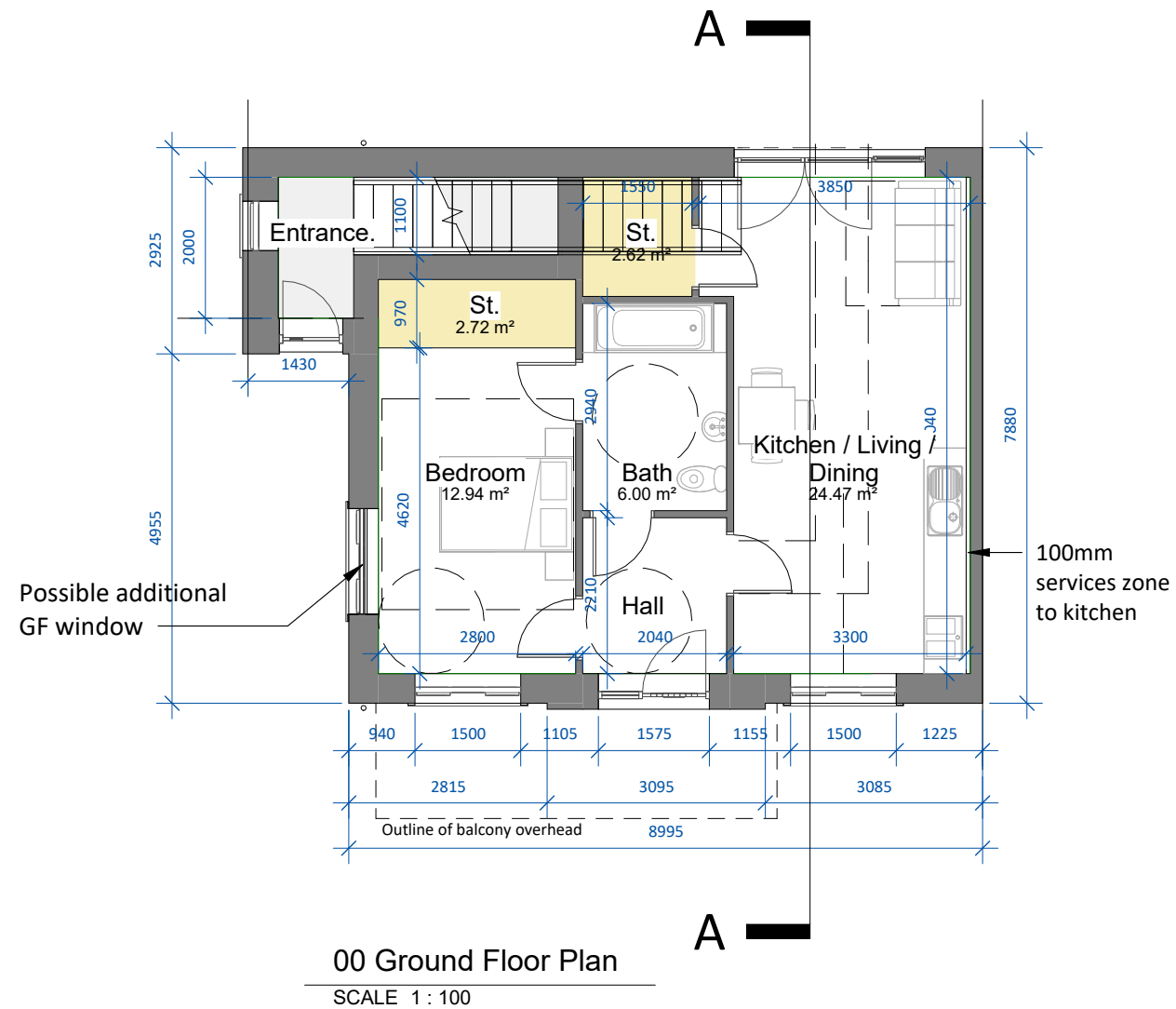


Project  
 Proposed Residential Development  
 at An Tamhnaigh Clonakilty,  
 Co Cork

Drawing title  
 Unit Types E2 and D4, Elevations and Section A-A

Scale	Drawn	Checked	Date
As indicated @ A3	MP	EJG	15/02/23
Project No.	Dwg. No.	Revision	
22040	22040 - P - 504	P1	

Information \ Comments       Tender  
 Planning       Construction

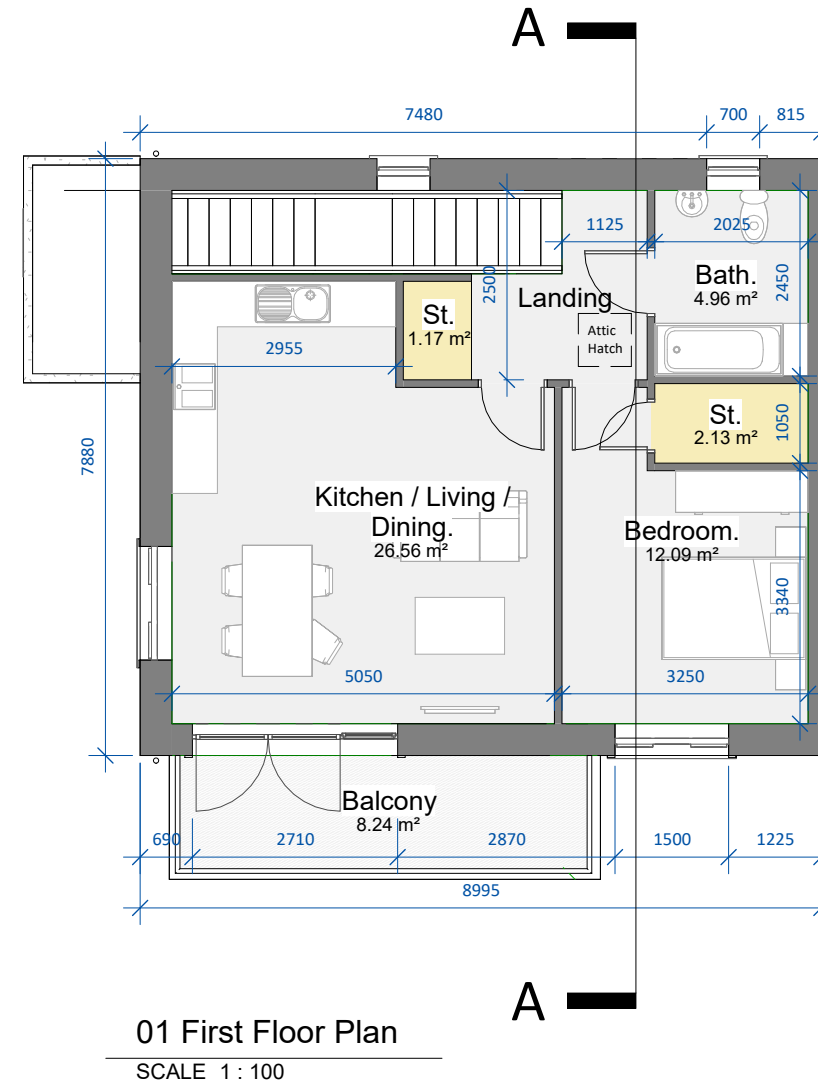


**UNIT TYPE E3; 1 BED APARTMENT (Ground)**

1-bed apartment (2 person)

AREA: 54.93 SQ.M

STORAGE tot. 5.34sq.m



**UNIT TYPE F2; 1 BED APARTMENT (First)**

1-bed apartment (2 person)

AREA: 53.47 SQ.M

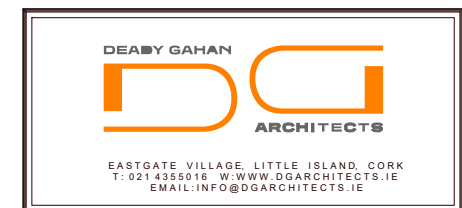
AREA (including access stairs / entrance lobby): 61.66 SQ.M

STORAGE tot. 3.3sq.m

**Area Schedule (Gross Building)**

Name	Area
Lobby (1-Bed Apt.)	8.19 m <sup>2</sup>
Ground Floor Apartment	54.93 m <sup>2</sup>
First Floor Apartment	53.47 m <sup>2</sup>

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



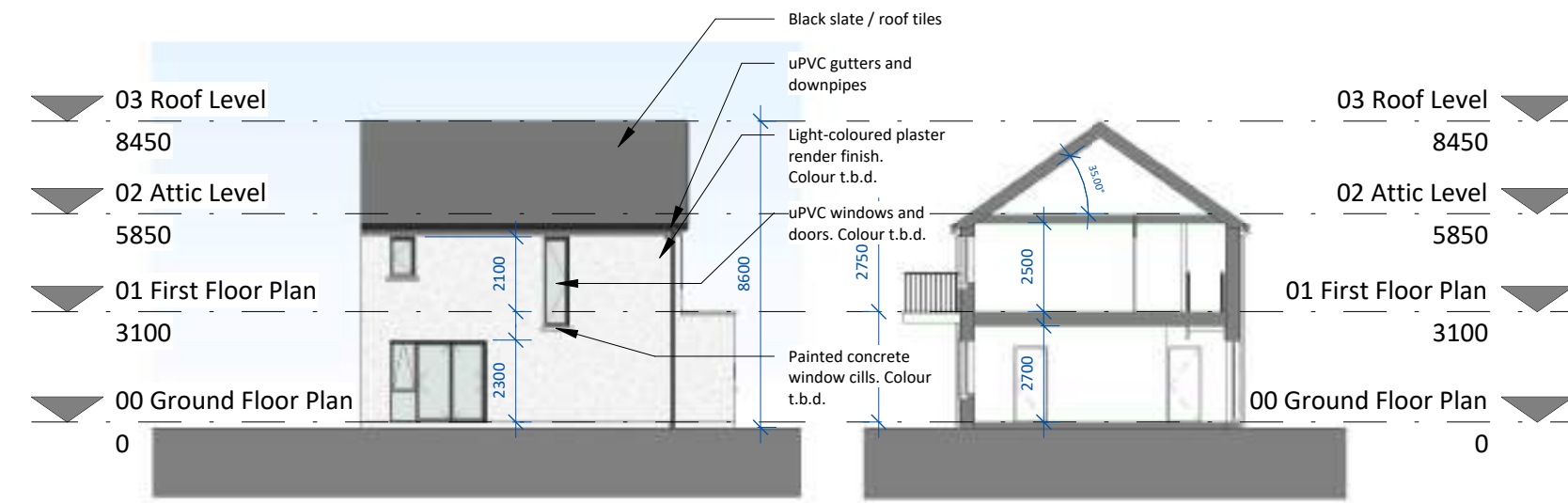
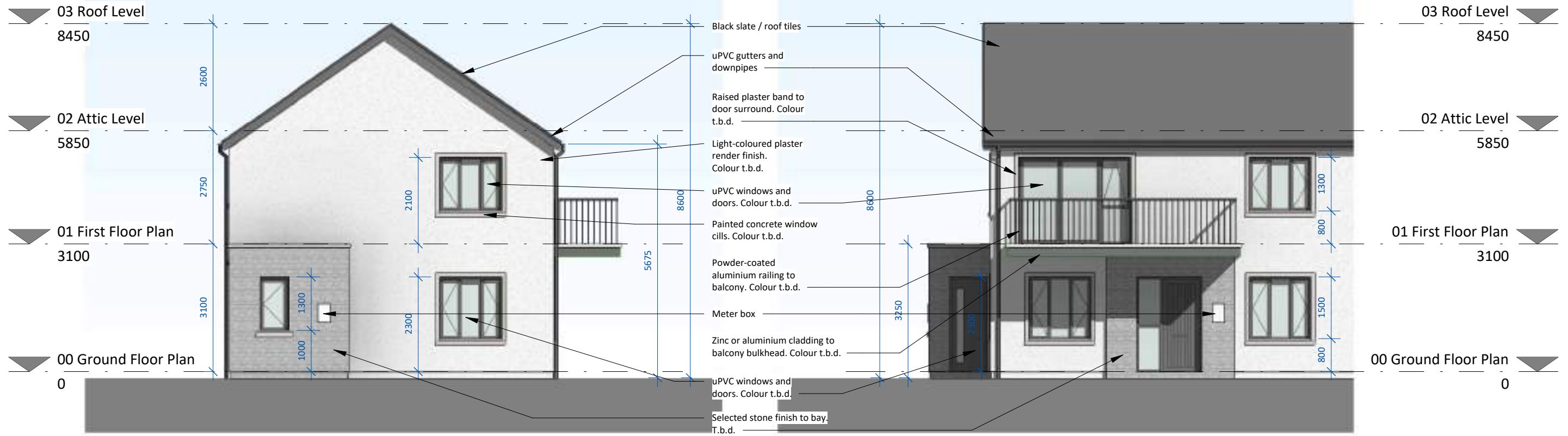
Project  
 Proposed Residential Development  
 at An Tharnaigh,  
 Clonakilty, Co Cork

Drawing title  
 Unit Types E3 and F2, Floor Plans

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	17/02/23
Project No.	Drng. No.	Revision	
22040	22040-P-601	P1	

Information \ Comments  Tender   
 Planning  Construction

Note: Position of north point and levels vary.  
 See Site Plan 22040/P/003 for orientation  
 and F.F.L.



date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN ARCHITECTS**

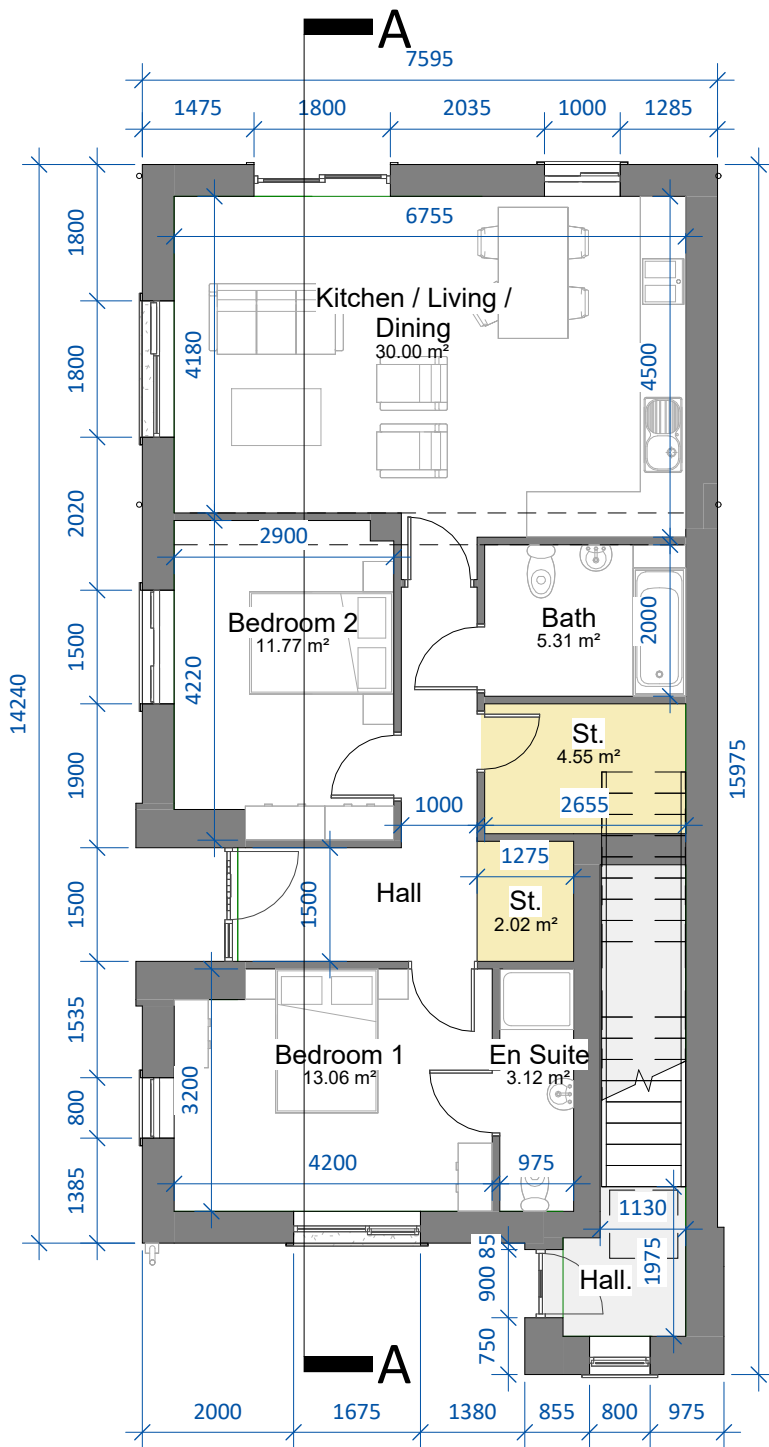
EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 Proposed residential development  
 at An Tharnaigh,  
 Clonakilty, Co Cork

Drawing title  
 Unit Types E3 and F2, Elevations and Section

Scale As indicated @ A3	Drawn MP	Checked EJG	Date 23/02/23
Project No. 22040	Dwg. No. 22040-P-602		Revision P1

Information \ Comments  Tender  
 Planning  Construction



**UNIT TYPE D5 (GROUND)**

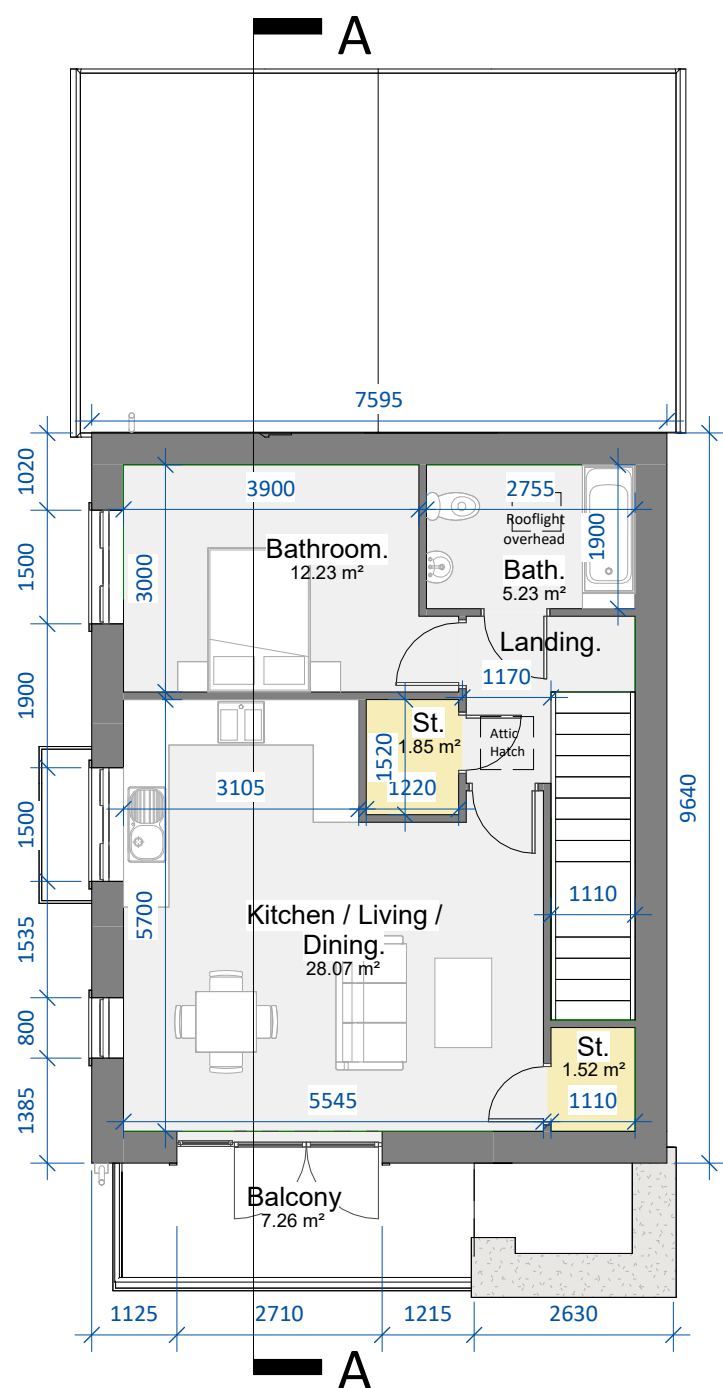
2-bed apartment (4 person)

AREA: 80.78 SQ.M

STORAGE tot. 6.02sq.m

Ground Floor Plan

SCALE 1 : 100



**UNIT TYPE F1 (FIRST)**

1-bed apartment (2 person)

AREA: 53.10 SQ.M

AREA (including entrance lobby): 61.48 SQ.M

STORAGE tot. 3.37sq.m

First Floor Plan

SCALE 1 : 100



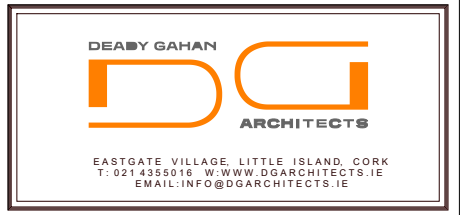
Perspective Image

Note: Position of north point and levels vary. See Site Plan 22040/P/003 for orientation and F.F.L.

**Area Schedule (Gross Building)**

Comments	Name	Area
Unit Type F1	1 Bed Apartment	53.10 m <sup>2</sup>
Unit Type D5	2 Bed Apartment	80.78 m <sup>2</sup>

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING



Project  
 Proposed residential development  
 At An Tammhaigh  
 Clonakilty, Co Cork

Drawing title  
 Unit Types D5, F1\_Ground and First Floor Plans

Scale	Drawn	Checked	Date
1 : 100 @ A3	MP	EJG	24/02/23
Project No.	Drwg. No.	Revision	
22040	22040-P-701	P1	

Information \ Comments  Tender   
 Planning  Construction

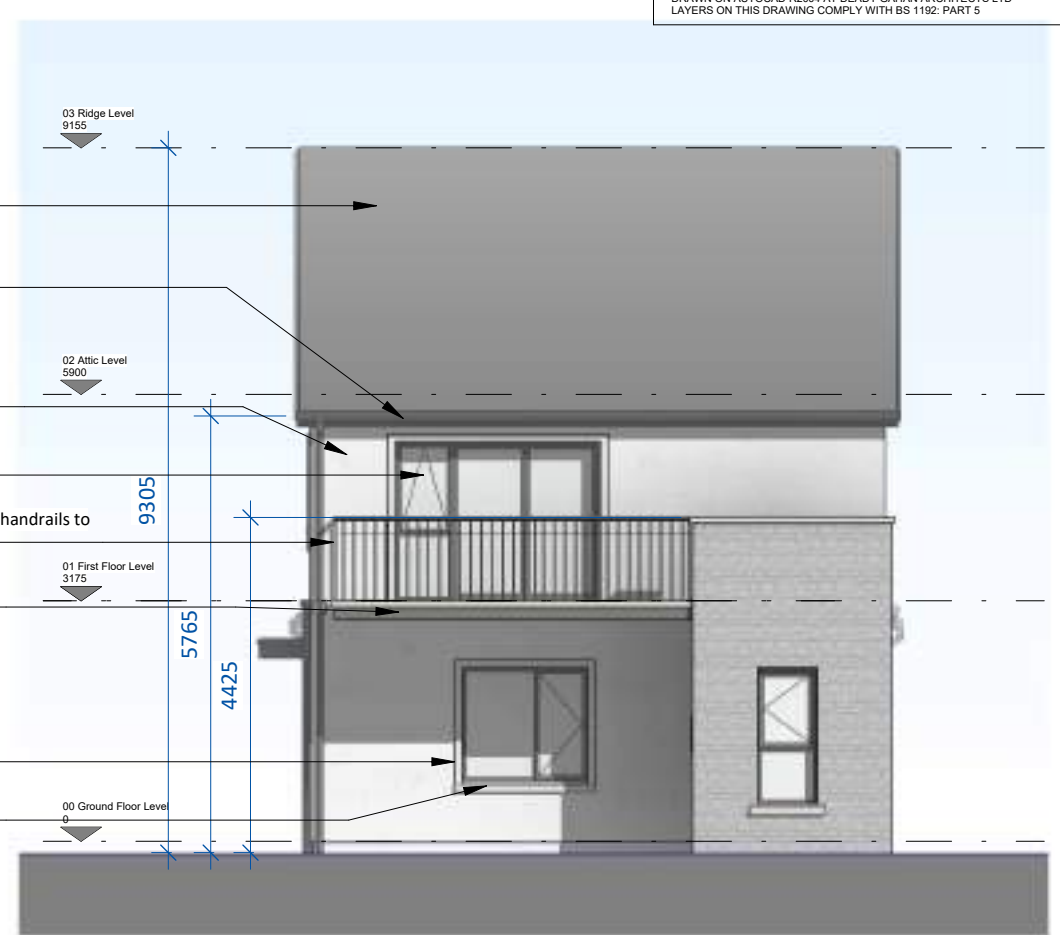
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY.  
 ALL EXISTING DIMENSIONS TO BE CHECKED ON SITE.  
 DRAWN ON AUTOCAD R2004 AT DEADY GAHAN ARCHITECTS LTD  
 LAYERS ON THIS DRAWING COMPLY WITH BS 1192: PART 5



Side Elevation 1

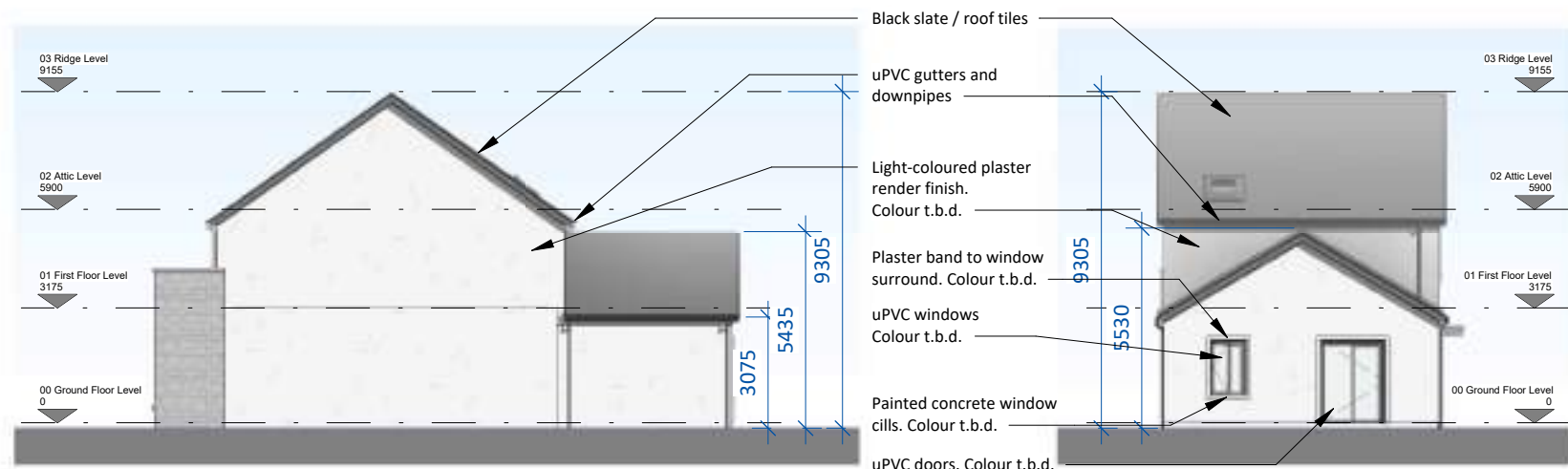
SCALE 1 : 100

- Black slate / roof tiles
- uPVC gutters and downpipes
- Light-coloured plaster render finish. Colour t.b.d.
- uPVC windows Colour t.b.d.
- Powder-coated aluminium handrails to balcony. Colour t.b.d.
- Zinc or aluminium finish to balcony bulkhead.
- Zinc-clad canopy above door
- Meter box
- Plaster band to window surround. Colour t.b.d.
- Painted concrete window cills. Colour t.b.d.
- uPVC doors. Colour t.b.d.
- Meter box



Front Elevation

SCALE 1 : 100



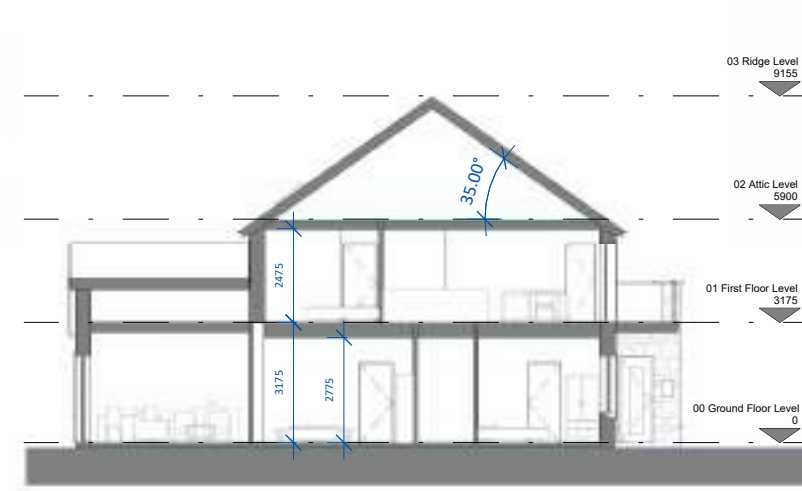
Side Elevation 2

SCALE 1 : 200

- Black slate / roof tiles
- uPVC gutters and downpipes
- Light-coloured plaster render finish. Colour t.b.d.
- Plaster band to window surround. Colour t.b.d.
- uPVC windows Colour t.b.d.
- Painted concrete window cills. Colour t.b.d.
- uPVC doors. Colour t.b.d.

Rear Elevation

SCALE 1 : 200



Section A-A

SCALE 1 : 200

date	rev	name	chk	note
31.07.23	P1	MP	EJG	ISSUE FOR PLANNING

**DEADY GAHAN**  
**DDG ARCHITECTS**

EASTGATE VILLAGE, LITTLE ISLAND, CORK  
 T: 021 4355016 W: WWW.DGARCHITECTS.IE  
 EMAIL: INFO@DGARCHITECTS.IE

Project  
 Proposed Residential Development  
 At An Tamhnaigh  
 Clonakilty, Co Cork

Drawing title  
 Unit Types D5, F1 Elevations and Section A-A

Scale As indicated @ A3	Drawn MP	Checked EJG	Date 24/02/23
Project No. 22040	Drg. No. 22040-P-702		Revision P1

<input type="checkbox"/> Information \ Comments	<input type="checkbox"/> Tender
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Construction